



Mayor & City Council  
Regular Meeting Agenda

Monday, April 8, 2024, 7:00 PM

Tucker City Hall

1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084

Members:

Frank Auman, Mayor  
Roger W. Orlando, Council Member District 1, Post 1  
Cara Schroeder, Council Member District 2, Post 1  
Alexis Weaver, Council Member District 3, Post 1  
Virginia Rece, Council Member District 1, Post 2  
Amy Trocchi, Council Member District 3, Post 2  
Vinh Nguyen, Council Member District 2, Post 2

Video: <https://www.tuckerga.gov/documents/>

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Pages

**A. CALL TO ORDER**

**B. ROLL CALL**

**C. PLEDGE OF ALLEGIANCE**

The pledge will be led by the Livsey Elementary School Science Olympiad Students.

**D. MAYOR'S OPENING REMARKS**

**E. PUBLIC COMMENTS**

**F. APPROVAL OF THE AGENDA**

- Motion to approve/amend agenda

**G. CONSENT AGENDA**

G.1 Regular Meeting Minutes - March 11, 2024 3

G.2 Regular Meeting Minutes - March 25, 2024 9

**H. STAFF REPORTS**

H.1 City Manager - Distribution of the Draft FY25 Operating and Capital Budgets 13

H.2 Finance Department - SPLOST 1 Wrap-up 43

**I. OLD BUSINESS**

I.1 Ordinance O2024-03-04 51

- Public Hearing and Second Read of an Ordinance for a Special Land Use Permit (SLUP-24-0001) for a Personal Care Home, Group (4-6) at 4372 Lawrenceville

Highway for applicant Albert's House Five, LLC.

- I.2 Ordinance O2024-03-05 124
- Public Hearing and Second Read of an Ordinance for a major modification (RZ-24-0001) to allow for changes in approved conditions for a compound pharmacy at 2212 Fellowship Road for applicant Thy Pham/Atlanta City Pharmacy.

- I.3 Ordinance O2024-03-06 188
- Public hearing and Second Read of an Ordinance to amend the City of Tucker Code, Chapter 46 Zoning, including but not limited to references to multifamily density and permitted building heights in the Downtown Special Zoning Districts. (TA-24-0002)

**J. NEW BUSINESS**

- J.1 Resolution R2024-04-12 218
- A resolution of the Mayor and City Council of the City of Tucker, Georgia for the purpose of accepting 0.41 acres of land in Land Lot 144 of the 18th District from GDOT.

- J.2 Contract C2024-002-PO24-707 236
- Consideration of a Contract Award for the creation of the City Standard Guidebook

- J.3 Contract C2022-018-TO17-PO24-705 291
- Consideration of a Contract Award for the Montreal Road Sidewalk Design Task Order

- J.4 Contract C2021-011-P.I.0017399-SR.410 by Resolution R2024-04-13 299
- Consideration of approval of a contract for Acquisition of Right of Way at Mountain Industrial Blvd @ US 78

**K. MAYOR AND COUNCIL COMMENTS**

**L. EXECUTIVE SESSION**

- As required for personnel, real estate and litigation

**M. ACTION AFTER EXECUTIVE SESSION**

- As needed

**N. ADJOURNMENT**

- Motion to adjourn meeting



**MAYOR & CITY COUNCIL  
REGULAR MEETING MINUTES**

**Monday, March 11, 2024, 7:00 PM  
Tucker City Hall  
1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084**

Members Present: Frank Auman, Mayor  
Roger W. Orlando, Council Member District 1, Post 1  
Cara Schroeder, Council Member District 2, Post 1  
Alexis Weaver, Council Member District 3, Post 1  
Amy Trocchi, Council Member District 3, Post 2  
Vinh Nguyen, Council Member District 2, Post 2

Members Absent: Virginia Rece, Council Member District 1, Post 2

Video: <https://www.tuckerga.gov/documents/>

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**A. CALL TO ORDER**

Mayor Auman called the meeting to order at 7:00 PM.

**B. ROLL CALL**

The above were in attendance for a quorum. Councilmember Rece was absent. Motion to excuse by Councilmembers Orlando and Schroeder. passed unanimously.

**C. PLEDGE OF ALLEGIANCE**

The Tucker Middle School Chorus sang "The Star Spangled Banner" then led the Pledge of Allegiance.

**D. MAYOR'S OPENING REMARKS**

Mayor Auman presented certificates to the 27 graduates of the University of Government Affairs (UGA) Tucker's Class of 2024, and mentioned that since the last update, the City of Tucker has issued 33 Occupational Tax Certificates (OTC's).

The mayor stated that our meeting rules of decorum come from Robert's Rules of Order and are held in accordance with Georgia's Open Meetings Act.

**E. PUBLIC COMMENTS**

General public comments allow individual speakers to comment for two minutes each with a total allotted time of 20 minutes.

Public comments were heard from 7 citizens regarding events, agenda items, kudzu issue, and affordable housing.

**F. APPROVAL OF THE AGENDA**

MOVER: C. Schroeder

SECONDER: V. Nguyen

Motion to approve the agenda as presented passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

**G. CONSENT AGENDA**

MOVER: C. Schroeder

SECONDER: A. Trocchi

Motion to approve the Consent Agenda Items G.1 - G.5 as presented passed unanimously.

Councilmember Orlando abstained from voting on G.1 Feb 10th minutes since he was absent from that meeting.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

G.1 Special Called Meeting - February 10, 2024

G.2 Regular Meeting Minutes - February 12, 2024

G.3 Regular Meeting Minutes - February 26, 2024

G.4 Contract C2023-016-TO12-PO24-680: Tucker Industrial Rd at Elmdale Road

G.5 Contract C2023-016-TO13-PO24-681: Prestwick Drive at Churchwell Lane

**H. STAFF REPORTS**

**I. OLD BUSINESS**

I.1 Ordinance O2024-02-01

Community Development Director Courtney Smith spoke on the second read of Ordinance O2024-02-01 to amend the official zoning map of the City of Tucker (RZ-24-0002) relating to property located between Fern Drive, Lawrenceville Highway, Montreal Road, and Montreal Circle.

A public hearing was held which nobody spoke in favor or opposition. Public hearing closed.

MOVER: V. Nguyen

SECONDER: C. Schroeder

Motion to approve O2024-02-01 to amend the zoning map RZ-24-0002 passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

I.2 Ordinance O2024-02-02

Community Development Director Courtney Smith spoke on the second read of Ordinance O2024-02-02 to amend the City of Tucker Code, Chapter 46, Zoning, including but not limited to references to planned unit developments (PUDs) in the Northlake zoning districts. (TA-24-0001)

A public hearing held, which nobody spoke in favor and one citizen spoke in opposition. Public hearing closed.

MOVER: C. Schroeder

SECONDER: V. Nguyen

Motion to approve O2024-02-02 to amend Code CH 46 Zoning TA-24-0001 passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

**J. NEW BUSINESS**

J.1 Ordinance O2024-03-04

Planning Manager Julie Martin spoke on the first read of an Ordinance for a Special Land Use Permit (SLUP-24-0001) for a Personal Care Home, Group (4-6) at 4372 Lawrenceville Highway for applicant Albert's House Five, LLC.

A public hearing was held which the applicant and one citizen spoke in favor and nobody spoke in opposition. Public hearing closed.

**FIRST READ**

J.2 Ordinance O2024-03-05

Planning Manager Julie Martin spoke on the first read of an Ordinance for a major modification (RZ-24-0001) to allow for changes in approved conditions for a compound pharmacy at 2212 Fellowship Road for applicant Thy Pham/Atlanta City Pharmacy.

A public hearing was held which the applicant spoke in favor and nobody spoke in opposition. Public hearing closed.

**FIRST READ**

J.3 Ordinance O2024-03-06

Community Development Director Courtney Smith spoke on the first read of an Ordinance to amend the City of Tucker City Code, Chapter 46 Zoning, including but not limited to references to

multifamily density and permitted building heights in the Downtown Special Zoning Districts. (TA-24-0002)

A public hearing was held which one citizen spoke in favor and three citizens spoke in opposition. Public hearing closed.

**FIRST READ**

J.4 Resolution R2024-03-10

MOVER: C. Schroeder

SECONDER: R. Orlando

Motion to approve R2024-03-10 to amend the FY2024 Operating and Capital Budget passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

J.5 Contract C2024-001-PO24-693 approved by Resolution R2024-03-11

City Engineer Ken Hildebrandt spoke on the contract award for the bid 2024-001 on Full Depth Reclamation and Resurfacing, which ten bids were received. Due to the rapid deterioration of some of our subdivision streets, 36 streets are recommended for treatment. Some of these will require full depth reclamation where the existing asphalt and base is milled up, and soil cement base is installed, and the road is repaved. Other streets will require milling, patching, and resurfacing. Recommendation to award the contract to Georgia Paving, Inc for \$3,081,853.00.

MOVER: C. Schroeder

SECONDER: R. Orlando

Motion to approve contract C2024-001-PO24-693 to Georgia Paving Inc by Resolution R2024-03-11 passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

J.6 Contract C2022-018-TO14-PO24-694

City Engineer Ken Hildebrandt spoke on the Contract Award for Task Order 14 on Richardson Street Engineering Design. This project is identified in the Transportation Master Plan and will correct several deficiencies with Richardson Street.

- The current intersection at E Ponce de Leon Avenue is too close to the US 78 ramp, creating a sight distance issue. The road will be realigned, shifting the intersection to the northwest.

- The current condition of Richardson Street does not meet City of Tucker road design standards in terms of road width, drainage, or structural stability. The new road will be 22' wide with curb & gutter, storm drainage, sidewalk, and streetlights.
- Richardson Street does not connect in the middle, making this a one-way street from each direction. This project will reconnect the street such that there will be a continuous road from E Ponce de Leon Ave to Stone Mill Way.

Recommendation is to approve Task Order #14 be awarded to Falcon Design in the amount of \$136,500.

MOVER: R. Orlando

SECONDER: C. Schroeder

Motion to approve Contract C2022-018-TO14-PO24-694 for Task Order 14 to Falcon Design passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

**K. MAYOR AND COUNCIL COMMENTS**

The Mayor and Council thanked everyone for attending, expressed congratulations to the graduates of UGA Tucker, and Councilmember Trocchi mentioned that she attended the newly elected officials training.

**L. EXECUTIVE SESSION**

MOVER: C. Schroeder

SECONDER: R. Orlando

Motion to enter into Executive Session for the purpose of personnel, real estate and litigation at 9:28 PM passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

MOVER: C. Schroeder

SECONDER: V. Nguyen

Motion to exit Executive Session and return to the regular meeting at 10:18 PM passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

**M. ACTION AFTER EXECUTIVE SESSION**

None

**N. ADJOURNMENT**

MOVER: C. Schroeder

SECONDER: A. Trocchi

Motion to adjourn meeting at 10:21 PM passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, A. Weaver, A. Trocchi, and V. Nguyen

ABSENT: (1): V. Rece

**APPROVED (6 to 0)**

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APPROVED: Frank Auman, Mayor

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ATTEST: Bonnie Warne, Clerk

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Date Approved





**MAYOR & CITY COUNCIL  
REGULAR MEETING MINUTES**

**Monday, March 25, 2024, 7:00 PM  
Tucker City Hall  
1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084**

Members Present: Frank Auman, Mayor  
Roger W. Orlando, Council Member District 1, Post 1  
Cara Schroeder, Council Member District 2, Post 1  
Alexis Weaver, Council Member District 3, Post 1  
Virginia Rece, Council Member District 1, Post 2  
Amy Trocchi, Council Member District 3, Post 2  
Vinh Nguyen, Council Member District 2, Post 2

Video: <https://www.tuckerga.gov/documents>

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**A. CALL TO ORDER**

Mayor Auman called the meeting to order at 7:00 PM.

**B. ROLL CALL**

The above were in attendance for a quorum.

**C. PLEDGE OF ALLEGIANCE**

**D. MAYOR'S OPENING REMARKS**

City Attorney Ted Baggett introduced an associate attorney, Cheyenne Hunt, that has been assisting with some of the city's legal work. She has been handling cases in Municipal Court as an assistant solicitor and has reviewed several of the contracts on tonight's agenda.

**E. APPROVAL OF THE AGENDA**

Motion to approve the agenda as presented passed unanimously.

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to approve the agenda as presented passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

**APPROVED (7 to 0)**

**F. PRESENTATIONS**

F.1 Discover DeKalb Convention and Visitor’s Bureau (CVB) Presentation

James Tsismanakis President of Discover DeKalb CVB mentioned that Discover DeKalb Convention & Visitors Bureau is the official destination marketing organization for the cities of Chamblee, Doraville, Tucker, Stonecrest, City of Stone Mountain, and unincorporated DeKalb County, GA., and gave the annual presentation on their marketing efforts for the City of Tucker. Hotels in the City of Tucker collect an 8% Excise Tax from patrons on rooms, lodgings, and accommodations to provide additional funding for the promotion of tourism, conventions, and trade shows in the City. 43.75% of the Hotel Motel Excise Tax collected is submitted to Discover DeKalb CVB and is utilized to promote tourism and marketing.

**G. CONSENT AGENDA**

MOVER: V. Rece

SECONDER: C. Schroeder

Motion to approve the consent agenda items G.1 thru G.3 as presently passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

**APPROVED (7 to 0)**

- G.1 Contract C2023-016-TO14-PO24-697 Video Capture and Cleaning at 8 Locations
- G.2 Contract C2023-016-TO16-PO24-685 Storm System Repairs - 4260 Bonaparte Lane
- G.3 Contract C2023-016-TO17-PO24-686 Storm System Repairs - 2068 Silversmith Lane

**H. STAFF REPORTS**

H.1 Report on Interim Financials for February 2024

Beverly Hilton, Finance Director, gave a presentation on the February 2024 interim revenue and expenditure report, demonstrating the City’s budget position for this month of the fiscal year with comparisons to the same period in previous years.

H.2 Report on Upcoming Agenda Items

John McHenry, City Manager, spoke on the tentative list of potential agenda items for upcoming meetings.

H.3 Update from Economic Development

Jackie Moffo, Economic Development Director, presented an update on year to date efforts and programs. The Economic Development Department has been working on implementation of the Economic Development Strategic Plan (EDSP) which includes foundational economic development efforts for the City such as – Business Retention and Expansion Visits and general business support and outreach. Other department efforts include Ribbon Cuttings, welcoming new businesses to the community, and tracking and supporting major employer projects. The Tucker Development Authority (TDA) launched the Tucker Downtown Façade Grant Program in July 2023. This program has recently undergone updates to make the program even more accessible and easier to use.

**I. OLD BUSINESS**

I.1 Ordinance O2024-02-03

Ted Baggett, City Attorney, spoke on the second read of an Ordinance for the Purpose of Amending the Tucker Code Chapter 10 Businesses Relating to Business Occupation Taxes; to Eliminate Unnecessary Obstacles to Businesses Paying Occupation Taxes to the City; to Provide for Consistency with State Law. The revision to the city’s occupation tax ordinance will make it easier for local businesses to pay their taxes to the city.

A public hearing in favor or opposition was held, which nobody spoke in favor or opposition. Public hearing closed.

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to approve Ordinance O2024-02-03 to amend tucker Code CH 10 Businesses passed unanimously as presented.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

**APPROVED (7 to 0)**

**J. NEW BUSINESS**

J.1 Contract C2024-03-25-MOA-GDOT

Ken Hildebrandt, City Engineer, spoke on the Contract C2024-03-25-MOA-GDOT: Memorandum of Agreement with the Georgia Department of Transportation. GDOT designates an internal budget for each federally funded project to provide project oversight services. GDOT has exceeded their budget for the intersection improvement project of Hugh Howell Road @Mountain Industrial Boulevard and is requesting \$20,000 for project oversight. Failure to pay this would jeopardize the federal funding for this project. \$10,000 will be reimbursed by the Tucker Summit CID.

MOVER: R. Orlando

SECONDER: V. Rece

Motion to approve Contract C2024-03-25-MOA-GDOT an MOA with GDOT passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

**APPROVED (7 to 0)**

J.2 Contract C2024-03-25-MOA-TSCID

City Engineer Ken Hildebrandt spoke on Contract C2024-03-25-MOA-TSCID a Memorandum of Agreement with the Tucker Summit Community Improvement District for \$10,000 for the GDOT Project Oversight for the intersection improvement project of Hugh Howell Road @Mountain Industrial Boulevard.

MOVER: R. Orlando

SECONDER: V. Rece

Motion to approve Contract C2024-03-25-MOA-TSCID a MOA with TSCID for GDOT Project Oversight passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

**APPROVED (7 to 0)**

J.3 Contract TO2023-01-2022-018-CE2307-AMD-01

Ken Hildebrandt, City Engineer, spoke on Contract TO-2023-2022-018-CE2307-AMD-01 which is an amendment for Engineering Design on Hugh Howell Road Trail Phase 2 by \$52,165. A Subsurface Utility Engineering survey was completed and it was discovered that there are more utilities along Hugh Howell Road than anticipated. These utilities were in conflict with the trail construction. Coordination with utility companies were required resulting in necessary plan amendments. Plus, the recently adopted internal policy on stormwater design required a detailed hydrology study to be performed.

MOVER: V. Rece

SECONDER: R. Orlando

Motion to approve the task order contract amendment TO-2023-2022-018-CE2307-AMD-01 passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

**APPROVED (7 to 0)**

**K. MAYOR AND COUNCIL COMMENTS**

The Mayor and Council thanked everyone for attending and mentioned upcoming events.

**L. EXECUTIVE SESSION - None**

**M. ACTION AFTER EXECUTIVE SESSION - None**

**N. ADJOURNMENT**

MOVER: C. Schroeder

SECONDER: V. Nguyen

Motion to adjourn meeting at 8:41 PM passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

**APPROVED (7 to 0)**

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APPROVED: Frank Auman, Mayor

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ATTEST: Bonnie Warne, Clerk

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Date Approved



## MEMO

**To:** Honorable Mayor and City Council Members  
**From:** John McHenry, City Manager  
**Date:** April 2, 2024  
**RE:** Memo for the Distribution of the Draft FY25 Operating and Capital Budgets

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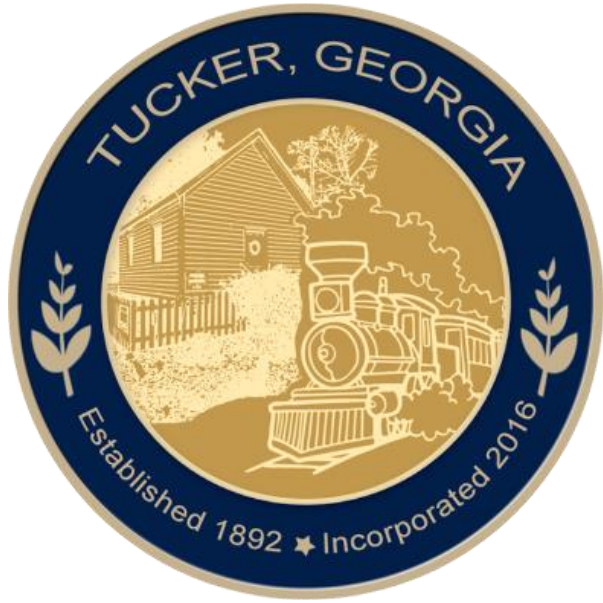
### **Description for on the Agenda:**

Distribution of FY 2025 Draft Budget

### **Discussion:**

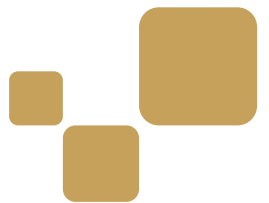
The FY 2025 Operating and Capital Budget will be distributed at Monday, April 8<sup>th</sup>'s Council meeting. The packet will be available during the meeting. The draft budget will contain the City Manager recommended amounts in all funds.

The draft budget will be available on our website for public inspection (April 8<sup>th</sup>, 2024 at 7:00 pm). A printed copy will be available for public inspection in the City Clerk's Office during normal business hours on Tuesday, April 9<sup>th</sup>. The tentative schedule for budget workshops, hearings and adoption has been advertised as required. We have had productive meetings and requests from the department heads, as well as briefings with all Councilmembers. The first budget workshop is scheduled for our meeting on Monday, April 22<sup>nd</sup>.




# CITY OF TUCKER

## Update on FY2025 Budget Process



# CITY OF TUCKER FY 2025 Budget Process

	February				March				April				May				June				July
	Wk 1	Wk 2	Wk 3	Wk 4	Wk 1	Wk 2	Wk 3	Wk 4	Wk 1	Wk 2	Wk 3	Wk 4	Wk 1	Wk 2	Wk 3	Wk 4	Wk 1	Wk 2	Wk 3	Wk 4	FY2025
Instructions to Depts			Feb 15																		
Deadline for Depts					Mar 8																
Dept Meets w/CM							Mar 11-15														
Council Briefings								Mar 25-29													
Ad in Champion									Apr 4												
1st Draft Presented										Apr 8											
Budget Workshop											Apr 22										
Budget Workshop														May 20							
1st Read/Public Hearing																			May 28		
Ad in Champion																			May 30		
2nd Read/Public Hearing																				Jun 10	
Adoption of Budget																				Jun 10	
FY2025																					

# CITY OF TUCKER

## FY 2025 Budget Process

- **February 16 – Budget Request instructions to Departments**
- **March 8 – Deadline for submission to Finance**
- **March 11-15 – Depts meet with Finance and City Manager**
- **March 25-29 – Individual budget briefings with Council Members**
- April 8 – 1<sup>st</sup> Draft of Budget delivered to Council
- April 22 – Budget Workshop #1
- May 20 – Budget Workshop #2
- May 28 – 1<sup>st</sup> Read and Public Hearing
- June 10 – 2<sup>nd</sup> Read and Public Hearing
- June 10 – Adoption of FY2025 Budget



BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
100-0000-31.13100	MOTOR VEHICLE TAX	20,000.00	11,359.10		17,000.00	17,000.00
100-0000-31.13150	TITLE AD VALOREM TAX	1,100,000.00	865,977.21		1,168,000.00	1,168,000.00
100-0000-31.13400	INTANGIBLE TAXES	2,000.00	569.45		1,500.00	1,500.00
100-0000-31.16000	REAL ESTATE TRANSFER TAXES	1,000.00	191.65		400.00	400.00
100-0000-31.17100	FRANCHISE FEES-ELECTRIC	2,710,150.00	2,696,653.14		2,750,000.00	2,750,000.00
100-0000-31.17300	FRANCHISE FEES-NATURAL GAS	438,400.00	325,637.97		438,410.00	438,410.00
100-0000-31.17500	FRANCHISE FEES-TV CABLE	356,000.00	180,930.94		348,000.00	348,000.00
100-0000-31.17600	FRANCHISE FEES-TELEPHONE	50,000.00	19,306.10		48,000.00	48,000.00
100-0000-31.42000	BEER/WINE ALCOHOLIC BEVERAGE	492,000.00	371,475.68		541,200.00	541,200.00
100-0000-31.42500	DISTILLED SPIRIT ALCOHOLIC BE	108,000.00	94,153.16		118,800.00	118,800.00
100-0000-31.43000	LOCAL OPTION MIXED DRINK	145,000.00	112,792.40		160,000.00	160,000.00
100-0000-31.61000	BUSINESS & OCCUPATION TAXES	4,100,000.00	2,167,034.98		4,000,000.00	4,000,000.00
100-0000-31.62000	INSURANCE PREMIUM TAX	3,291,910.00	3,291,910.20		3,522,000.00	3,522,000.00
100-0000-31.63000	FINANCIAL INSTITUTIONS TAXES	185,000.00	174,510.00		175,000.00	175,000.00
100-0000-31.90000	PENALTIES AND INTEREST	54,000.00	33,524.08		50,000.00	50,000.00
100-0000-32.11000	ALCOHOLIC BEVERAGE LICENSE	350,000.00	313,339.02		330,000.00	330,000.00
100-0000-32.12200	INSURANCE LICENSE	50,000.00	40,200.00		40,000.00	40,000.00
100-0000-34.11900	OTHER FEES	300.00	196.10		300.00	300.00
100-0000-34.19100	ELECTION QUALIFYING FEE	3,360.00	3,360.00		0.00	0.00
100-0000-34.32000	SPECIAL ASSESSMENT - STREETLI	0.00	412,639.61		0.00	0.00
100-0000-34.32001	SPECIAL ASSESSMENT - TRAFFIC	0.00	8,833.67		0.00	0.00
100-0000-34.93000	BAD CHECK FEES	500.00	120.00		100.00	100.00
100-0000-36.10000	INTEREST	900,000.00	729,010.55		1,000,000.00	1,000,000.00
100-0000-37.10000	CONTRIBUTIONS / DONATIONS	5,000.00			0.00	0.00
100-0000-38.90000	MISCELLANEOUS REVENUE	30,481.06	30,481.06		1,000.00	1,000.00
Total Department 0000:		14,393,101.06	11,884,206.07	0.00	14,709,710.00	14,709,710.00
<b>Department: 1540 HUMAN RESOURCES</b>						
100-1540-33.60000	LOCAL GOVERNMENT UNIT GRANT	2,500.00	2,500.00		2,500.00	2,500.00
Total Department 1540:		2,500.00	2,500.00	0.00	2,500.00	2,500.00
<b>Department: 1595 GENERAL OPERATIONS</b>						
100-1595-37.10000	CONTRIBUTIONS / DONATIONS	1,000.00	1,000.00		1,000.00	1,000.00
Total Department 1595:		1,000.00	1,000.00	0.00	1,000.00	1,000.00
<b>Department: 2650 MUNICIPAL COURT</b>						
100-2650-35.10000	MUNICIPAL COURT	600,000.00	353,483.27		606,000.00	606,000.00
Total Department 2650:		600,000.00	353,483.27	0.00	606,000.00	606,000.00
<b>Department: 4100 PUBLIC WORKS ADMINISTRATION</b>						
100-4100-31.11000	PROPERTY TAX	4,152,450.00	3,815,035.31		4,300,000.00	4,300,000.00
Total Department 4100:		4,152,450.00	3,815,035.31	0.00	4,300,000.00	4,300,000.00
<b>Department: 6210 PARKS &amp; RECREATION</b>						
100-6210-31.11000	MILLAGE FROM DEKALB	2,170,350.00	2,099,048.99		2,250,000.00	2,250,000.00
100-6210-31.91100	PENALTIES & INTEREST ON DELIN	27,400.00	26,628.61		26,000.00	26,000.00
100-6210-34.72001	CITY POOLS	62,500.00	25,403.00		60,000.00	60,000.00
100-6210-34.75000	PROGRAM FEES -- CAMP	172,600.00	155,350.52		180,000.00	180,000.00
100-6210-34.75002	PROGRAM FEES - LEAGUES & TOU	110,000.00	86,686.03		106,000.00	106,000.00
100-6210-34.75003	PROGRAM FEES -- OTHER	20,000.00	15,899.00		15,000.00	15,000.00
100-6210-34.75004	GYM MEMBERSHIPS	10,000.00	10,243.00		10,000.00	10,000.00

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 6210 PARKS &amp; RECREATION</b>						
100-6210-34.75005	VENDING/CONCESSIONS	500.00	10.84		500.00	500.00
100-6210-37.10000	CONTRIBUTIONS / DONATIONS	5,000.00	5,000.00		1,000.00	1,000.00
100-6210-38.10000	RENTS & ROYALTIES	43,000.00	34,890.91		43,000.00	43,000.00
100-6210-38.10001	RENTS - FILM INDUSTRY	50,000.00	44,800.00		50,000.00	50,000.00
Total Department 6210:		2,671,350.00	2,503,960.90	0.00	2,741,500.00	2,741,500.00
<b>Department: 6212 POOLS</b>						
100-6212-34.75005	VENDING/CONCESSIONS	5,000.00	2,817.00		5,000.00	5,000.00
Total Department 6212:		5,000.00	2,817.00	0.00	5,000.00	5,000.00
<b>Department: 7210 PROTECTIVE INSPECTIONS</b>						
100-7210-32.22000	BUILDING PERMITS	1,000,000.00	600,399.37		800,000.00	800,000.00
100-7210-32.22100	DEVELOPMENT PERMITS	30,000.00	17,430.40		25,000.00	25,000.00
Total Department 7210:		1,030,000.00	617,829.77	0.00	825,000.00	825,000.00
<b>Department: 7520 ECONOMIC DEVELOPMENT</b>						
100-7520-37.10000	CONTRIBUTIONS / DONATIONS	3,000.00			3,000.00	3,000.00
Total Department 7520:		3,000.00	0.00	0.00	3,000.00	3,000.00
<b>Department: 7550 DOWNTOWN DEVELOPMENT AUTHORITY</b>						
100-7550-37.10000	CONTRIBUTIONS / DONATIONS	10,000.00	10,000.00		0.00	0.00
Total Department 7550:		10,000.00	10,000.00	0.00	0.00	0.00
<b>Department: 9000 INTERFUND</b>						
100-9000-39.12000	TRANSFER FROM HOTEL	438,000.00	266,617.07		480,000.00	480,000.00
100-9000-39.12200	TRANSFER FROM RENTAL CAR	70,800.00	34,403.07		66,000.00	66,000.00
100-9000-39.12700	TRANSFER FROM ARPA FUND	4,500,000.00	3,806,481.00		2,308,960.00	2,308,960.00
Total Department 9000:		5,008,800.00	4,107,501.14	0.00	2,854,960.00	2,854,960.00
Estimated Revenues		27,877,201.06	23,298,333.46	0.00	26,048,670.00	26,048,670.00
<b>Account Category: Appropriations</b>						
<b>Department: 1110 CITY COUNCIL</b>						
100-1110-51.11000	REGULAR SALARIES	104,002.00	76,000.44		104,002.00	104,002.00
100-1110-51.22000	FICA TAXES	4,113.00	3,105.06		4,112.00	4,112.00
100-1110-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	6,201.00	4,530.93		6,200.00	6,200.00
100-1110-51.27000	WORKERS COMP	285.00	142.00		500.00	500.00
100-1110-52.31000	GENERAL LIABILITY INSURANCE	20,000.00	18,232.00		22,400.00	22,400.00
100-1110-52.32000	CELL PHONES	6,000.00	3,562.63		4,750.00	4,750.00
100-1110-52.34000	PRINTING	200.00	181.93		200.00	200.00
100-1110-52.35000	TRAVEL EXPENSE	10,000.00	201.65		20,000.00	20,000.00
100-1110-52.37000	EDUCATION & TRAINING	10,000.00	1,245.00		10,000.00	10,000.00
100-1110-53.10000	OPERATING SUPPLIES - MAYOR	5,000.00	1,758.80		5,000.00	5,000.00
100-1110-53.10001	OPERATING SUPPLIES - DIST 1 P	3,000.00			3,000.00	3,000.00
100-1110-53.10002	OPERATING SUPPLIES - DIST 1 P	3,000.00	857.61		3,000.00	3,000.00
100-1110-53.10003	OPERATING SUPPLIES - DIST 2 P	3,000.00	419.60		3,000.00	3,000.00
100-1110-53.10004	OPERATING SUPPLIES - DIST 2 P	3,000.00	247.41		3,000.00	3,000.00
100-1110-53.10005	OPERATING SUPPLIES - DIST 3 P	3,000.00			3,000.00	3,000.00
100-1110-53.10006	OPERATING SUPPLIES - DIST 3 P	3,000.00			3,000.00	3,000.00
100-1110-53.10007	OPERATING SUPPLIES	100.00	40.00		0.00	0.00
100-1110-53.11000	OFFICE SUPPLIES	0.00			1,000.00	1,000.00

BUDGET REPORT FOR CITY OF TUCKER

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 1110 CITY COUNCIL</b>						
100-1110-53.13000	FOOD SUPPLIES	950.00	862.65		6,000.00	6,000.00
100-1110-53.17100	UNIFORMS	500.00			1,400.00	1,400.00
Total Department 1110:		185,351.00	111,387.71	0.00	203,564.00	203,564.00
<b>Department: 1320 CITY MANAGEMENT</b>						
100-1320-51.11000	REGULAR SALARIES	335,400.00	274,397.70		478,921.00	478,921.00
100-1320-51.21000	GROUP HEALTH INSURANCE	47,000.00	35,455.08		72,152.00	72,152.00
100-1320-51.21003	LIFE INSURANCE	1,790.00	1,741.85		243.00	243.00
100-1320-51.21004	LONG TERM DISABILITY INSURANC	1,500.00	726.43		2,135.00	2,135.00
100-1320-51.21005	SHORT TERM DISABILITY INSURAN	1,473.00	1,263.47		1,484.00	1,484.00
100-1320-51.21006	EAP INSURANCE	7.00	4.92		9.00	9.00
100-1320-51.22000	FICA TAXES	5,500.00	4,639.61		5,937.00	5,937.00
100-1320-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	34,000.00	27,440.01		40,939.00	40,939.00
100-1320-51.24001	457 (B) 4% MATCHING CONTRIBUT	14,000.00	10,976.01		16,376.00	16,376.00
100-1320-51.27000	WORKERS COMP	1,500.00	839.81		1,800.00	1,800.00
100-1320-51.28000	TERMINATION BENEFITS	44,226.16	44,226.16		0.00	0.00
100-1320-52.12000	PROFESSIONAL SERVICES	87,000.00	11,505.24	75,494.76	0.00	0.00
100-1320-52.13000	OTHER SERVICES / TECHNICAL	71,000.00	43,195.77	22,800.00	0.00	0.00
100-1320-52.13100	CONTRACTUAL SERVICES	0.00			550,000.00	550,000.00
100-1320-52.32000	CELL PHONES	1,100.00	663.63		1,500.00	1,500.00
100-1320-52.35000	TRAVEL EXPENSE	8,000.00	4,277.21		10,000.00	10,000.00
100-1320-52.36000	DUES & FEES	4,066.00	3,028.56		4,000.00	4,000.00
100-1320-52.37000	EDUCATION & TRAINING	7,500.00	2,149.95		7,470.00	7,470.00
100-1320-53.10000	OPERATING SUPPLIES	1,000.00	682.09		1,000.00	1,000.00
100-1320-53.13000	FOOD SUPPLIES	1,000.00	441.15		3,500.00	3,500.00
100-1320-53.17100	UNIFORMS	0.00			500.00	500.00
100-1320-53.17500	HOSPITALITY SUPPLIES	9,500.00	2,867.78		0.00	0.00
100-1320-54.24000	COMPUTER/SOFTWARE	0.00			15,000.00	15,000.00
Total Department 1320:		676,562.16	470,522.43	98,294.76	1,212,966.00	1,212,966.00
<b>Department: 1330 CITY CLERK</b>						
100-1330-51.11000	REGULAR SALARIES	161,000.00	121,138.87		170,743.00	170,743.00
100-1330-51.21000	GROUP HEALTH INSURANCE	28,000.00	20,317.13		30,282.00	30,282.00
100-1330-51.21003	LIFE INSURANCE	190.00	108.00		162.00	162.00
100-1330-51.21004	LONG TERM DISABILITY INSURANC	850.00	332.58		814.00	814.00
100-1330-51.21005	SHORT TERM DISABILITY INSURAN	992.00	766.67		871.00	871.00
100-1330-51.21006	EAP INSURANCE	6.00	4.00		6.00	6.00
100-1330-51.22000	FICA TAXES	2,320.00	1,756.51		2,476.00	2,476.00
100-1330-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	16,000.00	12,114.02		17,075.00	17,075.00
100-1330-51.24001	457 (B) 4% MATCHING CONTRIBUT	6,400.00	4,845.57		6,830.00	6,830.00
100-1330-51.27000	WORKERS COMP	415.00	206.37		550.00	550.00
100-1330-52.11000	ELECTION SERVICES	71,000.00			50,000.00	50,000.00
100-1330-52.32000	CELL PHONES	1,030.00	743.63		1,100.00	1,100.00
100-1330-52.33000	ADVERTISING	9,000.00	2,293.63		9,000.00	9,000.00
100-1330-52.35000	TRAVEL EXPENSE	3,000.00	2,675.87		4,500.00	4,500.00
100-1330-52.36000	DUES & FEES	1,200.00	216.24		1,009.00	1,009.00
100-1330-52.37000	EDUCATION & TRAINING	3,000.00	2,150.00		4,120.00	4,120.00
100-1330-53.10000	OPERATING SUPPLIES	3,300.00	2,973.87		2,950.00	2,950.00
100-1330-53.13000	FOOD SUPPLIES	500.00			1,000.00	1,000.00
100-1330-53.17100	UNIFORMS	200.00			200.00	200.00

BUDGET REPORT FOR CITY OF TUCKER

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 1330 CITY CLERK</b>						
100-1330-54.24000	COMPUTER/SOFTWARE	49,250.00	49,065.07		51,000.00	51,000.00
Total Department 1330:		357,653.00	221,708.03	0.00	354,688.00	354,688.00
<b>Department: 1500 FACILITIES &amp; BUILDINGS</b>						
100-1500-52.12000	PROFESSIONAL SERVICES	20,000.00			0.00	0.00
100-1500-52.13001	SECURITY SERVICES	65,000.00	46,971.00		81,000.00	81,000.00
100-1500-52.21300	JANITORIAL	2,280.00	1,520.00		2,300.00	2,300.00
100-1500-52.22000	REPAIRS & MAINTENANCE	15,000.00	8,549.84		26,000.00	26,000.00
100-1500-52.23100	RENTAL OF LAND AND BUILDINGS	456,442.00	384,220.51	69,324.92	641,867.00	641,867.00
100-1500-52.32100	INTERNET	26,300.00	19,738.36		26,400.00	26,400.00
100-1500-52.39000	OTHER PURCHASED SERVICES	3,360.00	215.85		2,650.00	2,650.00
100-1500-54.23000	FURNITURE AND FIXTURES	22,000.00	2,867.89		50,000.00	50,000.00
100-1500-54.25000	OTHER EQUIPMENT	56,500.00	12,500.00	44,000.00	45,000.00	45,000.00
Total Department 1500:		666,882.00	476,583.45	113,324.92	875,217.00	875,217.00
<b>Department: 1510 FINANCE ADMINISTRATION</b>						
100-1510-51.11000	REGULAR SALARIES	450,000.00	305,424.00		550,197.00	550,197.00
100-1510-51.13000	OVERTIME SALARIES	2,200.00	1,851.97		4,000.00	4,000.00
100-1510-51.21000	GROUP HEALTH INSURANCE	125,000.00	87,267.42		154,057.00	154,057.00
100-1510-51.21003	LIFE INSURANCE	425.00	290.25		486.00	486.00
100-1510-51.21004	LONG TERM DISABILITY INSURANC	1,600.00	920.36		2,263.00	2,263.00
100-1510-51.21005	SHORT TERM DISABILITY INSURAN	2,450.00	1,822.45		2,389.00	2,389.00
100-1510-51.21006	EAP INSURANCE	16.00	10.75		18.00	18.00
100-1510-51.22000	FICA TAXES	6,350.00	4,455.49		6,882.00	6,882.00
100-1510-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	35,500.00	30,542.67		47,990.00	47,990.00
100-1510-51.24001	457 (B) 4% MATCHING CONTRIBUT	16,000.00	10,806.43		17,181.00	17,181.00
100-1510-51.27000	WORKERS COMP	1,000.00	471.76		1,200.00	1,200.00
100-1510-52.11000	AUDIT SERVICES	45,000.00	43,650.00		45,000.00	45,000.00
100-1510-52.12000	PROFESSIONAL SERVICES	48,000.00	37,171.97	7,020.00	31,000.00	31,000.00
100-1510-52.32000	CELL PHONES	1,500.00	989.06		1,560.00	1,560.00
100-1510-52.35000	TRAVEL EXPENSE	2,500.00	1,216.71		5,000.00	5,000.00
100-1510-52.36000	DUES & FEES	2,050.00	679.00		2,900.00	2,900.00
100-1510-52.37000	EDUCATION & TRAINING	3,850.00	1,550.00		4,100.00	4,100.00
100-1510-53.10000	OPERATING SUPPLIES	4,500.00	1,934.51		4,500.00	4,500.00
100-1510-53.13000	FOOD SUPPLIES	1,000.00	626.52		1,000.00	1,000.00
100-1510-53.17100	UNIFORMS	1,000.00			650.00	650.00
100-1510-54.24000	COMPUTER/SOFTWARE	0.00			3,000.00	3,000.00
Total Department 1510:		749,941.00	531,681.32	7,020.00	885,373.00	885,373.00
<b>Department: 1513 OPERATING CONTINGENCIES</b>						
100-1513-57.90000	CONTINGENCIES	43,000.00			250,000.00	250,000.00
Total Department 1513:		43,000.00	0.00	0.00	250,000.00	250,000.00
<b>Department: 1530 LEGAL SERVICES DEPARTMENT</b>						
100-1530-52.12000	PROFESSIONAL SERVICES	120,000.00	51,600.00		60,500.00	60,500.00
100-1530-52.12200	ATTORNEY FEES / CITY ATTORNEY	230,000.00	136,921.74		265,000.00	265,000.00
100-1530-52.13000	OTHER SERVICES / TECHNICAL	0.00	5,000.00		0.00	0.00
100-1530-52.13100	CONTRACTUAL SERVICES	5,500.00	3,476.01		6,000.00	6,000.00
100-1530-53.10000	OPERATING SUPPLIES	200.00	69.18		100.00	100.00
Total Department 1530:		355,700.00	197,066.93	0.00	331,600.00	331,600.00

BUDGET REPORT FOR CITY OF TUCKER

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 1535 IT/GIS</b>						
100-1535-51.11000	REGULAR SALARIES	105,000.00	78,295.20		110,336.00	110,336.00
100-1535-51.21000	GROUP HEALTH INSURANCE	10,000.00	7,266.78		10,265.00	10,265.00
100-1535-51.21003	LIFE INSURANCE	100.00	54.00		81.00	81.00
100-1535-51.21004	LONG TERM DISABILITY INSURANC	400.00	217.48		527.00	527.00
100-1535-51.21005	SHORT TERM DISABILITY INSURAN	550.00	422.88		504.00	504.00
100-1535-51.21006	EAP INSURANCE	5.00	2.00		3.00	3.00
100-1535-51.22000	FICA TAXES	1,555.00	1,135.28		1,601.00	1,601.00
100-1535-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	10,710.00	7,829.52		11,036.00	11,036.00
100-1535-51.24001	457 (B) 4% MATCHING CONTRIBUT	3,700.00	2,740.37		3,863.00	3,863.00
100-1535-51.27000	WORKERS COMP	200.00	63.45		100.00	100.00
100-1535-52.12300	CONTRACTUAL SVCS INTERDEV	668,000.00	411,327.21	241,195.14	592,987.00	592,987.00
100-1535-52.22000	REPAIRS & MAINTENANCE	1,000.00	590.00		1,000.00	1,000.00
100-1535-53.10000	OPERATING SUPPLIES	1,000.00	569.98		1,000.00	1,000.00
100-1535-54.24000	COMPUTER/SOFTWARE	337,779.00	166,730.06	16,322.62	340,975.00	340,975.00
<b>Total Department 1535:</b>		<b>1,139,999.00</b>	<b>677,244.21</b>	<b>257,517.76</b>	<b>1,074,278.00</b>	<b>1,074,278.00</b>
<b>Department: 1540 HUMAN RESOURCES</b>						
100-1540-51.11000	REGULAR SALARIES	96,000.00	71,556.85		100,900.00	100,900.00
100-1540-51.21000	GROUP HEALTH INSURANCE	9,600.00	7,003.77		10,500.00	10,500.00
100-1540-51.21003	LIFE INSURANCE	81.00	54.00		81.00	81.00
100-1540-51.21004	LONG TERM DISABILITY INSURANC	506.00	185.67		481.00	481.00
100-1540-51.21005	SHORT TERM DISABILITY INSURAN	389.00	418.04		504.00	504.00
100-1540-51.21006	EAP INSURANCE	5.00	2.00		3.00	3.00
100-1540-51.22000	FICA TAXES	1,420.00	1,037.57		1,463.00	1,463.00
100-1540-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	9,795.00	7,155.78		10,087.00	10,087.00
100-1540-51.24001	457 (B) 4% MATCHING CONTRIBUT	3,920.00	2,862.35		4,035.00	4,035.00
100-1540-51.25000	TUITION REIMBURSEMENTS	6,000.00			16,000.00	16,000.00
100-1540-51.27000	WORKERS COMP	300.00	113.05		200.00	200.00
100-1540-51.29000	OTHER EMP BENFITS	1,200.00	650.00		1,000.00	1,000.00
100-1540-52.12000	PROFESSIONAL SERVICES	8,000.00			22,000.00	22,000.00
100-1540-52.13000	OTHER SERVICES / TECHNICAL	5,000.00			0.00	0.00
100-1540-52.32000	CELL PHONES	550.00	363.01		600.00	600.00
100-1540-52.33000	ADVERTISING	5,000.00	1,029.00		2,000.00	2,000.00
100-1540-52.35000	TRAVEL EXPENSE	3,500.00	292.25		4,000.00	4,000.00
100-1540-52.36000	DUES & FEES	7,000.00	4,695.20		5,000.00	5,000.00
100-1540-52.37000	EDUCATION & TRAINING	3,500.00	1,535.00		4,000.00	4,000.00
100-1540-53.10000	OPERATING SUPPLIES	5,000.00	2,044.84		2,500.00	2,500.00
100-1540-53.11000	OFFICE SUPPLIES	445.00	71.73		500.00	500.00
100-1540-53.13000	FOOD SUPPLIES	4,000.00	2,870.26		4,000.00	4,000.00
100-1540-53.17100	UNIFORMS	0.00			200.00	200.00
<b>Total Department 1540:</b>		<b>171,211.00</b>	<b>103,940.37</b>	<b>0.00</b>	<b>190,054.00</b>	<b>190,054.00</b>
<b>Department: 1570 COMMUNICATIONS</b>						
100-1570-52.12100	CONTRACTUAL SVCS -JACOBS	542,050.00	418,744.16	123,275.84	670,774.00	670,774.00
100-1570-52.13000	OTHER SERVICES / TECHNICAL	0.00	4,000.00		0.00	0.00
100-1570-52.32000	CELL PHONES	2,350.00	1,224.42		3,600.00	3,600.00
100-1570-52.32050	POSTAGE	35,000.00	3,591.44		45,000.00	45,000.00
100-1570-52.33000	ADVERTISING	12,000.00	6,355.00		15,000.00	15,000.00
100-1570-52.34000	PRINTING	60,000.00	16,051.00		60,000.00	60,000.00
100-1570-52.36000	DUES & FEES	2,000.00	122.55		300.00	300.00

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 1570 COMMUNICATIONS</b>						
100-1570-53.10000	OPERATING SUPPLIES	10,000.00	9,880.16		18,000.00	18,000.00
100-1570-53.17500	HOSPITALITY SUPPLIES	24,000.00	19,552.44		30,000.00	30,000.00
100-1570-54.24000	COMPUTER/SOFTWARE	21,000.00	12,330.00		25,000.00	25,000.00
Total Department 1570:		708,400.00	491,851.17	123,275.84	867,674.00	867,674.00
<b>Department: 1595 GENERAL OPERATIONS</b>						
100-1595-52.13000	OTHER SERVICES / TECHNICAL	2,900.00	2,140.10		12,160.00	12,160.00
100-1595-52.21400	LANDSCAPING	1,500.00	1,000.00		1,500.00	1,500.00
100-1595-52.22000	REPAIRS & MAINTENANCE	1,650.00	23.52		0.00	0.00
100-1595-52.22222	DUE FOR CITY OWNED PROPERTY	15,200.00	15,125.77		15,500.00	15,500.00
100-1595-52.23202	EQUIPMENT RENTAL	23,000.00	18,778.28		25,000.00	25,000.00
100-1595-52.31000	GENERAL LIABILITY INSURANCE	67,000.00	32,004.00		70,000.00	70,000.00
100-1595-52.32000	CELL PHONES	1,500.00	707.79		1,500.00	1,500.00
100-1595-52.32050	POSTAGE	15,000.00	8,954.37		15,000.00	15,000.00
100-1595-52.34000	PRINTING	16,000.00	10,634.70		11,000.00	11,000.00
100-1595-52.36000	DUES & FEES	40,000.00	12,644.84		25,100.00	25,100.00
100-1595-52.36100	SERVICE FEES - BANKING	54,300.00	37,474.55		55,200.00	55,200.00
100-1595-53.10000	OPERATING SUPPLIES	9,500.00	6,418.48		9,000.00	9,000.00
100-1595-53.11000	OFFICE SUPPLIES	7,000.00	1,892.79		5,000.00	5,000.00
100-1595-53.12700	GASOLINE/DIESEL	500.00	109.41		0.00	0.00
100-1595-53.13000	FOOD SUPPLIES	15,000.00	12,709.83		6,000.00	6,000.00
100-1595-53.16000	SMALL EQUIPMENT	3,350.00		3,350.00	0.00	0.00
100-1595-53.17000	OTHER SUPPLIES	8,000.00	4,805.76		5,000.00	5,000.00
100-1595-54.25000	OTHER EQUIPMENT	2,000.00			2,000.00	2,000.00
Total Department 1595:		283,400.00	165,424.19	3,350.00	258,960.00	258,960.00
<b>Department: 2650 MUNICIPAL COURT</b>						
100-2650-51.11000	REGULAR SALARIES	198,000.00	146,592.48		292,506.00	292,506.00
100-2650-51.11111	PART-TIME SALARY (PERMANENT)	15,700.00	11,260.12		0.00	0.00
100-2650-51.13000	OVERTIME SALARIES	100.00	11.16		0.00	0.00
100-2650-51.21000	GROUP HEALTH INSURANCE	27,550.00	19,750.30		31,348.00	31,348.00
100-2650-51.21003	LIFE INSURANCE	243.00	44.40		243.00	243.00
100-2650-51.21004	LONG TERM DISABILITY INSURANC	914.00	404.04		1,027.00	1,027.00
100-2650-51.21005	SHORT TERM DISABILITY INSURAN	1,200.00	905.36		1,169.00	1,169.00
100-2650-51.21006	EAP INSURANCE	13.00	8.15		9.00	9.00
100-2650-51.22000	FICA TAXES	3,200.00	2,289.03		3,106.00	3,106.00
100-2650-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	20,900.00	15,785.35		21,420.00	21,420.00
100-2650-51.24001	457 (B) 4% MATCHING CONTRIBUT	7,900.00	5,855.81		8,568.00	8,568.00
100-2650-51.27000	WORKERS COMP	700.00	226.99		500.00	500.00
100-2650-52.12000	PROFESSIONAL SERVICES	154,740.00	46,788.67		110,100.00	110,100.00
100-2650-52.12200	ATTORNEY FEES/CITY ATTORNEY	104,640.00	63,718.07		180,000.00	180,000.00
100-2650-52.32000	CELL PHONES	1,100.00	824.21		984.00	984.00
100-2650-52.32050	POSTAGE	200.00	45.11		5,000.00	5,000.00
100-2650-52.34005	PRINTING AND BINDING COMMUNIT	0.00			300.00	300.00
100-2650-52.35000	TRAVEL EXPENSE	8,200.00	4,352.37		17,100.00	17,100.00
100-2650-52.36000	DUES & FEES	2,000.00	776.03		2,020.00	2,020.00
100-2650-52.37000	EDUCATION & TRAINING	4,000.00	2,386.02		3,000.00	3,000.00
100-2650-53.10000	OPERATING SUPPLIES	25,000.00	7,446.58		17,500.00	17,500.00
100-2650-53.13000	FOOD SUPPLIES	10,800.00	6,256.91		13,500.00	13,500.00
100-2650-53.17100	UNIFORMS	1,000.00			4,500.00	4,500.00

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 2650 MUNICIPAL COURT</b>						
100-2650-54.24000	COMPUTER/SOFTWARE	29,500.00	8,460.12		17,984.00	17,984.00
Total Department 2650:		617,600.00	344,187.28	0.00	731,884.00	731,884.00
<b>Department: 4100 PUBLIC WORKS ADMINISTRATION</b>						
100-4100-52.12000	PROFESSIONAL SERVICES	0.00			100,000.00	100,000.00
100-4100-52.12100	CONTRACTUAL SVCS -JACOBS	944,939.00	669,875.62	275,063.38	720,616.00	720,616.00
100-4100-52.12400	CONTRACTUAL SVCS-LOWE ENGINEE	676,630.97	397,294.27	279,336.70	762,000.00	762,000.00
100-4100-52.13100	CONTRACTUAL SERVICES	0.00			100,000.00	100,000.00
100-4100-52.22000	REPAIRS & MAINTENANCE	8,519.10	8,519.10		0.00	0.00
100-4100-52.32000	CELL PHONES	5,760.00	3,747.16		5,760.00	5,760.00
100-4100-52.32010	PHONES	0.00			5,000.00	5,000.00
100-4100-52.32100	INTERNET	2,400.00	317.73		2,400.00	2,400.00
100-4100-52.35000	TRAVEL EXPENSE	7,000.00			7,000.00	7,000.00
100-4100-52.37000	EDUCATION & TRAINING	10,000.00			5,000.00	5,000.00
100-4100-52.71300	LEASE PRINCIPLE PMTS	76,000.00	69,666.63		80,000.00	80,000.00
100-4100-53.10000	OPERATING SUPPLIES	5,000.00	3,481.30		2,500.00	2,500.00
100-4100-53.12200	NATURAL GAS	5,000.00	1,665.77		7,500.00	7,500.00
100-4100-53.16000	SMALL EQUIPMENT	5,000.00	720.27		5,000.00	5,000.00
100-4100-53.17100	UNIFORMS	1,000.00	182.46		2,500.00	2,500.00
100-4100-54.23000	FURNITURE AND FIXTURES	5,000.00			2,500.00	2,500.00
100-4100-54.24000	COMPUTER/SOFTWARE	111,625.00	59,900.50	5,749.50	57,500.00	57,500.00
Total Department 4100:		1,863,874.07	1,215,370.81	560,149.58	1,865,276.00	1,865,276.00
<b>Department: 4200 HIGHWAYS AND STREETS</b>						
100-4200-52.13000	OTHER SERVICES / TECHNICAL	10,000.00	360.00		75,000.00	75,000.00
100-4200-52.22210	REPAIRS & MAINT - TRAFFIC SIG	0.00			750,000.00	750,000.00
100-4200-52.22240	REPAIRS & MAINT - STREET MAIN	768,000.00	535,365.47	232,634.53	370,000.00	370,000.00
100-4200-52.37000	EDUCATION & TRAINING	0.00			2,000.00	2,000.00
100-4200-53.10000	OPERATING SUPPLIES	290,000.00	129,402.20	143,255.35	350,000.00	350,000.00
Total Department 4200:		1,068,000.00	665,127.67	375,889.88	1,547,000.00	1,547,000.00
<b>Department: 4226 RIGHT OF WAY MAINTENANCE</b>						
100-4226-52.13000	OTHER SERVICES / TECHNICAL	200,000.00	48,780.00	151,220.00	200,000.00	200,000.00
100-4226-52.21400	LANDSCAPING	564,000.00	285,200.00	278,800.00	600,000.00	600,000.00
100-4226-53.10000	OPERATING SUPPLIES	125,000.00	1,236.48	123,763.52	125,000.00	125,000.00
Total Department 4226:		889,000.00	335,216.48	553,783.52	925,000.00	925,000.00
<b>Department: 4260 STREET LIGHTING</b>						
100-4260-53.12300	ELECTRICITY	69,500.00	21,277.44		514,485.00	514,485.00
Total Department 4260:		69,500.00	21,277.44	0.00	514,485.00	514,485.00
<b>Department: 4270 ENGINEERING</b>						
100-4270-52.12100	CONTRACTUAL SVCS -JACOBS	0.00			475,000.00	475,000.00
100-4270-52.13100	CONTRACTUAL SERVICES	0.00			600,000.00	600,000.00
100-4270-53.17100	UNIFORMS	0.00			600.00	600.00
Total Department 4270:		0.00	0.00	0.00	1,075,600.00	1,075,600.00
<b>Department: 6210 PARKS &amp; RECREATION</b>						
100-6210-51.11000	REGULAR SALARIES	699,569.84	504,969.53		1,420,096.00	1,420,096.00
100-6210-51.11111	PART-TIME SALARY (PERMANENT)	343,260.00	158,492.12		0.00	0.00
100-6210-51.12000	TEMPORARY SALARIES	232,488.00	87,210.75		379,180.00	379,180.00

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	DEPARTMENT	24-25 REQUESTED	CITY MANAGER	24-25 REVIEW
<b>Fund: 100 GENERAL FUND</b>								
<b>Account Category: Appropriations</b>								
<b>Department: 6210 PARKS &amp; RECREATION</b>								
100-6210-51.13000	OVERTIME SALARIES	3,000.00	688.54			0.00		0.00
100-6210-51.21000	GROUP HEALTH INSURANCE	150,000.00	107,727.20			176,951.00		176,951.00
100-6210-51.21003	LIFE INSURANCE	972.00	580.50			972.00		972.00
100-6210-51.21004	LONG TERM DISABILITY INSURANC	2,336.00	1,415.13			3,467.00		3,467.00
100-6210-51.21005	SHORT TERM DISABILITY INSURAN	4,500.00	3,248.14			3,875.00		3,875.00
100-6210-51.21006	EAP INSURANCE	130.00	88.90			140.00		140.00
100-6210-51.22000	FICA TAXES	32,885.00	16,301.74			14,820.00		14,820.00
100-6210-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	100,000.00	66,346.33			102,203.00		102,203.00
100-6210-51.24001	457 (B) 4% MATCHING CONTRIBUT	24,000.00	16,887.88			23,984.00		23,984.00
100-6210-51.27000	WORKERS COMP	17,000.00	8,120.67			18,000.00		18,000.00
100-6210-52.13010	OTHER/TECHNICAL SERVICES - PR	1,000.00	595.00			1,500.00		1,500.00
100-6210-52.13020	OTHER/TECHNICAL SERVICES - AT	25,000.00	19,620.81			32,500.00		32,500.00
100-6210-52.13100	CONTRACTUAL SERVICES	2,000.00	828.79			31,700.00		31,700.00
100-6210-52.21100	SANITATION SERVICE	0.00				1,000.00		1,000.00
100-6210-52.21300	JANITORIAL SERVICE	10,800.00	6,800.00			10,800.00		10,800.00
100-6210-52.21400	LANDSCAPING SERVICE	1,500.00				1,500.00		1,500.00
100-6210-52.22000	REPAIRS & MAINTENANCE	120,000.00	88,716.42	10,191.74		125,964.00		125,964.00
100-6210-52.22001	REPAIRS & MAINTENANCE - VEH	16,000.00	6,264.23			21,600.00		21,600.00
100-6210-52.23100	RENTAL OF LAND AND BUILDINGS	2,500.00	2,500.00			7,500.00		7,500.00
100-6210-52.23200	EQUIPMENT & VEHICLE RENTALS	1,000.00				3,500.00		3,500.00
100-6210-52.31000	GENERAL LIABILITY INSURANCE	30,000.00	19,704.00			26,000.00		26,000.00
100-6210-52.32000	CELL PHONES	7,200.00	5,105.37			6,500.00		6,500.00
100-6210-52.32050	POSTAGE	500.00	183.48			650.00		650.00
100-6210-52.32100	INTERNET	36,000.00	24,396.64			38,000.00		38,000.00
100-6210-52.33000	ADVERTISING	4,000.00	1,722.89			5,500.00		5,500.00
100-6210-52.34000	PRINTING	12,500.00	1,578.49			12,500.00		12,500.00
100-6210-52.35000	TRAVEL EXPENSE	15,000.00	4,592.38			17,500.00		17,500.00
100-6210-52.36000	DUES & FEES	3,000.00	2,511.80			2,000.00		2,000.00
100-6210-52.37000	EDUCATION & TRAINING	9,650.00	8,487.42			12,150.00		12,150.00
100-6210-53.10000	OPERATING SUPPLIES	40,000.00	22,209.55			46,000.00		46,000.00
100-6210-53.10010	OPERATING SUPPLIES - PROGRAMS	31,500.00	10,589.82			52,700.00		52,700.00
100-6210-53.10020	OPERATING SUPPLIES - ATHLETIC	38,500.00	37,462.10			49,200.00		49,200.00
100-6210-53.11000	OFFICE SUPPLIES	7,500.00	2,192.95			8,250.00		8,250.00
100-6210-53.12100	WATER/SEWER	1,000.00	142.64			3,500.00		3,500.00
100-6210-53.12200	NATURAL GAS	16,000.00	9,730.72			16,000.00		16,000.00
100-6210-53.12300	ELECTRICITY	84,000.00	47,556.64	6,550.00		84,000.00		84,000.00
100-6210-53.12400	BOTTLED GAS - PROPANE, ETC.	100.00	43.96			250.00		250.00
100-6210-53.12700	GASOLINE/DIESEL	7,000.00	3,718.84			8,400.00		8,400.00
100-6210-53.13000	FOOD SUPPLIES	9,000.00	6,966.21			10,000.00		10,000.00
100-6210-53.13010	FOOD SUPPLIES - PROGRAMS	3,500.00	2,776.82			6,750.00		6,750.00
100-6210-53.13020	FOOD SUPPLIES - ATHLETICS	3,500.00	518.04			3,850.00		3,850.00
100-6210-53.15000	SUPPLIES/INVENTORY PURCHASED	5,000.00	1,358.37			5,000.00		5,000.00
100-6210-53.16000	SMALL EQUIPMENT	2,000.00	1,220.39			9,000.00		9,000.00
100-6210-53.17100	UNIFORMS	5,500.00	3,904.18			10,500.00		10,500.00
100-6210-53.23000	FURNITURE AND FIXTURES	7,500.00	1,714.50			7,500.00		7,500.00
100-6210-54.24000	COMPUTER/SOFTWARE	8,800.00	2,619.25			0.00		0.00
Total Department 6210:		2,178,190.84	1,320,410.13	16,741.74		2,822,952.00		2,822,952.00
<b>Department: 6211 PARKS</b>								



BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 6211 PARKS</b>						
100-6211-52.13000	OTHER SERVICES / TECHNICAL	2,500.00	1,422.50		2,750.00	2,750.00
100-6211-52.13100	CONTRACTUAL SERVICES	5,500.00	2,681.20		15,200.00	15,200.00
100-6211-52.21100	SANITATION	20,000.00	12,863.75		22,000.00	22,000.00
100-6211-52.21400	LANDSCAPING	720,000.00	537,264.00	176,062.87	720,000.00	720,000.00
100-6211-52.22000	REPAIRS & MAINTENANCE	244,900.00	240,003.17	1,200.00	270,000.00	270,000.00
100-6211-52.23202	EQUIPMENT RENTAL	7,000.00	1,729.93		7,700.00	7,700.00
100-6211-52.31000	GENERAL LIABILITY INSURANCE	1,300.00	1,008.00		0.00	0.00
100-6211-52.32100	INTERNET	0.00			1,000.00	1,000.00
100-6211-52.39000-PR2113	OTHER PURCHASED SERVICES**DO	0.00	(4,250.00)	(1,250.00)	0.00	0.00
100-6211-53.10000	OPERATING SUPPLIES	22,000.00	8,791.92		25,300.00	25,300.00
100-6211-53.12100	WATER/SEWER	2,800.00	1,624.73		3,220.00	3,220.00
100-6211-53.12300	ELECTRICITY	115,000.00	86,742.98		132,250.00	132,250.00
Total Department 6211:		1,141,000.00	889,882.18	176,012.87	1,199,420.00	1,199,420.00
<b>Department: 6212 POOLS</b>						
100-6212-52.13000	OTHER SERVICES / TECHNICAL	2,500.00			2,875.00	2,875.00
100-6212-52.13100	CONTRACTUAL SERVICES	125,000.00	73,843.50	48,505.50	163,350.00	163,350.00
100-6212-52.22000	REPAIRS & MAINTENANCE	39,100.00	17,816.92	600.00	44,965.00	44,965.00
100-6212-52.31000	GENERAL LIABILITY INSURANCE	2,600.00	2,012.00		0.00	0.00
100-6212-52.32100	INTERNET	1,100.00	(215.38)		2,800.00	2,800.00
100-6212-53.10000	OPERATING SUPPLIES	33,650.00	1,902.99		34,500.00	34,500.00
100-6212-53.12300	ELECTRICITY	0.00			13,500.00	13,500.00
100-6212-53.15000	SUPPLIES/INVENTORY PURCHASED	8,000.00	3,110.13		5,500.00	5,500.00
100-6212-53.16000	SMALL EQUIPMENT	0.00			1,500.00	1,500.00
100-6212-54.23000	FURNITURE AND FIXTURES	2,500.00			2,750.00	2,750.00
Total Department 6212:		214,450.00	98,470.16	49,105.50	271,740.00	271,740.00
<b>Department: 6213 SPECIAL EVENTS</b>						
100-6213-52.13001	SECURITY SERVICES	23,000.00	9,000.00		24,000.00	24,000.00
100-6213-52.21100	SANITATION	3,000.00	1,838.00		13,500.00	13,500.00
100-6213-52.23200	RENTALS - SPECIAL EVENTS	45,000.00	31,257.17		90,000.00	90,000.00
100-6213-52.36200	DUES & FEES SPECIAL EVENTS	1,000.00			940.00	940.00
100-6213-52.39200	PURCHASED SERVICES-SPECIAL EV	70,000.00	49,911.06	18,607.19	75,280.00	75,280.00
100-6213-53.13200	FOOD SUPPLIES-SPECIAL EVENTS	12,000.00	5,837.04		15,000.00	15,000.00
100-6213-53.17200	OPERATING SUPPLIES-SPECIAL EV	90,000.00	75,330.21	6,783.75	39,875.00	39,875.00
Total Department 6213:		244,000.00	173,173.48	25,390.94	258,595.00	258,595.00
<b>Department: 7000 COMMUNITY DEVELOPMENT</b>						
100-7000-51.11000	REGULAR SALARIES	188,000.00	132,790.29		232,471.00	232,471.00
100-7000-51.21000	GROUP HEALTH INSURANCE	26,000.00	19,375.38		19,844.00	19,844.00
100-7000-51.21003	LIFE INSURANCE	162.00	81.00		162.00	162.00
100-7000-51.21004	LONG TERM DISABILITY INSURANC	1,000.00	421.50		1,109.00	1,109.00
100-7000-51.21005	SHORT TERM DISABILITY INSURAN	900.00	620.26		1,008.00	1,008.00
100-7000-51.21006	EAP INSURANCE	5.00	2.25		6.00	6.00
100-7000-51.22000	FICA TAXES	2,800.00	1,925.46		3,371.00	3,371.00
100-7000-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	19,000.00	13,279.10		23,247.00	23,247.00
100-7000-51.27000	WORKERS COMP	300.00	92.32		500.00	500.00
100-7000-52.13000	OTHER SERVICES / TECHNICAL	155,000.00	31,120.00		368,000.00	368,000.00
100-7000-52.22000	REPAIRS & MAINTENANCE	3,000.00	1,397.28		0.00	0.00
100-7000-52.32000	CELL PHONES	600.00	337.23		1,000.00	1,000.00

BUDGET REPORT FOR CITY OF TUCKER

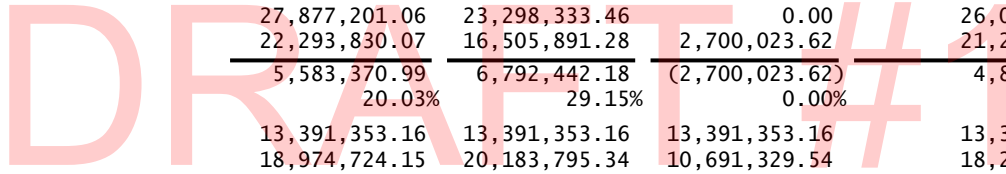
Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 7000 COMMUNITY DEVELOPMENT</b>						
100-7000-52.32050	POSTAGE	2,000.00	694.14		2,500.00	2,500.00
100-7000-52.33000	ADVERTISING	2,500.00	1,050.00		2,500.00	2,500.00
100-7000-52.36000	DUES & FEES	1,000.00	357.15		1,500.00	1,500.00
100-7000-52.37000	EDUCATION & TRAINING	1,900.00	1,038.34		5,000.00	5,000.00
100-7000-53.10000	OPERATING SUPPLIES	5,000.00	3,635.73		5,000.00	5,000.00
100-7000-53.12700	GASOLINE/DIESEL	500.00	85.01		2,000.00	2,000.00
100-7000-53.13000	FOOD SUPPLIES	2,500.00	191.41		1,500.00	1,500.00
100-7000-53.17100	UNIFORMS	2,500.00	1,028.68		1,300.00	1,300.00
100-7000-54.24000	COMPUTER/SOFTWARE	2,500.00			55,000.00	55,000.00
Total Department 7000:		417,167.00	209,522.53	0.00	727,018.00	727,018.00
<b>Department: 7210 PROTECTIVE INSPECTIONS</b>						
100-7210-52.12100	CONTRACTUAL SVCS -JACOBS	609,403.00	462,829.70	146,573.30	739,101.00	739,101.00
100-7210-52.32000	CELL PHONES	6,500.00	4,708.68		7,200.00	7,200.00
100-7210-53.10000	OPERATING SUPPLIES	2,000.00	1,203.40		2,000.00	2,000.00
Total Department 7210:		617,903.00	468,741.78	146,573.30	748,301.00	748,301.00
<b>Department: 7410 PLANNING AND ZONING</b>						
100-7410-52.12100	CONTRACTUAL SVCS -JACOBS	347,905.00	264,863.08	83,040.95	395,133.00	395,133.00
100-7410-52.13000	OTHER SERVICES / TECHNICAL	12,000.00	11,954.99		0.00	0.00
100-7410-52.32000	CELL PHONES	700.00	444.21		985.00	985.00
100-7410-53.10000	OPERATING SUPPLIES	500.00	207.54		1,000.00	1,000.00
100-7410-53.17100	UNIFORMS	100.00	30.00		0.00	0.00
Total Department 7410:		361,205.00	277,499.82	83,040.95	397,118.00	397,118.00
<b>Department: 7420 CODE ENFORCEMENT</b>						
100-7420-52.12100	CONTRACTUAL SVCS -JACOBS	403,116.00	317,692.14	85,423.86	434,662.00	434,662.00
Total Department 7420:		403,116.00	317,692.14	85,423.86	434,662.00	434,662.00
<b>Department: 7520 ECONOMIC DEVELOPMENT</b>						
100-7520-51.11000	REGULAR SALARIES	89,000.00	66,729.22		96,656.00	96,656.00
100-7520-51.21000	GROUP HEALTH INSURANCE	24,323.00	18,473.11		20,888.00	20,888.00
100-7520-51.21003	LIFE INSURANCE	81.00	54.00		81.00	81.00
100-7520-51.21004	LONG TERM DISABILITY INSURANC	348.00	180.66		461.00	461.00
100-7520-51.21005	SHORT TERM DISABILITY INSURAN	550.00	418.04		504.00	504.00
100-7520-51.21006	EAP INSURANCE	5.00	2.00		3.00	3.00
100-7520-51.22000	FICA TAXES	1,290.00	967.58		1,402.00	1,402.00
100-7520-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	8,900.00	6,672.87		9,667.00	9,667.00
100-7520-51.24001	457 (B) 4% MATCHING CONTRIBUT	3,755.00	2,669.18		3,867.00	3,867.00
100-7520-51.27000	WORKERS COMP	300.00	104.08		400.00	400.00
100-7520-52.12000	PROFESSIONAL SERVICES	0.00			76,500.00	76,500.00
100-7520-52.12100	CONTRACTUAL SVCS -JACOBS	106,253.00	81,124.80	25,128.20	111,495.00	111,495.00
100-7520-52.13000	OTHER SERVICES / TECHNICAL	33,500.00	367.74		9,500.00	9,500.00
100-7520-52.32000	CELL PHONES	1,020.00	646.02		1,000.00	1,000.00
100-7520-52.34000	PRINTING	8,500.00			1,250.00	1,250.00
100-7520-52.35000	TRAVEL EXPENSE	100.00	10.00		500.00	500.00
100-7520-52.36000	DUES & FEES	1,300.00			1,000.00	1,000.00
100-7520-52.37000	EDUCATION & TRAINING	2,000.00	1,580.00		5,000.00	5,000.00
100-7520-53.10000	OPERATING SUPPLIES	12,500.00	492.41		10,850.00	10,850.00
100-7520-53.13000	FOOD SUPPLIES	4,500.00	1,523.18		6,600.00	6,600.00

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 100 GENERAL FUND</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 7520 ECONOMIC DEVELOPMENT</b>						
Total Department 7520:		298,225.00	182,014.89	25,128.20	357,624.00	357,624.00
<b>Department: 7550 DOWNTOWN DEVELOPMENT AUTHORITY</b>						
100-7550-52.12000	PROFESSIONAL SERVICES	25,000.00	12,223.00		0.00	0.00
100-7550-52.13000	OTHER SERVICES / TECHNICAL	15,000.00	175.48		0.00	0.00
100-7550-52.32050	POSTAGE	200.00	68.20		0.00	0.00
100-7550-52.34005	PRINTING AND BINDING COMMUNIT	500.00	281.80		0.00	0.00
100-7550-52.37000	EDUCATION & TRAINING	4,800.00	146.20		0.00	0.00
Total Department 7550:		45,500.00	12,894.68	0.00	0.00	0.00
<b>Department: 9000 INTERFUND</b>						
100-9000-61.30000	TRANSFER TO CAPITAL FUND	6,527,000.00	6,527,000.00		0.00	10,418,960.00
100-9000-61.32300	TRANSFER TO DDA FUND 191	0.00			0.00	142,000.00
100-9000-61.32600	TRANSFER TO GRANT FUND 220	0.00			825,195.00	825,195.00
Total Department 9000:		6,527,000.00	6,527,000.00	0.00	825,195.00	11,386,155.00
Appropriations		22,293,830.07	16,505,891.28	2,700,023.62	21,206,244.00	31,767,204.00
<b>Fund 100 - GENERAL FUND:</b>						
TOTAL ESTIMATED REVENUES		27,877,201.06	23,298,333.46	0.00	26,048,670.00	26,048,670.00
TOTAL APPROPRIATIONS		22,293,830.07	16,505,891.28	2,700,023.62	21,206,244.00	31,767,204.00
NET OF REVENUES & APPROPRIATIONS:		5,583,370.99	6,792,442.18	(2,700,023.62)	4,842,426.00	(5,718,534.00)
		20.03%	29.15%	0.00%	18.59%	-21.95%
BEG. FUND BALANCE		13,391,353.16	13,391,353.16	13,391,353.16	13,391,353.16	13,391,353.16
END FUND BALANCE		18,974,724.15	20,183,795.34	10,691,329.54	18,233,779.16	7,672,819.16



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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 191 TUCKER DEVELOPMENT AUTHORITY</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 9000 INTERFUND</b>						
191-9000-39.12600	TRANSFER FROM GENERAL FUND	0.00			142,000.00	142,000.00
Total Department 9000:		0.00	0.00	0.00	142,000.00	142,000.00
Estimated Revenues		0.00	0.00	0.00	142,000.00	142,000.00
<b>Account Category: Appropriations</b>						
<b>Department: 7550 DOWNTOWN DEVELOPMENT AUTHORITY</b>						
191-7550-52.12000	PROFESSIONAL SERVICES	0.00			50,000.00	50,000.00
191-7550-52.12200	ATTORNEY FEES/CITY ATTORNEY	0.00			25,000.00	25,000.00
191-7550-52.13000	OTHER SERVICES / TECHNICAL	0.00			10,000.00	10,000.00
191-7550-52.32050	POSTAGE	0.00			100.00	100.00
191-7550-52.34000	PRINTING	0.00			500.00	500.00
191-7550-52.37000	EDUCATION & TRAINING	0.00			5,000.00	5,000.00
191-7550-53.13000	FOOD SUPPLIES	0.00			1,200.00	1,200.00
191-7550-57.30000	PAYMENTS TO OTHERS	0.00			50,000.00	50,000.00
Total Department 7550:		0.00	0.00	0.00	141,800.00	141,800.00
Appropriations		0.00	0.00	0.00	141,800.00	141,800.00
<b>Fund 191 - TUCKER DEVELOPMENT AUTHORITY:</b>						
TOTAL ESTIMATED REVENUES		0.00	0.00	0.00	142,000.00	142,000.00
TOTAL APPROPRIATIONS		0.00	0.00	0.00	141,800.00	141,800.00
NET OF REVENUES & APPROPRIATIONS:		0.00	0.00	0.00	200.00	200.00
		0.00%	0.00%	0.00%	0.14%	0.14%
BEG. FUND BALANCE		0.00	0.00	0.00	0.00	0.00
END FUND BALANCE		0.00	0.00	0.00	200.00	200.00

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 206 TREE FUND</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
206-0000-37.10000	CONTRIBUTIONS / DONATIONS	15,000.00	14,000.00		15,000.00	15,000.00
Total Department 0000:		15,000.00	14,000.00	0.00	15,000.00	15,000.00
Estimated Revenues		15,000.00	14,000.00	0.00	15,000.00	15,000.00
<b>Account Category: Appropriations</b>						
<b>Department: 4100 PUBLIC WORKS ADMINISTRATION</b>						
206-4100-54.12000	CAPITAL - SITE IMPROVEMENTS	100,000.00			100,000.00	100,000.00
Total Department 4100:		100,000.00	0.00	0.00	100,000.00	100,000.00
Appropriations		100,000.00	0.00	0.00	100,000.00	100,000.00
<b>Fund 206 - TREE FUND:</b>						
TOTAL ESTIMATED REVENUES		15,000.00	14,000.00	0.00	15,000.00	15,000.00
TOTAL APPROPRIATIONS		100,000.00	0.00	0.00	100,000.00	100,000.00
NET OF REVENUES & APPROPRIATIONS:		(85,000.00)	14,000.00	0.00	(85,000.00)	(85,000.00)
		-566.67%	100.00%	0.00%	-566.67%	-566.67%
BEG. FUND BALANCE		194,240.18	194,240.18	194,240.18	194,240.18	194,240.18
END FUND BALANCE		109,240.18	208,240.18	194,240.18	109,240.18	109,240.18

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 220 GRANT FUND</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 6211 PARKS</b>						
220-6211-33.43100	DIRECT STATE CAPITAL GRANT-JH	156,000.00	24,900.00		2,365,788.00	2,365,788.00
Total Department 6211:		156,000.00	24,900.00	0.00	2,365,788.00	2,365,788.00
<b>Department: 9000 INTERFUND</b>						
220-9000-39.12600	TRANSFER FROM GENERAL FUND	0.00			825,195.00	825,195.00
Total Department 9000:		0.00	0.00	0.00	825,195.00	825,195.00
Estimated Revenues		156,000.00	24,900.00	0.00	3,190,983.00	3,190,983.00
<b>Account Category: Appropriations</b>						
<b>Department: 6211 PARKS</b>						
220-6211-52.39000	OTHER PURCHASED SERVICES	208,000.00	38,200.00	43,200.00	0.00	0.00
220-6211-54.12000-PR2501	CAPITAL - SITE IMPROVEMENTS	0.00			3,190,983.00	3,190,983.00
Total Department 6211:		208,000.00	38,200.00	43,200.00	3,190,983.00	3,190,983.00
Appropriations		208,000.00	38,200.00	43,200.00	3,190,983.00	3,190,983.00
Fund 220 - GRANT FUND:						
TOTAL ESTIMATED REVENUES		156,000.00	24,900.00	0.00	3,190,983.00	3,190,983.00
TOTAL APPROPRIATIONS		208,000.00	38,200.00	43,200.00	3,190,983.00	3,190,983.00
NET OF REVENUES & APPROPRIATIONS:		(52,000.00)	(13,300.00)	(43,200.00)	0.00	0.00
		-33.33%	-53.41%	0.00%	0.00%	0.00%
BEG. FUND BALANCE		91,800.00	91,800.00	91,800.00	91,800.00	91,800.00
END FUND BALANCE		39,800.00	78,500.00	48,600.00	91,800.00	91,800.00

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Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 230 AMERICAN RESCUE PLAN ACT OF 2021</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
230-0000-33.21000	AMERICAN RESCUE PLAN ACT OF 2	6,500,000.00			0.00	4,305,271.00
Total Department 0000:		6,500,000.00	0.00	0.00	0.00	4,305,271.00
Estimated Revenues		6,500,000.00	0.00	0.00	0.00	4,305,271.00
<b>Account Category: Appropriations</b>						
<b>Department: 1320 CITY MANAGEMENT</b>						
230-1320-51.11000	REGULAR SALARIES	23,604.37	23,604.37		0.00	0.00
230-1320-51.21000	GROUP HEALTH INSURANCE	2,710.84	2,710.84		0.00	0.00
230-1320-51.21003	LIFE INSURANCE	23.58	23.58		0.00	0.00
230-1320-51.21004	LONG TERM DISABILITY INSURANC	65.31	65.31		0.00	0.00
230-1320-51.21005	SHORT TERM DISABILITY INSURAN	181.75	181.75		0.00	0.00
230-1320-51.21006	EAP INSURANCE	0.83	0.83		0.00	0.00
230-1320-51.22000	FICA TAXES	342.23	342.23		0.00	0.00
230-1320-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	2,360.43	2,360.43		0.00	0.00
230-1320-51.24001	457 (B) 4% MATCHING CONTRIBUT	944.08	944.08		0.00	0.00
Total Department 1320:		30,233.42	30,233.42	0.00	0.00	0.00
<b>Department: 4100 PUBLIC WORKS ADMINISTRATION</b>						
230-4100-52.39000	OTHER PURCHASED SERVICES	44,625.00		97,125.00	0.00	0.00
230-4100-54.12000-CE2409	LAKE ERIN DAM/HENDERSON PARK	0.00			1,400,000.00	1,400,000.00
Total Department 4100:		44,625.00	0.00	97,125.00	1,400,000.00	1,400,000.00
<b>Department: 4224 SIDEWALKS</b>						
230-4224-54.14005	INFRASTRUCTURE - SIDEWALKS	379,310.00	89,499.20	289,810.80	0.00	0.00
Total Department 4224:		379,310.00	89,499.20	289,810.80	0.00	0.00
<b>Department: 4910 STORMWATER</b>						
230-4910-54.12000	CAPITAL - SITE IMPROVEMENTS	266,908.84	115,278.96	151,629.88	0.00	0.00
Total Department 4910:		266,908.84	115,278.96	151,629.88	0.00	0.00
<b>Department: 6211 PARKS</b>						
230-6211-54.12000-PR2201	FITZGERALD PARK SITE IMPROVEM	365,158.11		365,158.11	0.00	0.00
Total Department 6211:		365,158.11	0.00	365,158.11	0.00	0.00
<b>Department: 9000 INTERFUND</b>						
230-9000-61.10000	TRANSFER TO GENERAL FUND	4,000,000.00	3,806,481.00		0.00	2,905,271.00
Total Department 9000:		4,000,000.00	3,806,481.00	0.00	0.00	2,905,271.00
Appropriations		5,086,235.37	4,041,492.58	903,723.79	1,400,000.00	4,305,271.00
<b>Fund 230 - AMERICAN RESCUE PLAN ACT OF 2021:</b>						
TOTAL ESTIMATED REVENUES		6,500,000.00	0.00	0.00	0.00	4,305,271.00
TOTAL APPROPRIATIONS		5,086,235.37	4,041,492.58	903,723.79	1,400,000.00	4,305,271.00
NET OF REVENUES & APPROPRIATIONS:		1,413,764.63	(4,041,492.58)	(903,723.79)	(1,400,000.00)	0.00
		21.75%	0.00%	0.00%	0.00%	0.00%
BEG. FUND BALANCE		0.00	0.00	0.00	0.00	0.00
END FUND BALANCE		1,413,764.63	(4,041,492.58)	(903,723.79)	(1,400,000.00)	0.00

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 271 SPECIAL ASSESSMENT STREET LIGHTS</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 4260 STREET LIGHTING</b>						
271-4260-34.32000	SPECIAL ASSESSMENT - STREETLI	425,000.00			435,515.00	435,515.00
Total Department 4260:		425,000.00	0.00	0.00	435,515.00	435,515.00
Estimated Revenues		425,000.00	0.00	0.00	435,515.00	435,515.00
<b>Account Category: Appropriations</b>						
<b>Department: 4260 STREET LIGHTING</b>						
271-4260-53.12300	ELECTRICITY	325,000.00			435,515.00	435,515.00
271-4260-54.14003	INFRASTRUCTURE - STREETLIGHTS	100,000.00			0.00	0.00
Total Department 4260:		425,000.00	0.00	0.00	435,515.00	435,515.00
Appropriations		425,000.00	0.00	0.00	435,515.00	435,515.00
Fund 271 - SPECIAL ASSESSMENT STREET LIGHTS:						
TOTAL ESTIMATED REVENUES		425,000.00	0.00	0.00	435,515.00	435,515.00
TOTAL APPROPRIATIONS		425,000.00	0.00	0.00	435,515.00	435,515.00
NET OF REVENUES & APPROPRIATIONS:		0.00	0.00	0.00	0.00	0.00
		0.00%	0.00%	0.00%	0.00%	0.00%
BEG. FUND BALANCE		0.00	0.00	0.00	0.00	0.00
END FUND BALANCE		0.00	0.00	0.00	0.00	0.00

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 272 SPECIAL ASSESSMENT TRAFFIC CALMING</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 4200 HIGHWAYS AND STREETS</b>						
272-4200-34.32001	SPECIAL ASSESSMENT - TRAFFIC	10,000.00			19,500.00	19,500.00
Total Department 4200:		10,000.00	0.00	0.00	19,500.00	19,500.00
Estimated Revenues		10,000.00	0.00	0.00	19,500.00	19,500.00
<b>Account Category: Appropriations</b>						
<b>Department: 4200 HIGHWAYS AND STREETS</b>						
272-4200-54.14000	INFRASTRUCTURE - TRAFFIC CALM	10,000.00			19,500.00	19,500.00
Total Department 4200:		10,000.00	0.00	0.00	19,500.00	19,500.00
Appropriations		10,000.00	0.00	0.00	19,500.00	19,500.00
Fund 272 - SPECIAL ASSESSMENT TRAFFIC CALMING:						
TOTAL ESTIMATED REVENUES		10,000.00	0.00	0.00	19,500.00	19,500.00
TOTAL APPROPRIATIONS		10,000.00	0.00	0.00	19,500.00	19,500.00
NET OF REVENUES & APPROPRIATIONS:		0.00	0.00	0.00	0.00	0.00
		0.00%	0.00%	0.00%	0.00%	0.00%
BEG. FUND BALANCE		0.00	0.00	0.00	0.00	0.00
END FUND BALANCE		0.00	0.00	0.00	0.00	0.00

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 275 HOTEL/MOTEL</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
275-0000-31.41000	HOTEL/MOTEL EXCISE TAX	1,330,000.00	712,400.33		1,280,000.00	1,280,000.00
275-0000-31.90000	PENALTIES AND INTEREST	0.00	466.11		0.00	0.00
Total Department 0000:		1,330,000.00	712,866.44	0.00	1,280,000.00	1,280,000.00
Estimated Revenues		1,330,000.00	712,866.44	0.00	1,280,000.00	1,280,000.00
<b>Account Category: Appropriations</b>						
<b>Department: 6210 PARKS &amp; RECREATION</b>						
275-6210-61.30000	TRANSFER TO CAPITAL FUND	249,375.00	133,308.54		240,000.00	240,000.00
Total Department 6210:		249,375.00	133,308.54	0.00	240,000.00	240,000.00
<b>Department: 7520 ECONOMIC DEVELOPMENT</b>						
275-7520-57.20000	DISCOVER DEKALB	581,875.00	275,468.14		560,000.00	560,000.00
275-7520-61.10000	TRANSFER TO GENERAL FUND	498,750.00	266,617.07		480,000.00	480,000.00
Total Department 7520:		1,080,625.00	542,085.21	0.00	1,040,000.00	1,040,000.00
Appropriations		1,330,000.00	675,393.75	0.00	1,280,000.00	1,280,000.00
Fund 275 - HOTEL/MOTEL:						
TOTAL ESTIMATED REVENUES		1,330,000.00	712,866.44	0.00	1,280,000.00	1,280,000.00
TOTAL APPROPRIATIONS		1,330,000.00	675,393.75	0.00	1,280,000.00	1,280,000.00
NET OF REVENUES & APPROPRIATIONS:		0.00	37,472.69	0.00	0.00	0.00
		0.00%	5.26%	0.00%	0.00%	0.00%
BEG. FUND BALANCE		683.19	683.19	683.19	683.19	683.19
END FUND BALANCE		683.19	38,155.88	683.19	683.19	683.19

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BUDGET REPORT FOR CITY OF TUCKER

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 280 RENTAL MOTOR VEHICLE FUND</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
280-0000-31.44000	RENTAL CAR EXCISE TAX	64,800.00	41,471.55		66,000.00	66,000.00
Total Department 0000:		64,800.00	41,471.55	0.00	66,000.00	66,000.00
Estimated Revenues		64,800.00	41,471.55	0.00	66,000.00	66,000.00
<b>Account Category: Appropriations</b>						
<b>Department: 7540 ECONOMIC DEV</b>						
280-7540-61.10000	TRANSFER TO GENERAL FUND	64,800.00	34,403.07		66,000.00	66,000.00
Total Department 7540:		64,800.00	34,403.07	0.00	66,000.00	66,000.00
Appropriations		64,800.00	34,403.07	0.00	66,000.00	66,000.00
<b>Fund 280 - RENTAL MOTOR VEHICLE FUND:</b>						
TOTAL ESTIMATED REVENUES		64,800.00	41,471.55	0.00	66,000.00	66,000.00
TOTAL APPROPRIATIONS		64,800.00	34,403.07	0.00	66,000.00	66,000.00
NET OF REVENUES & APPROPRIATIONS:		0.00	7,068.48	0.00	0.00	0.00
		0.00%	17.04%	0.00%	0.00%	0.00%
BEG. FUND BALANCE		5,663.62	5,663.62	5,663.62	5,663.62	5,663.62
END FUND BALANCE		5,663.62	12,732.10	5,663.62	5,663.62	5,663.62

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 300 CAPITAL</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
300-0000-33.43000	STATE GRANTS CAPITAL PROJECTS	405,000.00	432,991.74		977,209.00	977,209.00
Total Department 0000:		405,000.00	432,991.74	0.00	977,209.00	977,209.00
<b>Department: 4100 PUBLIC WORKS ADMINISTRATION</b>						
300-4100-37.10000	CONTRIBUTIONS / DONATIONS	0.00	436,827.11		0.00	0.00
Total Department 4100:		0.00	436,827.11	0.00	0.00	0.00
<b>Department: 6211 PARKS</b>						
300-6211-37.10000	CONTRIBUTIONS / DONATIONS	0.00	117,298.00		0.00	0.00
Total Department 6211:		0.00	117,298.00	0.00	0.00	0.00
<b>Department: 9000 INTERFUND</b>						
300-9000-39.12000	TRANSFER FROM HOTEL	249,375.00	133,308.54		240,000.00	240,000.00
300-9000-39.30000	TRANSFER FROM GENERAL FUND	6,527,000.00	6,527,000.00		0.00	10,418,960.00
Total Department 9000:		6,776,375.00	6,660,308.54	0.00	240,000.00	10,658,960.00
Estimated Revenues		7,181,375.00	7,647,425.39	0.00	1,217,209.00	11,636,169.00
<b>Account Category: Appropriations</b>						
<b>Department: 1320 CITY MANAGEMENT</b>						
300-1320-54.11000-CM2303	LAND FOR GATEWAY SIGN	400,000.00			0.00	0.00
300-1320-54.11000-CM2401	REAL ESTATE DEVELOPMENT FY24	1,000,000.00	500,000.00		500,000.00	250,000.00
300-1320-54.12000	CAPITAL - SITE IMPROVEMENTS	0.00			170,000.00	170,000.00
300-1320-54.12000-CM2403	CITYWIDE BEAUTIFICATION PROJE	652,933.59	107,974.74	544,958.85	0.00	0.00
300-1320-54.13000-CM2402	CITY HALL BUILDING FY24	5,000,000.00			5,000,000.00	2,000,000.00
Total Department 1320:		7,052,933.59	607,974.74	544,958.85	5,670,000.00	2,420,000.00
<b>Department: 1510 FINANCE ADMINISTRATION</b>						
300-1510-54.24000	COMPUTER/SOFTWARE	0.00			9,000.00	9,000.00
Total Department 1510:		0.00	0.00	0.00	9,000.00	9,000.00
<b>Department: 1513 OPERATING CONTINGENCIES</b>						
300-1513-57.90000-OC2001	CONTINGENCIES	68,180.15	68,180.15		0.00	0.00
Total Department 1513:		68,180.15	68,180.15	0.00	0.00	0.00
<b>Department: 1570 COMMUNICATIONS</b>						
300-1570-52.12000-CO2201	WEBSITE REDESIGN FY22	20,700.00	13,200.00		0.00	0.00
300-1570-52.12000-CO2401	COMMUNICATIONS STRATEGIC PLAN	50,000.00			0.00	0.00
Total Department 1570:		70,700.00	13,200.00	0.00	0.00	0.00
<b>Department: 1595 GENERAL OPERATIONS</b>						
300-1595-54.12000-CM2404	CITY HALL INTERIOR RENOVATION	300,000.00	17,700.00	11,800.00	0.00	0.00
Total Department 1595:		300,000.00	17,700.00	11,800.00	0.00	0.00
<b>Department: 2650 MUNICIPAL COURT</b>						
300-2650-54.23000-CT2202	FINGERRINT MACHINE FY22	25,423.00		25,423.00	0.00	0.00
Total Department 2650:		25,423.00	0.00	25,423.00	0.00	0.00
<b>Department: 4100 PUBLIC WORKS ADMINISTRATION</b>						
300-4100-52.12000-CE2207	ENGINEERING DESIGN SERVICES F	20,000.00		20,000.00	0.00	0.00
300-4100-52.12000-CE2403	PROGRAM MANAGEMENT-CAPITAL FY	250,000.00	137,987.70	112,012.30	0.00	0.00
300-4100-52.12000-CE2409	LAKE ERIN DAM/HENDERSON PARK	388,452.00		388,452.00	0.00	0.00

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 300 CAPITAL</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 4100 PUBLIC WORKS ADMINISTRATION</b>						
300-4100-52.12000-CE2410	HUGH HOWELL CONNECTOR AT FLIN	28,440.00		28,440.00	150,000.00	150,000.00
300-4100-54.12000-CE2208	FELLOWSHIP@IDLEWOOD FY22	100,000.00	61,400.00	38,600.00	0.00	0.00
300-4100-54.12000-CE2409	LAKE ERIN DAM/HENDERSON PARK	0.00			2,600,000.00	2,600,000.00
300-4100-54.14000	INFRASTRUCTURE ROADS	40,770.00	40,770.00		5,707,191.00	3,024,209.00
300-4100-54.14000-CE2203	MARTA BUS PADS FY22	5,713.50	5,713.50		0.00	0.00
300-4100-54.14000-CE2304	JULIETTE ROAD STREET PROJECT	1,283,103.99	133,992.00	1,149,111.99	0.00	0.00
300-4100-54.14000-CE2305	MARTA BUS STOPS FY23	89,086.50	89,086.50		0.00	0.00
300-4100-54.14000-CE2306	RADAR SPEED LIMIT SIGNS	1,166.67	1,166.67		0.00	0.00
300-4100-54.14000-CE2307	TRAIL PROJECTS FY23	60,287.53	8,122.53	52,165.00	0.00	0.00
300-4100-54.14000-CE2310	ENGINEERING DESIGN STUDIES FY	44,806.25	2,100.00	34,171.00	0.00	0.00
300-4100-54.14000-CE2311	NORTH / SOUTH CONNECTIVITY ST	31,290.00	31,290.00		0.00	0.00
300-4100-54.14000-CE2401	RESURFACING-CAPITAL FY24	2,153,089.99	935,865.43	1,104,414.87	0.00	0.00
300-4100-54.14000-CE2402	RESURFACING - LMIG FY24	432,991.74	432,991.74		0.00	0.00
300-4100-54.14000-CE2404	TUCKER SUMMIT CID ST LIGHTING	225,000.00			0.00	0.00
300-4100-54.14000-CE2406	NORTH/SOUTH CONNECTIVITY IMPR	1,000,000.00	104,825.55	212,192.45	0.00	0.00
300-4100-54.14000-CE2407	RICHARDSON STREET IMPROVEMENT	200,000.00		136,500.00	1,700,000.00	1,700,000.00
Total Department 4100:		6,354,198.17	1,985,311.62	3,276,059.61	10,157,191.00	7,474,209.00
<b>Department: 4224 SIDEWALKS</b>						
300-4224-52.12000-CE2412	TUCKER NORTHLAKE TRAIL	955,658.35		955,658.35	0.00	0.00
300-4224-54.14000	SIDEWALKS	0.00			4,600,000.00	1,600,000.00
300-4224-54.14000-CE2108	SIDEWALKS	9,137.50		9,137.50	0.00	0.00
300-4224-54.14000-CE2405	SIDEWALK/TRAILS CAPITAL FY24	2,000,000.00			0.00	0.00
Total Department 4224:		2,964,795.85	0.00	964,795.85	4,600,000.00	1,600,000.00
<b>Department: 6210 PARKS &amp; RECREATION</b>						
300-6210-52.12000-PR2302	PARKS AND RECREATION STUDY FY	48,580.00	48,580.00		0.00	0.00
300-6210-52.12000-PR2303	PROJECT MANAGEMENT - PARK CON	28,064.75	27,797.21	267.54	0.00	0.00
300-6210-52.12000-PR2306	ENGINEERING SERVICES - PARK C	134,460.00	55,997.50	78,462.50	0.00	0.00
300-6210-52.12000-PR2308	PARK CONSTRUCTION PLANNING	40,191.99	26,241.99	13,950.00	0.00	0.00
300-6210-54.12000-PR2007	DOG PARK MONTREAL	36,317.80	36,317.80		0.00	0.00
300-6210-54.12000-PR2010	PARK IMPROVEMENTS	259,233.00		259,233.00	0.00	0.00
300-6210-54.12000-PR2301	PARKING LOT/DRIVES-PARKS	50,000.00	24,550.00		0.00	0.00
300-6210-54.12000-PR2304	TRC ACTIVITY CENTER	53,298.92	53,298.92		0.00	0.00
300-6210-54.12000-PR2305	FITZGERALD PARK IMPROVEMENTS	1,722,627.58	122,820.61	1,538,999.08	0.00	0.00
300-6210-54.12000-PR2309	PARK FURNISHINGS	58,455.72			0.00	0.00
300-6210-54.12000-PR2310	PARK IMPROVEMENTS-LORD PARK D	50,000.00			750,000.00	300,000.00
300-6210-54.12000-PR2401	TRC PARKING AND PICKLEBALL CO	1,250,000.00			0.00	0.00
300-6210-54.13000-PR2307	MAINTENANCE FACILITY - FITZGE	97,352.35	37,057.88		0.00	0.00
300-6210-54.20000-PR2012	PORTABLE GYMNASTICS	13,293.05	13,293.05		0.00	0.00
Total Department 6210:		3,841,875.16	445,954.96	1,890,912.12	750,000.00	300,000.00
<b>Department: 6211 PARKS</b>						
300-6211-52.12000-PR2104	PARKS & REC STUDIES	14,975.00	14,975.00		0.00	0.00
300-6211-52.12000-PR2106	PARK MASTER PLAN STUDIES	82,510.79	82,510.79		0.00	0.00
300-6211-52.39000-PR2113	RECREATION PROJECTS TOURISM**	0.00	(2,500.00)		0.00	0.00
300-6211-54.12000	CAPITAL - SITE IMPROVEMENTS	0.00			117,298.00	117,298.00
300-6211-54.12000-PR2109	TRAILS	3,770.03	3,770.03		0.00	0.00
300-6211-54.12000-PR2113	HM TPD - P&R SITE IMPROVEMENT	511,000.00	(4,250.00)	28,875.00	410,000.00	410,000.00
300-6211-54.12000-PR2116	J. HOMESTEAD PROJECT	49,900.48	8,500.00	26,793.00	0.00	0.00

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 300 CAPITAL</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 6211 PARKS</b>						
300-6211-54.12000-PR2201	FITZGERALD PARK IMPROVEMENTS	574,005.48	529,413.86	44,591.62	0.00	0.00
300-6211-54.12000-PR2204	SPORTS FIELD LIGHTING FY22	90,500.00		90,500.00	0.00	0.00
300-6211-54.12000-PR2205	ROSENFELD TENNIS COURT IMPROV	90,000.00	16,513.42		700,000.00	450,000.00
300-6211-54.12000-PR2207	COFER IMPRVMENTS-COFER LOOP-FE	127,836.84			0.00	0.00
300-6211-54.12000-PR2313	TUCKER TOWN GREEN	639,054.18	472,680.00	171,475.24	7,800,000.00	7,800,000.00
300-6211-54.12000-PR2403	YELLOW TRL CONNECTOR BRIDGE T	159,685.33			0.00	0.00
Total Department 6211:		2,343,238.13	1,121,613.10	362,234.86	9,027,298.00	8,777,298.00
<b>Department: 7000 COMMUNITY DEVELOPMENT</b>						
300-7000-52.13100-CD2401	2949 LAWRENCEVILLE HIGHWAY	21,000.00		21,000.00	0.00	0.00
300-7000-52.13100-CD2402	CITY STANDARD GUIDEBOOK	56,900.00		56,900.00	0.00	0.00
300-7000-54.12000	CAPITAL - SITE IMPROVEMENTS	0.00			75,000.00	75,000.00
300-7000-54.12000-CD2401	CAPITAL - SITE IMPROVEMENTS	0.00			200,000.00	200,000.00
300-7000-54.22000-CD2404	VEHICLES	40,840.00	40,840.00		0.00	0.00
Total Department 7000:		118,740.00	40,840.00	77,900.00	275,000.00	275,000.00
<b>Department: 7210 PROTECTIVE INSPECTIONS</b>						
300-7210-52.13000-CD2302	LAWRENCEVILLE HIGHWAY STUDY	28,493.40	28,493.40		0.00	0.00
300-7210-52.13000-CD2303	TUCKER COMPREHENSIVE HOUSING	52,410.00	27,110.00		0.00	0.00
Total Department 7210:		80,903.40	55,603.40	0.00	0.00	0.00
<b>Department: 7520 ECONOMIC DEVELOPMENT</b>						
300-7520-54.11000-CM2304	SITE FOR DOWNTOWN TRASH FACIL	25,000.00			0.00	0.00
300-7520-54.12000-CM2305	FIRST AVE TRASH FACILITY	191,770.10			0.00	0.00
300-7520-54.12000-ED2401	ADDITIONAL PARKING DTOWN TUCK	325,000.00			0.00	0.00
300-7520-54.13000-CM2305	FIRST AVE TRASH FACILITY	37,164.90	15,905.31	21,259.59	0.00	0.00
Total Department 7520:		578,935.00	15,905.31	21,259.59	0.00	0.00
Appropriations		23,799,922.45	4,372,283.28	7,175,343.88	30,488,489.00	20,855,507.00
<b>Fund 300 - CAPITAL:</b>						
TOTAL ESTIMATED REVENUES		7,181,375.00	7,647,425.39	0.00	1,217,209.00	11,636,169.00
TOTAL APPROPRIATIONS		23,799,922.45	4,372,283.28	7,175,343.88	30,488,489.00	20,855,507.00
NET OF REVENUES & APPROPRIATIONS:		(16,618,547.45)	3,275,142.11	(7,175,343.88)	(29,271,280.00)	(9,219,338.00)
		-231.41%	42.83%	0.00%	-2,404.79%	-79.23%
BEG. FUND BALANCE		9,219,337.96	9,219,337.96	9,219,337.96	9,219,337.96	9,219,337.96
END FUND BALANCE		(7,399,209.49)	12,494,480.07	2,043,994.08	(20,051,942.04)	(0.04)

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GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 320 SPLOST I - 2017</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
320-0000-31.32000	SPLOST - ROADS & DRAINAGE	3,150,000.00	2,860,482.97		0.00	0.00
320-0000-31.32001	SPLOST - SIDEWALKS & TRAILS	981,000.00	880,148.60		0.00	0.00
320-0000-31.32003	SPLOST - SITE IMPROVEMENTS PA	1,138,000.00	660,111.46		0.00	0.00
320-0000-36.10000	INTEREST	0.00	331,131.40		0.00	0.00
Total Department 0000:		5,269,000.00	4,731,874.43	0.00	0.00	0.00
<b>Department: 4100 PUBLIC WORKS ADMINISTRATION</b>						
320-4100-37.10000	CONTRIBUTIONS / DONATIONS	0.00	50,000.00		0.00	0.00
Total Department 4100:		0.00	50,000.00	0.00	0.00	0.00
<b>Department: 4200 HIGHWAYS AND STREETS</b>						
320-4200-37.10000	CONTRIBUTIONS / DONATIONS	0.00	20,926.31		0.00	0.00
Total Department 4200:		0.00	20,926.31	0.00	0.00	0.00
<b>Department: 4224 SIDEWALKS</b>						
320-4224-33.43100	DIRECT STATE CAP GRANT-TKR NL	0.00	254,630.64		386,250.00	386,250.00
Total Department 4224:		0.00	254,630.64	0.00	386,250.00	386,250.00
Estimated Revenues		5,269,000.00	5,057,431.38	0.00	386,250.00	386,250.00
<b>Account Category: Appropriations</b>						
<b>Department: 1320 CITY MANAGEMENT</b>						
320-1320-54.13000-SP2407	TUCKER FIRE STATION CONTRIBUT	200,000.00			0.00	0.00
Total Department 1320:		200,000.00	0.00	0.00	0.00	0.00
<b>Department: 4200 HIGHWAYS AND STREETS</b>						
320-4200-52.12000-CE2411	MIB INTERSECTION IMPROVEMENTS	250,000.00			0.00	0.00
320-4200-54.14000	INFRASTRUCTURE - RESURFACING	0.00			3,371,979.00	3,371,979.00
320-4200-54.14000-SP1907	TUCKER STREETSCAPES	197,084.08	197,084.08		0.00	0.00
320-4200-54.14000-SP2005	MIB @ US78 ENGINEERING DESIGN	280,293.86	162,964.13	43,816.24	0.00	0.00
320-4200-54.14000-SP2006	HUGH HOWELL RD @ MIB	(0.04)			0.00	0.00
320-4200-54.14000-SP2102	MAJOR ROAD IMPROVEMENTS	2,618,304.82	28,393.45	54,068.59	0.00	0.00
320-4200-54.14000-SP2104	QUICK RESPONSE PROJECTS	4,232.50	4,232.50		0.00	0.00
320-4200-54.14000-SP2203	QUICK RESPONSE PROJECTS	829,658.33	64,461.65	268,441.68	0.00	0.00
320-4200-54.14000-SP2302	QUICK RESPONSE PROJECTS SPLOS	400,000.00		400,000.00	0.00	0.00
320-4200-54.14000-SP2401	RESURFACING FY24	5,440,815.51	2,333,911.75	3,106,903.76	0.00	0.00
320-4200-54.14000-SP2402	QUICK RESPONSE FY24	4,158.00	4,158.00		0.00	0.00
320-4200-57.90000-SPRD01	SPLOST 1 ROAD & DRAINAGE CONT	1,364,180.88			0.00	0.00
Total Department 4200:		11,388,727.94	2,795,205.56	3,873,230.27	3,371,979.00	3,371,979.00
<b>Department: 4224 SIDEWALKS</b>						
320-4224-52.12000-CE2412	TUCKER NORTHLAKE TRAIL	775,885.96	303,378.43	472,507.53	515,000.00	515,000.00
320-4224-52.12000-SP2405	PROGRAM MANAGEMENT-FY24 SPLOS	225,000.00	121,954.84	103,045.16	0.00	0.00
320-4224-54.14000	SIDEWALKS	0.00			2,272,421.00	2,272,421.00
320-4224-54.14000-SP2105	TRAIL PROJECTS	143,400.00	44,200.00	99,200.00	0.00	0.00
320-4224-54.14000-SP2202	TRAILS FY22	51,141.25	38,316.25	12,825.00	0.00	0.00
320-4224-54.14000-SP2404	SIDEWALKS / TRAILS FY24 SPLOS	1,038,947.56	214,905.94	824,041.62	0.00	0.00
320-4224-54.14005-SP2303	SIDEWALKS-VARIOUS LOCATIONS S	344,679.32	130,095.84	4,610.00	0.00	0.00
320-4224-57.90000-SPST01	SPLOST 1 SIDEWALKS &TRAILS CO	1,330,795.15			0.00	0.00
Total Department 4224:		3,909,849.24	852,851.30	1,516,229.31	2,787,421.00	2,787,421.00

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 320 SPLOST I - 2017</b>						
<b>Account Category: Appropriations</b>						
<b>Department: 6210 PARKS &amp; RECREATION</b>						
320-6210-54.12000-SP1917	PRIORITY PROJECTS - MASTER PL	9,256.33	9,256.33		0.00	0.00
320-6210-54.12000-SP2013	PARKS RESTROOMS	109,185.44	109,185.44		0.00	0.00
320-6210-54.12000-SP2307	SPORTS FIELD LIGHTING SPLOST	341,387.92		341,387.92	0.00	0.00
320-6210-54.12000-SP2308	PARK SIGNAGE	87,050.12	87,050.12		0.00	0.00
320-6210-54.13000-SP2208	TRC IMPROVEMENTS FY22	7,597.34	7,597.34		0.00	0.00
Total Department 6210:		554,477.15	213,089.23	341,387.92	0.00	0.00
<b>Department: 6211 PARKS</b>						
320-6211-54.12000-SP2108	SPORTS FIELD LIGHTING	4,306.04		4,306.04	0.00	0.00
320-6211-54.12000-SP2109	PARKING LOTS - PARKS	176,575.00	176,575.00		0.00	0.00
320-6211-54.12000-SP2111	SECURITY CAMERAS	26,318.41		26,318.41	0.00	0.00
320-6211-54.12000-SP2206	FITZGERALD PARK IMP FY22	266,675.42	72,602.38	194,073.04	0.00	0.00
320-6211-54.12000-SP2209	ROSENFELD PARKING LOT IMP FY2	29,640.00	12,816.25	16,823.75	0.00	0.00
320-6211-54.12000-SP2306	ROSENFELD TENNIS COURT IMPROV	205,655.00			0.00	0.00
320-6211-54.12000-SP2406	FITZGERALD PARK RENO PHASE 2	1,444,719.33	11,829.47	1,432,889.86	550,000.00	550,000.00
320-6211-57.90000-SPPR01	SPLOST 1 PARKS & REC PROJ CON	617,442.41			0.00	0.00
Total Department 6211:		2,771,331.61	273,823.10	1,674,411.10	550,000.00	550,000.00
<b>Department: 6212 POOLS</b>						
320-6212-54.12000-SP2112	POOL RENOVATIONS	11,328.37			0.00	0.00
Total Department 6212:		11,328.37	0.00	0.00	0.00	0.00
Appropriations		18,835,714.31	4,134,969.19	7,405,258.60	6,709,400.00	6,709,400.00
<b>Fund 320 - SPLOST I - 2017:</b>						
TOTAL ESTIMATED REVENUES		5,269,000.00	5,057,431.38	0.00	386,250.00	386,250.00
TOTAL APPROPRIATIONS		18,835,714.31	4,134,969.19	7,405,258.60	6,709,400.00	6,709,400.00
NET OF REVENUES & APPROPRIATIONS:		(13,566,714.31)	922,462.19	(7,405,258.60)	(6,323,150.00)	(6,323,150.00)
		-257.48%	18.24%	0.00%	-1,637.06%	-1,637.06%
BEG. FUND BALANCE		9,484,649.92	9,484,649.92	9,484,649.92	9,484,649.92	9,484,649.92
END FUND BALANCE		(4,082,064.39)	10,407,112.11	2,079,391.32	3,161,499.92	3,161,499.92

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 321 SPLOST II - 2023</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
321-0000-36.10000	INTEREST	0.00			400,000.00	400,000.00
Total Department 0000:		0.00	0.00	0.00	400,000.00	400,000.00
<b>Department: 4200 HIGHWAYS AND STREETS</b>						
321-4200-31.32000-SPRD02	SPLOST 2 ROADS & DRAINAGE 46%	724,500.00			2,898,000.00	2,898,000.00
Total Department 4200:		724,500.00	0.00	0.00	2,898,000.00	2,898,000.00
<b>Department: 4224 SIDEWALKS</b>						
321-4224-31.32001-SPST02	SPLOST 2 SIDEWALKS & TRAILS 3	488,250.00			1,953,000.00	1,953,000.00
Total Department 4224:		488,250.00	0.00	0.00	1,953,000.00	1,953,000.00
<b>Department: 4910 STORMWATER</b>						
321-4910-31.32004-SPSW02	SPLOST 2 STORMWATER 8%	126,000.00			504,000.00	504,000.00
Total Department 4910:		126,000.00	0.00	0.00	504,000.00	504,000.00
<b>Department: 6211 PARKS</b>						
321-6211-31.32003-SPPR02	SPLOST 2 PARKS & RECREATION 1	236,250.00			945,000.00	945,000.00
Total Department 6211:		236,250.00	0.00	0.00	945,000.00	945,000.00
Estimated Revenues		1,575,000.00	0.00	0.00	6,700,000.00	6,700,000.00
<b>Account Category: Appropriations</b>						
<b>Department: 4200 HIGHWAYS AND STREETS</b>						
321-4200-54.14000-SPRD02	SPLOST 2 ROADS & DRAINAGE 46%	724,500.00			0.00	0.00
Total Department 4200:		724,500.00	0.00	0.00	0.00	0.00
<b>Department: 4224 SIDEWALKS</b>						
321-4224-54.14005-SPST02	SPLOST 2 SIDEWALKS & TRAILS 3	488,250.00			0.00	0.00
Total Department 4224:		488,250.00	0.00	0.00	0.00	0.00
<b>Department: 4910 STORMWATER</b>						
321-4910-54.14004-SPSW02	SPLOST 2 STORMWATER 8%	126,000.00			0.00	0.00
Total Department 4910:		126,000.00	0.00	0.00	0.00	0.00
<b>Department: 6211 PARKS</b>						
321-6211-54.12000	CAPITAL - SITE IMPROVEMENTS	0.00			1,000,000.00	1,000,000.00
321-6211-54.12000-SPPR02	SPLOST 2 PARKS & RECREATION 1	236,250.00			0.00	0.00
Total Department 6211:		236,250.00	0.00	0.00	1,000,000.00	1,000,000.00
Appropriations		1,575,000.00	0.00	0.00	1,000,000.00	1,000,000.00
<b>Fund 321 - SPLOST II - 2023:</b>						
TOTAL ESTIMATED REVENUES		1,575,000.00	0.00	0.00	6,700,000.00	6,700,000.00
TOTAL APPROPRIATIONS		1,575,000.00	0.00	0.00	1,000,000.00	1,000,000.00
NET OF REVENUES & APPROPRIATIONS:		0.00	0.00	0.00	5,700,000.00	5,700,000.00
		0.00%	0.00%	0.00%	85.07%	85.07%
BEG. FUND BALANCE		0.00	0.00	0.00	0.00	0.00
END FUND BALANCE		0.00	0.00	0.00	5,700,000.00	5,700,000.00

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
<b>Fund: 560 STORMWATER</b>						
<b>Account Category: Estimated Revenues</b>						
<b>Department: 0000 NON DEPARTMENTAL</b>						
560-0000-34.42600	STORMWATER UTILITY CHARGES	2,864,072.00	1,347,400.05		2,863,814.00	2,863,814.00
Total Department 0000:		2,864,072.00	1,347,400.05	0.00	2,863,814.00	2,863,814.00
Estimated Revenues		2,864,072.00	1,347,400.05	0.00	2,863,814.00	2,863,814.00
<b>Account Category: Appropriations</b>						
<b>Department: 4910 STORMWATER</b>						
560-4910-52.12000	PROFESSIONAL SERVICES	695,827.75	149,334.75	546,493.00	150,000.00	150,000.00
560-4910-52.12400	CONTRACTUAL SVCS-LOWE ENGINEE	545,497.00	402,865.29	142,631.71	562,300.00	562,300.00
560-4910-52.13000	OTHER SERVICES / TECHNICAL	520,000.00	94,930.48	101,232.40	650,000.00	650,000.00
560-4910-52.22230	REPAIRS & MAINT - STORMWATER	1,584,975.00	452,531.15	918,843.57	2,360,000.00	2,360,000.00
560-4910-53.10000	OPERATING SUPPLIES	213,600.00	61,464.95	152,135.05	240,000.00	240,000.00
Total Department 4910:		3,559,899.75	1,161,126.62	1,861,335.73	3,962,300.00	3,962,300.00
Appropriations		3,559,899.75	1,161,126.62	1,861,335.73	3,962,300.00	3,962,300.00
Fund 560 - STORMWATER:						
TOTAL ESTIMATED REVENUES		2,864,072.00	1,347,400.05	0.00	2,863,814.00	2,863,814.00
TOTAL APPROPRIATIONS		3,559,899.75	1,161,126.62	1,861,335.73	3,962,300.00	3,962,300.00
NET OF REVENUES & APPROPRIATIONS:		(695,827.75)	186,273.43	(1,861,335.73)	(1,098,486.00)	(1,098,486.00)
		-24.30%	13.82%	0.00%	-38.36%	-38.36%
BEG. FUND BALANCE		1,355,647.05	1,355,647.05	1,355,647.05	1,355,647.05	1,355,647.05
END FUND BALANCE		659,819.30	1,541,920.48	(505,688.68)	257,161.05	257,161.05
Report Totals:						
TOTAL ESTIMATED REVENUES - ALL FUNDS		53,267,448.06	38,143,828.27		42,364,941.00	57,089,172.00
TOTAL APPROPRIATIONS - ALL FUNDS		77,288,401.95	30,963,759.77	20,088,885.62	70,000,231.00	73,833,480.00
NET OF REVENUES & APPROPRIATIONS:		(24,020,953.89)	7,180,068.50	(20,088,885.62)	(27,635,290.00)	(16,744,308.00)
		-45.09%	18.82%	0.00%	-65.23%	-29.33%
BEG. FUND BALANCE - ALL FUNDS		33,743,375.08	33,743,375.08	33,743,375.08	33,743,375.08	33,743,375.08
END FUND BALANCE - ALL FUNDS		9,722,421.19	40,923,443.58	13,654,489.46	6,108,085.08	16,999,067.08

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## MEMO

**To:** Honorable Mayor and City Council Members  
**From:** Beverly Hilton, Finance Director  
**CC:** John McHenry, City Manager  
**Date:** April 2, 2024  
**RE:** Memo for SPLOST 1 Wrap-up

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### Description for on the Agenda:

- SPLOST 1 Wrap Up

### Recommendation:

Review of Total Revenue and Expenditures YTD for 2017 SPLOST 1

### Background:

SPLOST 1 was a six-year one-percent special purpose local option sales tax that generated revenue for specific purposes approved by resident voters. Dekalb County receives funds from the Georgia Department of Revenue and disseminates monthly to eligible jurisdictions. Receipts began in March 2018 and concluded March 2024 (will receive in April 2024).

### Summary:

Staff reviewed the history of all revenues received in the SPLOST 1 fund and segregated according to the approved use. That approved use was 65% for Roads and Drainage, 20% for Sidewalks and Trails, and 15% for Parks and Recreation. The total received to date from Dekalb County was \$34,178,268. Funds received from other sources such as cooperative agreements and interest were also recorded in this fund. With those amounts included, total funds received were Roads and Drainage \$22,435,231, Sidewalks and Trails \$6,963,039 and Parks and Recreation \$6,108,043. (\$35,506,313).

Staff also reviewed the history of all expenditures recorded in the SPLOST 1 fund and segregated according to the approved use. Amounts spent and encumbered to date are as follows:

Roads and Drainage \$20,466,276

Sidewalks and Trails \$5,315,276

Parks and Recreation \$5,596,455

A final budget amendment was completed to apply the remaining funds accordingly.

### Financial Impact:

The attached spreadsheet gives details of the final accounting.

**320 SPLOST FUND**

GL Number	Description	17-18 Activity	18-19 Activity	19-20 Activity	20-21 Activity	21-22 Activity	22-23 Activity	23-24 Adopted	23-24 Amended	23-24 Activity	Encumbrance	23-24 Balance	Total Revenue			
													65%	20%	15%	
<b>Revenues</b>																
320-0000-31.32000	SPLOST - ROADS & DRAINAGE 65%	0	\$ 3,521,812.34	\$ 3,173,882.63	\$ 3,490,012.85	\$ 4,153,570.04	\$ 4,231,423.12	\$ 3,150,000.00	\$ 3,150,000.00	\$ 2,514,634.39	0	\$ 635,365.61	\$ 21,720,700.98			
320-0000-31.32001	SPLOST - SIDEWALKS & TRAILS 20%	0	\$ 833,176.42	\$ 976,579.28	\$ 1,073,850.11	\$ 1,278,021.54	\$ 1,301,976.36	\$ 981,000.00	\$ 981,000.00	\$ 773,733.65	0	\$ 207,266.35		\$ 6,444,603.71		
320-0000-31.32003	SPLOST - SITE IMPROVEMENTS PARKS 15%	\$ 1,177,259.32	\$ 624,883.48	\$ 732,434.45	\$ 805,387.58	\$ 958,516.17	\$ 976,482.24	\$ 738,000.00	\$ 1,138,000.00	\$ 580,300.25	0	\$ 157,699.75			\$ 6,012,963.24	\$ 34,178,267.93
320-0000-33.43000	STATE GRANTS CAPITAL PROJECTS 20%	0	0	0	0	0	\$ 157,680.22	\$ -	\$ -	\$ 0	0	\$ -		\$ 157,680.22		
320-0000-36.10000	INTEREST 65%/20%/15%	0	0	0	0	0	0	\$ -	\$ -	\$ 300,529.94	0	\$ -	\$ 195,344.46	\$ 60,105.99	\$ 45,079.49	Interest approx 40K monthly
320-0000-37.10000	CONTRIBUTIONS / DONATIONS 65%	0	\$ 6,180.00	0	0	0	0	\$ -	\$ -	\$ 0	0	\$ -	\$ 6,180.00			
Total Department 0000:		\$ 1,177,259.32	\$ 4,979,872.24	\$ 4,889,076.36	\$ 5,369,250.54	\$ 6,390,107.75	\$ 6,667,561.94	\$ 4,869,000.00	\$ 5,269,000.00	\$ 4,169,198.23	\$ -	\$ 1,000,331.71				
Department: 4100 PUBLIC WORKS ADMINISTRATION																
320-4100-37.10000	CONTRIBUTIONS / DONATIONS 20%	0	0	0	0	0	0	\$ -	\$ -	\$ 50,000.00	0	\$ -				
Total Department 4100:		0	0	0	0	0	0	\$ -	\$ -	\$ 50,000.00	0	\$ -		\$ 50,000.00		
Department: 4200 HIGHWAYS AND STREETS																
320-4200-37.10000	CONTRIBUTIONS / DONATIONS 65%	0	0	0	0	0	\$ 492,079.13	\$ -	\$ -	\$ 20,926.31	0	\$ -	\$ 513,005.44			
Total Department 4200:		0	0	0	0	0	\$ 492,079.13	\$ -	\$ -	\$ 20,926.31	0	\$ -				
Department: 4224 SIDEWALKS																
320-4224-33.43100	DIRECT STATE CAP GRANT-TKR NLAKE 20%	0	0	0	0	0	0	\$ -	\$ -	\$ 250,649.10	0	\$ -		\$ 250,649.10		
Total Department 4224:		0	0	0	0	0	0	\$ -	\$ -	\$ 250,649.10	0	\$ -				
Department: 9000 INTERFUND																
320-9000-39.10000	INTERFUND TRANSFERS 15%	\$ 100.00	\$ (100.00)	\$ 50,000.00	0	0	0	\$ -	\$ -	\$ 0	0	\$ -			\$ 50,000.00	
Total Department 9000:		\$ 100.00	\$ (100.00)	\$ 50,000.00	0	0	0	\$ -	\$ -	\$ 0	0	\$ -				
<b>Revenues</b>		<b>\$ 1,177,359.32</b>	<b>\$ 4,979,772.24</b>	<b>\$ 4,939,076.36</b>	<b>\$ 5,369,250.54</b>	<b>\$ 6,390,107.75</b>	<b>\$ 7,159,641.07</b>	<b>\$ 4,869,000.00</b>	<b>\$ 5,269,000.00</b>	<b>\$ 4,490,773.64</b>	<b>\$ -</b>	<b>\$ 1,000,331.71</b>	<b>\$ 22,435,230.88</b>	<b>\$ 6,963,039.02</b>	<b>\$ 6,108,042.73</b>	<b>35,506,312.63</b>

GL Number	Description	17-18 Activity	18-19 Activity	19-20 Activity	20-21 Activity	21-22 Activity	22-23 Activity	23-24 Adopted	23-24 Amended	23-24 Activity	Encumbrance	23-24 Balance	Total Expenditures			
													65%	20%	15%	
<b>Expenditures</b>																
320-1320-54.13000-SP2407	TUCKER FIRE STATION CONTRIBUTION FY24 15%	0	0	0	0	0	0	\$ 200,000.00	\$ 200,000.00	0	0	\$ 200,000.00			\$ 200,000.00	
Total Department 1320:		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200,000.00	\$ 200,000.00	\$ -	\$ -	\$ 200,000.00				
Department: 4100 PUBLIC WORKS ADMINISTRATION																
320-4100-52.12000	PROFESSIONAL SERVICES 65%	0	\$ 129,881.85	0	0	0	0	\$ -	\$ -	\$ 0	0	\$ -				
320-4100-52.12000-SP2305	PROGRAM MANAGEMENT FY23 SPLOST	0	0	0	0	0	\$ 51,299.80	\$ 115,812.20	\$ -	\$ 0	0	\$ -				
320-4100-52.13000	OTHER SERVICES / TECHNICAL	0	\$ 120,811.50	0	0	0	0	\$ -	\$ -	\$ 0	0	\$ -				
Total Department 4100:		\$ -	\$ 250,693.35	\$ -	\$ -	\$ -	\$ 51,299.80	\$ 115,812.20	\$ -	\$ -	\$ -	\$ -		\$ 301,993.15		
Department: 4200 HIGHWAYS AND STREETS																
320-4200-52.12000-SP2103	PROGRAM MANAGEMENT	0	0	0	\$ 184,475.68	\$ 141,487.24	\$ 103,781.72	\$ -	\$ -	\$ 0	0	\$ -				
320-4200-54.14000	INFRASTRUCTURE - RESURFACING	\$ 36,860.00	\$ 2,603,266.30	0	0	0	0	\$ -	\$ -	\$ 0	0	\$ -				
320-4200-54.14000-SP1907	TUCKER STREETSCAPES	0	0	0	\$ 213,358.50	0	0	\$ 366,641.50	\$ 366,641.50	\$ 197,084.08	0	\$ 169,557.42	\$ 169,557.42			
320-4200-54.14000-SP2002	INFRASTRUCTURE - RESURFACING FY20	0	0	\$ 2,107,944.68	\$ 50,812.47	0	0	\$ -	\$ -	\$ 0	0	\$ -				
320-4200-54.14000-SP2003	QUICK RESPONSE FY20 SPLOST	0	0	\$ 191,402.00	\$ 107,639.06	\$ 7,890.00	0	\$ 17,250.94	\$ 17,250.94	\$ 0	0	\$ 17,250.94	\$ 17,250.94			
320-4200-54.14000-SP2004	INFRASTRUCTURE - RESURFACING	0	0	\$ 50,000.00	0	0	0	\$ -	\$ -	\$ 0	0	\$ -				
320-4200-54.14000-SP2005	MIB @ US78 ENGINEERING DESIGN	0	0	0	0	\$ 273,513.49	\$ 218,565.64	\$ 280,293.86	\$ 280,293.86	\$ 162,964.13	\$ 43,816.24	\$ 73,513.49	\$ 73,513.49			
320-4200-54.14000-SP2006	HUGH HOWELL RD @ MIB	0	0	\$ 13,688.10	\$ 66,270.86	0	0	\$ -	\$ (0.04)	\$ 0	0	\$ (0.04)	\$ (0.04)			
320-4200-54.14000-SP2007	CHAMBLEE TUCKER RD SPEED STUDY	0	0	\$ 7,577.96	\$ 16,174.44	0	0	\$ 6,247.60	\$ -	\$ 0	0	\$ -				
320-4200-54.14000-SP2102	MAJOR ROAD IMPROVEMENTS	0	0	0	\$ 79,929.39	\$ 46,612.43	\$ 37,778.36	\$ 286,124.82	\$ 286,124.82	\$ 24,250.00	\$ 58,212.04	\$ 203,662.78	\$ 203,662.78			
320-4200-54.14000-SP2104	QUICK RESPONSE PROJECTS	0	0	0	\$ 20,205.00	\$ 171,060.10	\$ 22,467.51	\$ 110,450.39	\$ 110,450.39	\$ 4,232.50	\$ 8,089.99	\$ 98,127.90	\$ 98,127.90			
320-4200-54.14000-SP2201	RESURFACING FY22 SPLOST	0	0	0	0	\$ 1,034,971.12	\$ 1,243,451.57	\$ -	\$ -	\$ 0	0	\$ -				
320-4200-54.14000-SP2203	QUICK RESPONSE FY22	0	0	0	0	0	\$ 3,992.50	\$ 310,347.50	\$ 310,347.50	\$ 47,827.50	\$ 285,075.83	\$ (22,555.83)	\$ (22,555.83)			
320-4200-54.14000-SP2204	MAJOR ROAD IMPROVEMENTS FY22	0	0	0	\$ (50,000.00)	0	0	\$ 678,680.00	\$ 678,680.00	\$ 0	0	\$ 678,680.00	\$ 678,680.00			
320-4200-54.14000-SP2301	RESURFACING FY23 SPLOST	0	0	0	0	0	\$ 1,810,820.97	\$ 1,847,936.55	\$ -	\$ 0	0	\$ -				
320-4200-54.14000-SP2302	QUICK RESPONSE PROJECTS SPLOST	0	0	0	0	0	0	\$ 400,000.00	\$ 400,000.00	\$ 0	\$ 400,000.00	\$ -				
320-4200-54.14000-SP2304	MAJOR ROAD IMPROVEMENTS FY23 SPLOST	0	0	0	0	0	0	\$ 826,750.00	\$ 826,750.00	\$ 0	0	\$ 826,750.00	\$ 826,750.00			
320-4200-54.14000-SP2401	RESURFACING FY24	0	0	0	0	0	0	\$ 2,875,000.00	\$ 4,844,996.39	\$ 2,333,911.75	\$ 595,819.76	\$ 1,915,264.88	\$ 1,915,264.88			
320-4200-54.14000-SP2402	QUICK RESPONSE FY24	0	0	0	0	0	0	\$ 400,000.00	\$ 400,000.00	\$ 4,158.00	0	\$ 395,842.00	\$ 395,842.00			
320-4200-54.14000-SP2403	MAJOR PROJECTS FY24	0	0	0	0	0	0	\$ 826,750.00	\$ 826,750.00	\$ 0	0	\$ 826,750.00	\$ 826,750.00			
Total Department 4200:		\$ 36,860.00	\$ 2,603,266.30	\$ 2,370,612.74	\$ 738,865.40	\$ 1,625,534.38	\$ 3,440,858.27	\$ 9,232,473.16	\$ 9,348,285.36	\$ 2,774,427.96	\$ 1,391,013.86	\$ 5,182,843.54	\$ 14,981,438.91			

GL Number	Description	17-18 Activity	18-19 Activity	19-20 Activity	20-21 Activity	21-22 Activity	22-23 Activity	23-24 Adopted	23-24 Amended	23-24 Activity	Encumbrance	23-24 Balance	Total Expenditures													
													65%	20%	15%											
<b>Expenditures</b>																										
Department: 4224 SIDEWALKS																										
	20%																									
320-4224-52.12000	PROFESSIONAL SERVICES	0	\$ 39,022.50	0	0	0	0	\$ -	\$ -	0	0	\$ -														
320-4224-52.12000-SP2405	PROGRAM MANAGEMENT-FY24 SPLOST	0	0	0	0	0	0	225,000.00	225,000.00	\$ 106,806.04	\$ 118,193.96	\$ -														
320-4224-54.14000	SIDEWALKS	0	\$ 212,047.80	0	0	0	\$ 95,122.50	\$ -	\$ -	0	0	\$ -														
320-4224-54.14000-SP1906	SIDEWALKS	0	0	0	\$ 18,603.20	0	\$ 4,801.00	\$ -	\$ -	0	0	\$ -														
320-4224-54.14000-SP1908	SIDEWALKS	0	0	\$ 296,704.69	\$ 38,896.80	0	\$ 18,698.51	\$ -	\$ -	0	0	\$ -														
320-4224-54.14000-SP2009	TRAIL MODEL PROJECT	0	0	\$ 24,450.00	\$ 105,001.80	\$ 331,407.01	\$ 487,248.19	\$ -	\$ -	0	0	\$ -														
320-4224-54.14000-SP2105	TRAIL PROJECTS	0	0	0	0	\$ 263,355.16	\$ 302,836.49	\$ 165,745.51	\$ 165,745.51	\$ 36,300.00	\$ 107,100.00	\$ 22,345.51	\$	22,345.51												
320-4224-54.14000-SP2202	TRAILS FY22	0	0	0	0	\$ 2,502.60	\$ 485,196.75	\$ 51,191.25	\$ 51,191.25	\$ 38,316.25	\$ 12,825.00	\$ 50.00	\$	50.00												
320-4224-54.14000-SP2404	SIDEWALKS / TRAILS FY24 SPLOST	0	0	0	0	0	0	\$ 1,262,000.00	\$ 1,262,000.00	\$ 214,905.94	\$ 729,151.62	\$ 317,942.44	\$	317,942.44												
320-4224-54.14005-SP2303	SIDEWALKS-VARIOUS LOCATIONS SPLOST	0	0	0	0	0	\$ 319,531.27	\$ 565,912.48	\$ 565,912.48	\$ 432,129.27	\$ 496,062.53	\$ (362,279.32)	\$	(362,279.32)												
Total Department 4224:		\$ -	\$ 251,070.30	\$ 321,154.69	\$ 162,501.80	\$ 597,264.77	\$ 1,713,434.71	\$ 2,269,849.24	\$ 2,269,849.24	\$ 828,457.50	\$ 1,463,333.11	\$ (21,941.37)	\$	5,337,216.88												
Department: 6210 PARKS & RECREATION																										
	15%																									
320-6210-52.12000	PROFESSIONAL SERVICES	0	\$ 3,374.01	0	0	0	0	\$ -	\$ -	0	0	\$ -														
320-6210-52.12000-SP2011	ENGINEERING SERVICES	0	0	\$ 1,850.00	\$ 14,690.00	\$ 2,450.00	\$ 10,172.50	\$ -	\$ -	0	0	\$ -														
320-6210-52.12000-SP2106	ENGINEERING SERVICES - PARK CONST PROJ	0	0	0	0	\$ 20,911.40	\$ 4,089.00	\$ -	\$ -	0	0	\$ -														
320-6210-52.12000-SP2107	PROGRAM/PROJECT MGMT	0	0	0	0	\$ 15,833.00	\$ 5,940.00	\$ 10,727.00	\$ 10,727.00	0	0	\$ 10,727.00	\$	10,727.00												
320-6210-54.12000	CAPITAL - SITE IMPROVEMENTS	0	\$ 168,947.01	0	0	0	0	\$ -	\$ -	0	0	\$ -														
320-6210-54.12000-SP1910	SITE IMPROVEMENTS	0	0	\$ 89,301.10	\$ 5,789.09	\$ 139,632.00	\$ -	\$ -	\$ -	0	0	\$ -														
320-6210-54.12000-SP1911	RENOVATE GYMNASIUM	0	0	\$ 11,721.89	\$ 38,425.00	\$ -	\$ -	\$ -	\$ -	0	0	\$ -														
320-6210-54.12000-SP1914	TRAILS PROGRAM	0	0	0	0	\$ 26,175.00	\$ -	\$ -	\$ -	0	0	\$ -														
320-6210-54.12000-SP1917	PRIORITY PROJECTS - MASTER PLAN	0	0	\$ 99,740.07	\$ 79,029.60	\$ 142,250.00	\$ 73,469.76	\$ -	\$ -	\$ 9,256.33	\$ (9,256.33)	\$ -	\$	(9,256.33)												
320-6210-54.12000-SP2012	SPORTS FIELD LIGHTING	0	0	0	0	\$ 210,693.00	\$ -	\$ -	\$ -	0	0	\$ -														
320-6210-54.12000-SP2013	PARKS RESTROOMS	0	0	0	0	0	\$ 90,814.56	\$ 109,185.44	\$ 109,185.44	\$ 109,185.44	0	\$ -														
320-6210-54.12000-SP2014	PARKING LOTS - NEW/RE-TOP	0	0	\$ 113,195.54	\$ 47,164.19	\$ 83,350.00	\$ -	\$ -	\$ -	0	0	\$ -														
320-6210-54.12000-SP2307	SPORTS FIELD LIGHTING SPLOST	0	0	0	0	0	\$ 8,612.08	\$ 341,387.92	\$ 341,387.92	0	\$ 341,387.92	\$ -														
320-6210-54.12000-SP2308	PARK SIGNAGE	0	0	0	0	0	\$ 88,750.16	\$ 111,249.84	\$ 87,050.12	\$ 87,050.12	0	\$ -														
320-6210-54.13000-SP2208	TRC IMPROVEMENTS FY22	0	0	0	0	\$ 90,752.03	\$ 40,669.46	\$ 18,578.51	\$ 18,578.51	0	0	\$ 18,578.51	\$	18,578.51												
Total Department 6210:		\$ -	\$ 172,321.02	\$ 315,808.60	\$ 185,097.88	\$ 732,046.43	\$ 322,517.52	\$ 591,128.71	\$ 566,928.99	\$ 205,491.89	\$ 341,387.92	\$ -	\$	2,274,671.26												
Department: 6211 PARKS																										
	15%																									
320-6211-54.12000-SP2108	SPORTS FIELD LIGHTING	0	0	0	0	\$ 202,854.00	\$ 5,339.96	\$ 4,306.04	\$ 4,306.04	0	\$ 4,306.04	\$ -														
320-6211-54.12000-SP2109	PARKING LOTS - PARKS	0	0	0	0	\$ 23,425.00	0	\$ 176,575.00	\$ 176,575.00	\$ 176,575.00	0	\$ -														
320-6211-54.12000-SP2110	J HOMESTEAD RESTORATION	0	0	0	0	0	0	\$ 50,000.00	\$ 50,000.00	0	0	\$ 50,000.00	\$	50,000.00												
320-6211-54.12000-SP2111	SECURITY CAMERAS	0	0	0	0	0	0	\$ 25,000.00	\$ 25,000.00	0	0	\$ 25,000.00	\$	25,000.00												
320-6211-54.12000-SP2206	FITZGERALD PARK IMP FY22	0	0	0	0	0	0	\$ 513,039.59	\$ 266,675.42	\$ 72,602.38	\$ 194,073.04	\$ -														
320-6211-54.12000-SP2209	ROSENFELD PARKING LOT IMP FY22	0	0	0	0	\$ 4,520.00	0	\$ 35,480.00	\$ 29,825.00	\$ 4,685.00	\$ 25,140.00	\$ -														
320-6211-54.12000-SP2306	ROSENFELD TENNIS COURT IMPROVEMENTS	0	0	0	0	0	0	\$ 200,000.00	\$ 205,655.00	0	0	\$ 205,655.00	\$	205,655.00												
320-6211-54.12000-SP2406	FITZGERALD PARK RENO PHASE 2 FY24	0	0	0	0	0	\$ 396,995.24	\$ 750,000.00	\$ 1,444,719.33	\$ 11,829.47	\$ 1,432,889.86	\$ -														
Total Department 6211:		\$ -	\$ -	\$ -	\$ -	\$ 230,799.00	\$ 402,335.20	\$ 1,754,400.63	\$ 2,202,755.79	\$ 265,691.85	\$ 1,656,408.94	\$ -	\$	2,555,234.99												
Department: 6212 POOLS																										
	15%																									
320-6212-54.12000-SP2112	POOL RENOVATIONS	0	0	0	\$ 104,290.45	\$ 74,065.11	\$ 10,316.07	\$ 11,328.37	\$ 11,328.37	0	0	\$ 11,328.37	\$	11,328.37												
320-6212-54.12000-SP2207	SPLASH PAD IMPROVEMENTS FY22	0	0	0	0	\$ 8,222.79	\$ 12,497.79	\$ 69,279.42	\$ 45,123.98	0	0	\$ 45,123.98	\$	45,123.98												
Total Department 6212:		\$ -	\$ -	\$ -	\$ 104,290.45	\$ 82,287.90	\$ 22,813.86	\$ 80,607.79	\$ 56,452.35	\$ -	\$ -	\$ -	\$	209,392.21												
<b>Expenditures</b>													<b>\$ 36,860.00</b>	<b>\$ 3,277,350.97</b>	<b>\$ 3,007,576.03</b>	<b>\$ 1,190,755.53</b>	<b>\$ 3,267,932.48</b>	<b>\$ 5,953,259.36</b>	<b>\$ 14,244,271.73</b>	<b>\$ 14,644,271.73</b>	<b>\$ 4,074,069.20</b>	<b>\$ 4,852,143.83</b>	<b>\$ 20,466,276.25</b>	<b>\$ 5,315,275.71</b>	<b>\$ 5,596,455.14</b>	<b>\$ 31,378,007.10</b>
Fund 320 - SPLOST FUND:																										
TOTAL ESTIMATED REVENUES		\$ 1,177,359.32	\$ 4,979,772.24	\$ 4,939,076.36	\$ 5,369,250.54	\$ 6,390,107.75	\$ 7,159,641.07	\$ 4,869,000.00	\$ 5,269,000.00	\$ 4,490,773.64	\$ -	\$ -	\$ 22,435,230.88	\$ 6,963,039.02	\$ 6,108,042.73											
TOTAL APPROPRIATIONS		\$ 36,860.00	\$ 3,277,350.97	\$ 3,007,576.03	\$ 1,190,755.53	\$ 3,267,932.48	\$ 5,953,259.36	\$ 14,244,271.73	\$ 14,644,271.73	\$ 4,074,069.20	\$ 4,852,143.83	\$ -	\$ 20,466,276.25	\$ 5,315,275.71	\$ 5,596,455.14											
NET OF REVENUES & APPROPRIATIONS:		\$ 1,140,499.32	\$ 1,702,421.27	\$ 1,931,500.33	\$ 4,178,495.01	\$ 3,122,175.27	\$ 1,206,381.71	\$ (9,375,271.73)	\$ (9,375,271.73)	\$ 416,704.44	\$ (4,852,143.83)	\$ -	<b>\$ 1,968,954.63</b>	<b>\$ 1,647,763.31</b>	<b>\$ 511,587.59</b>											



# CITY OF TUCKER 2017 SPLOST 1 Financial Summary



## 2017 SPLOST 1

In November 2017, Dekalb County voters approved a referendum to implement a one-cent SPLOST. The purpose of the SPLOST was to fund specified capital projects for both the county government and all municipalities within the county.

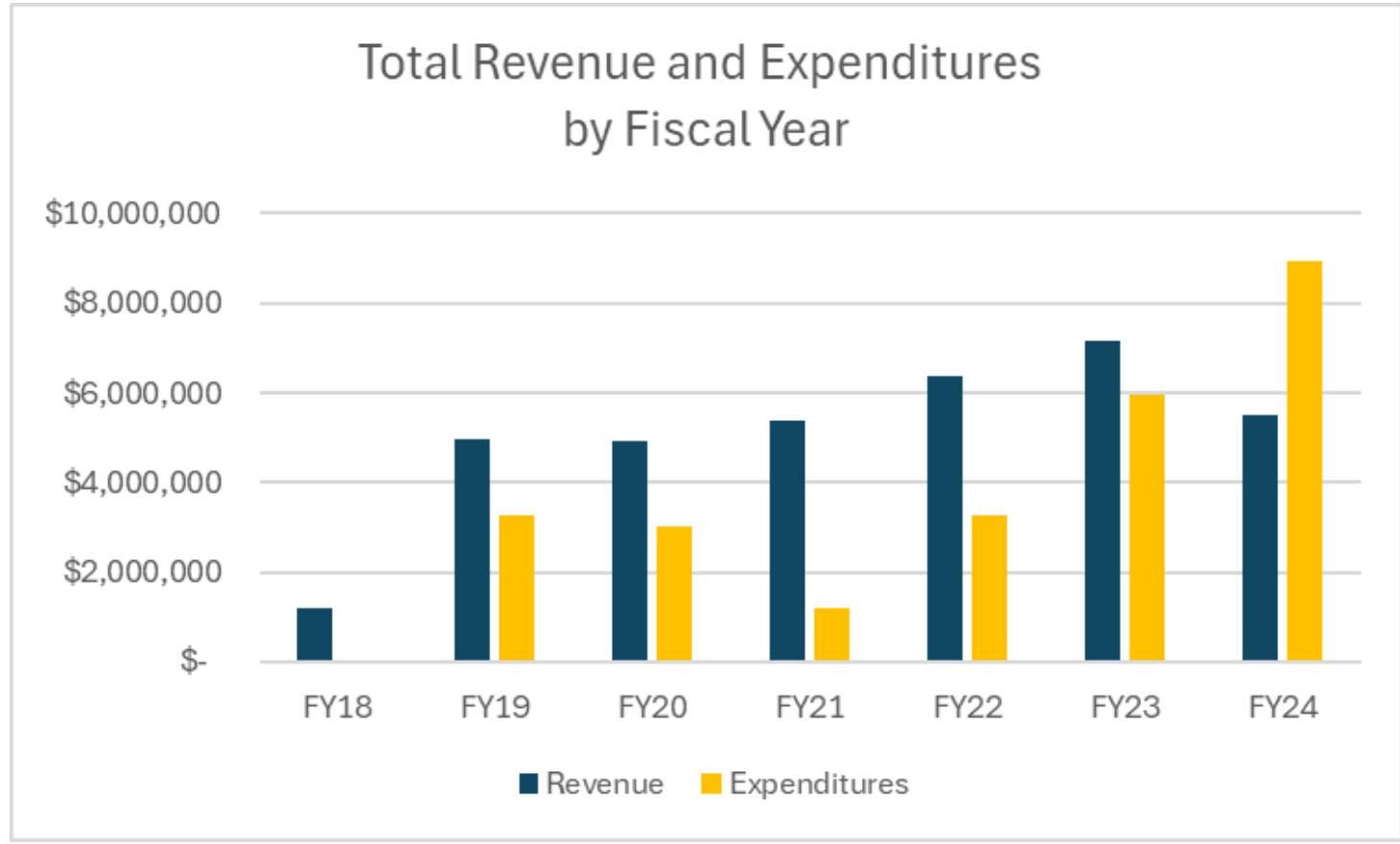
## 2017 SPLOST 1 City of Tucker

Tucker projects to be funded from its share of the proceeds consisting of:

- (1) At least 65% of the proceeds for Roads and Drainage,
- (2) At least 20% of the proceeds for multi-modal transportation consisting of sidewalks, paths, and bikeways; and
- (3) Up to 15% for projects for fire facilities and Citywide safety equipment, capital outlay projects for the parks and recreation system, and capital outlay projects for public facilities (collectively the “City of Tucker Projects”).



# 2017 SPLOST 1

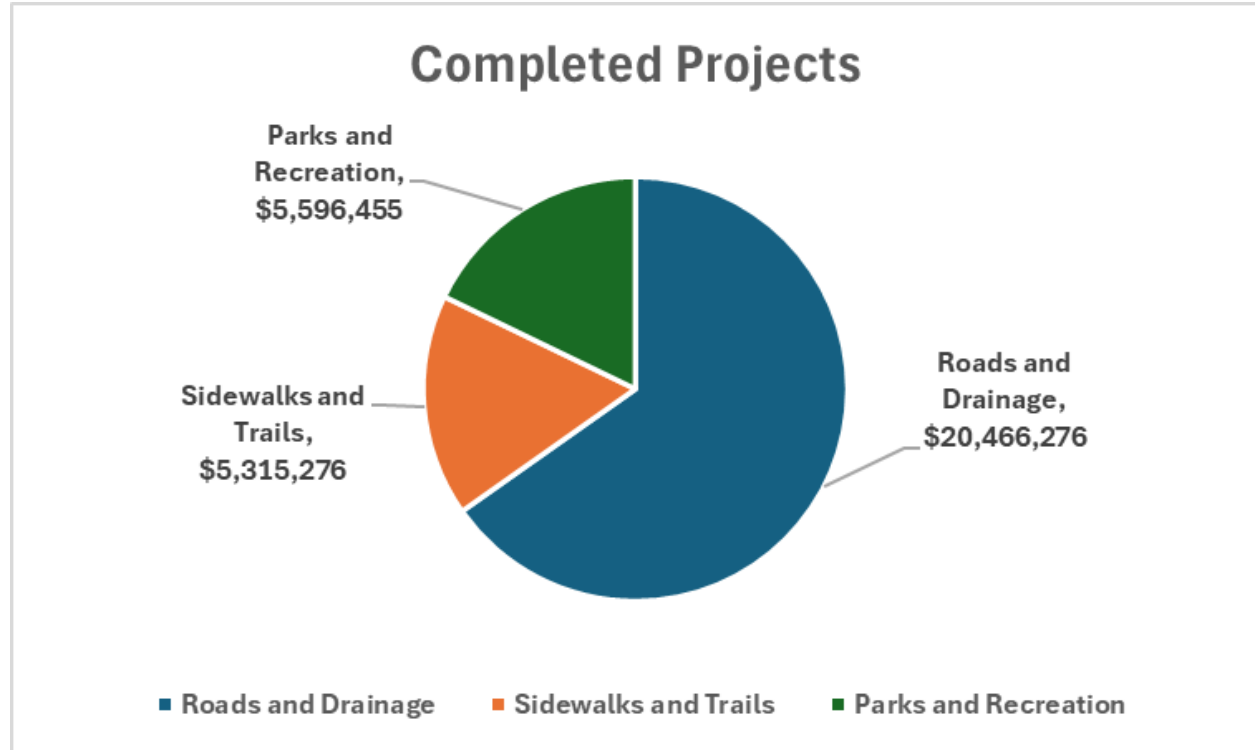


	FY18	FY19	FY20	FY21	FY22	FY23	FY24
Revenue	\$ 1,177,359	\$ 4,979,772	\$ 4,939,076	\$ 5,369,251	\$ 6,390,108	\$ 7,159,641	\$ 5,491,105
Expenditures	\$ 36,860	\$ 3,277,351	\$ 3,007,576	\$ 1,190,756	\$ 3,267,932	\$ 5,953,259	\$ 8,926,213



# 2017 SPLOST 1

By Category	Revenue	Expenditures
Roads and Drainage	\$ 21,720,701	\$ 20,466,276
Sidewalks and Trails	\$ 6,444,604	\$ 5,315,276
Parks and Recreation	\$ 6,012,963	\$ 5,596,455





# City of Tucker

## MEMO

**To:** Honorable Mayor and City Council Members  
**From:** Julie Martin, Planning Manager & Courtney Smith, Community Development Director  
**CC:** John McHenry, City Manager  
**Date:** March 4, 2024  
**RE:** Memo for O2024-03-04 SLUP-24-0001; Personal Care Home at 4372 Lawrenceville Highway

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**Contract/Document Number:** O2024-03-04

### Description for on the Agenda:

- Public Hearing and First Read of an Ordinance for a Special Land Use Permit (SLUP-24-0001) for a Personal Care Home, Group (4-6) at 4372 Lawrenceville Highway for applicant Albert's House Five, LLC.

### Issue:

The applicant is requesting a Special Land Use Permit (SLUP) for the property located at 4372 Lawrenceville Highway to allow for a Personal Care Home (4-6) in the DT-1 (Downtown Neighborhood) zoning district. The subject property is 0.85 acres and is developed with a one-story, approximately 1,648 square foot single-family detached home. According to the DeKalb Property Appraisal website, the single-story home was constructed in 1946.

### Recommendation:

Staff recommends approval with conditions.

Planning Commission recommends approval with modified conditions.

### Background:

Albert's House Five, LLC, is organized by the owner of Albert's House, Inc., which runs four Personal Care Homes in northern Atlanta, including one at 2553 Sandpiper Drive in Tucker. Approved in 2023 (SLUP-23-0002), Albert's House Sandpiper, LLC, is a Personal Care Home for six people.

The existing house has four (4) bedrooms and two (2) bathrooms in what appears to be two separate dwelling units. The proposed interior floor plan submitted by the applicant shows six (6) bedrooms, four (4) bathrooms, a living room, a kitchen with a dining bar, and a mudroom. Three (3) of the bathrooms are private and one (1) is shared by the other bedrooms and the common areas. Two ADA access ramps are proposed: one at the eastern side of the building and one that comes off the front porch towards the east. A sidewalk will connect the ramps to the six (6) parking spaces at the rear of the building.

Access to the parking area behind the home is provided from Old Norcross Road, near the location of the existing asphalt driveway. A nonconforming gravel parking area behind the home will be removed and replaced with a new concrete driveway and six parking spaces. A fifty-foot transitional buffer is required for the northern and eastern property boundaries as they abut R-85 zoning. Transitional buffers are "intended to create a visual screen in order to diminish the potential negative impacts of nonresidential and mixed land uses on adjacent residential uses." The existing circa 1946 house encroaches into the buffer, which is unavoidable as it is an existing feature.

In order to avoid institutionalization of residential properties, the Tucker Zoning Ordinance requires that Personal Care Homes must be separated at least 1,000 feet from other Personal Care Homes. The subject location is approximately 3,400 feet away from the closest existing Personal Care Home on Chamblee Tucker Road.

Staff will note that the property has been for sale for several years and the redevelopment of the property has been hindered by the lack of sewer in the area. Allowing a small Personal Care Home will reactive the site while respecting the single-family uses to the north and east. It will also provide a service that is needed in the community.

**Summary:**

The proposed use complies with the criteria (standards and factors) for special land use permits provided in Section 46-1594 of the City of Tucker Zoning Ordinance. The proposed use also complies with the Supplemental Regulations for Personal Care Homes (Section 46-1185).

**Financial Impact:** N/A



**Land Use Petition:** SLUP-24-0001  
**Planning Commission:** February 15, 2024  
**Mayor and City Council, 1<sup>st</sup> Read:** March 11, 2023  
**Mayor and City Council, 2<sup>nd</sup> Read:** April 8, 2023

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**PROJECT LOCATION:** 4372 Lawrenceville Highway

**APPLICATION NUMBER** SLUP-24-0001

**DISTRICT/LANDLOT(S):** Land District 18, Land Lot 225

**ACREAGE:** 0.85 acres

**EXISTING ZONING** DT-1 (Downtown Neighborhood)

**EXISTING LAND USE** Residential/Vacant

**FUTURE LAND USE MAP DESIGNATION:** Downtown

**OVERLAY DISTRICT:** N/A

**APPLICANT:** Allegret, Cline, Hicks Joint Venture

**OWNER:** Albert’s House Five, LLC

**PROPOSED DEVELOPMENT:** Special Land Use Permit to allow a Personal Care Home, Group (4-6) in a residential zoning district.

**STAFF RECOMMENDATION:** **APPROVAL WITH CONDITIONS of SLUP-24-0001**

## Project Data and Background

The applicant is requesting a Special Land Use Permit (SLUP) for the property located at 4372 Lawrenceville Highway to allow for a Personal Care Home (4-6) in the DT-1 (Downtown Neighborhood) zoning district. The subject property is 0.85 acres and is developed with a one-story, approximately 1,648 square foot single-family detached home. According to the DeKalb Property Appraisal website, the single-story home was constructed in 1946.

Personal Care Homes, Group (4 – 6 residents) are only allowed in the Downtown special zoning districts (DT-1, DT-2, DT-3) with the approval of a Special Land Use Permit (SLUP) to ensure the operation of the facility will not be a detriment to the character of the residential neighborhood. The proposed Personal Care Home will be located in an existing single-family house and must maintain the exterior appearance of a residential structure. Pursuant to Section 46-1185, supplemental regulations for Personal Care Homes, the proposed business shall comply with all applicable state Personal Care Home requirements including obtaining all licenses and permits required by the State of Georgia and displaying its state-issued licenses and permits in plain view, visible from the front doorway of the facility. Each group Personal Care Home must provide at least four parking spaces within a driveway, garage, or carport. No group Personal Care Homes may be operated within 1,000 feet of any other group Personal Care Home.

The City of Tucker defines a Personal Care Home as *a building in which housing, meals, personal assistance services, and 24-hour continuous watchful oversight for adults are provided and which facility is licensed or permitted as a personal care home by the state. The term "personal care home" shall not include the term "childcare institution," "transitional housing," "rehabilitation housing facility," "roominghouse" or "boardinghouse." The term "personal care home" includes the term "community living arrangement," which is an establishment licensed by the state and providing a residence for adults receiving care for mental health, development disabilities, and/or addictive diseases.*

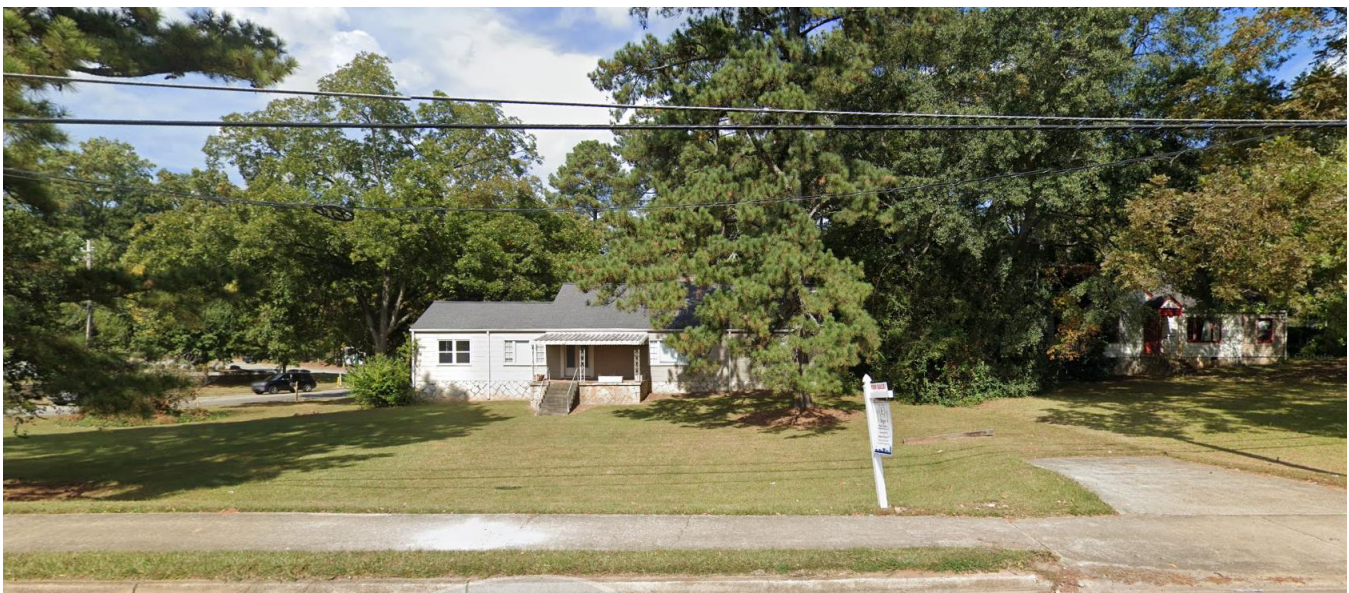


Figure 1. 4372 Lawrenceville Highway (Google Streetview October 2023).

Albert's House Five, LLC, is organized by the owner of Albert's House, Inc., which runs four Personal Care Homes in northern Atlanta, including one at 2553 Sandpiper Drive in Tucker. Approved in 2023, Albert's House Sandpiper, LLC, is a Personal Care Home for six people. It is approximately 5,800 feet from the proposed Personal Care Home for six people at 4372 Lawrenceville Highway.

The existing house has four (4) bedrooms and two (2) bathrooms in what appears to be two separate dwelling units. The proposed interior floor plan submitted by the applicant shows six (6) bedrooms, four (4) bathrooms, a living room, a kitchen with a dining bar, and a mudroom. Three (3) of the bathrooms are private and one (1) is shared by the other bedrooms and the common areas. Two ADA access ramps are proposed: one at the eastern side of the building and one that comes off the front porch towards the east. A sidewalk will connect the ramps to the six (6) parking spaces at the rear of the building.

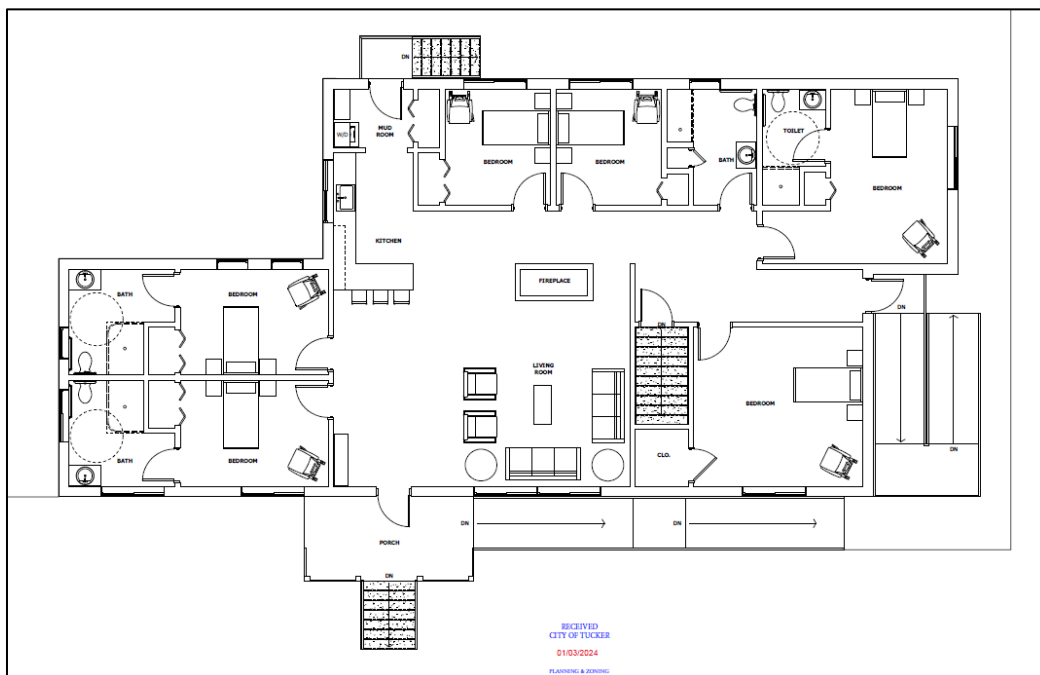


Figure 2. Proposed Floor Plan for 4372 Lawrenceville Highway.

### **USE ANALYSIS AND DEVELOPMENT PERMISSIONS**

The subject property is located in the DT-1 (Downtown Neighborhood) zoning district. The purpose and intent section of the DT-1 zoning district (Sec. 46-982) indicates in part that the DT-1 zoning district is established to “preserve the existing residential neighborhood character and uses while allowing compatible mixed-use and commercial uses. This neighborhood character is guided by residential architecture such as pitched roofs, smaller scale, fenestration, cornices, columns, etc.” Additionally, the intent of all DT districts includes the provision of a variety of housing types and mixed-income residential opportunities. The DT-1 zoning district allows for “Personal Care Homes” only as a special use (Table 3.1. Use Table). The intent of the City of Tucker Zoning Ordinance is that the proposed uses be determined on a case-by-case basis to ensure compatibility with the surrounding area including maintaining the residential character of the immediate area. In the City of Tucker all Personal Care Homes, Group (4-6) require a SLUP and must meet supplemental use regulations in Article 4.

Access to the parking area behind the home is provided from Old Norcross Road, near the location of the existing asphalt driveway. A nonconforming gravel parking area behind the home will be removed and replaced with a new concrete driveway and six parking spaces. A fifty-foot transitional buffer is required for the northern and eastern property boundaries as they abut R-85 zoning. Transitional buffers are “intended to create a visual screen in order to diminish the potential negative impacts of nonresidential and mixed land uses on adjacent residential uses.” The existing circa 1946 house encroaches into the buffer, which is unavoidable as it is an existing feature.

In order to avoid institutionalization of residential properties, the Tucker Zoning Ordinance requires that Personal Care Homes must be separated at least 1,000 feet from other Personal Care Homes. The subject location is approximately 3,400 feet away from the closest existing Personal Care Home on Chamblee Tucker Road.

Segment 2 of the Tucker PATH multi-use trail is planned to cross this property. Segment 2 will connect the Tucker Nature Preserve, the Reid H. Cofer Library, Kelley Cofer Park and Tucker High School to Downtown.

**CHARACTER AREA (Future Land Use)**

The subject parcel is designated Downtown on the Future Land Use Map. The proposal is consistent with the intent of the Downtown Character Area strategy to preserve downtown’s special small-town qualities, and primary land uses such as residential and senior living. The operators of the Personal Care Home will be required to maintain an exterior appearance of a single-family home and there will be no signs located on the subject property advertising the Personal Care Home.

**PUBLIC PARTICIPATION PLAN REPORT**

The applicant hosted a public participation meeting on November 22, 2023. The meeting was held at 4372 Lawrenceville Highway (the proposed site) and lasted approximately one-half hour. Prior to the meeting, the applicant mailed a letter and the proposed floor plan to all property owners within five hundred feet of the subject parcel. The only two people in attendance were the design consultants for the applicant.

**NEARBY/SURROUNDING LAND ANALYSIS**

Adjacent & Surrounding Properties	Zoning	Existing Land Use
Adjacent: North	R-85 (Residential Medium Lot-85)	Single-family home
Adjacent: East	R-85 (Residential Medium Lot-85)	Single-family home
Adjacent: South (Across Lawrenceville Hwy)	DT-2 (Downtown Corridor)	Cofer Crossing shopping center
Adjacent: West (Old Norcross Road)	DT-1 (Downtown Neighborhood)	Reid H. Cofer Library (DeKalb Co)





Figure 3 and 4. Zoning Map and Aerial Image.

## SLUP-24-0001

### CRITERIA TO BE APPLIED

Criteria (standards and factors) for special land use decisions are provided in Section 46-1594 of the City of Tucker Zoning Ordinance. The applicant is required to address these criteria (see application); below are the staff's findings which are independent of the applicant's responses to these criteria.

- 1. Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.**

The subject site is approximately 0.85 acres. The lot is developed with a 1,648-square foot, single-family detached dwelling. The applicant is not proposing to expand the existing structure's footprint but will be modifying the parking area to comply with code and building ADA ramps. The structure encroaches into the transitional buffer, but the building predates the code requirement.

- 2. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.**

The proposed Personal Care Home is on Lawrenceville Highway (U.S. Route 29) across from a large commercial shopping center at the south and a DeKalb County public library at the west. The introduction of a Personal Care Home facilitates transition from a busy commercial shopping center at the south and a public library at the west to single family residential uses at the north and east.

- 3. Adequacy of public services, public facilities, and utilities to serve the proposed use.**

**Schools.** There will be no impact on public school facilities.

**Stormwater management.** The proposed alterations to the parking lot do not trigger stormwater management requirements.

**Water and sewer.** The applicant has been working with the DeKalb County Department of Health on the septic system for the property. Due to the Level III type of soils on the property, it is estimated that a six bed PCH will require 325 feet of septic field lines.

**4. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.**

The traffic impacts as a result of the proposed Personal Care Home will be minimal. The Trip Generation Report letter states that “the proposed personal care home will generate approximately 1 new external trip in the AM peak hour, 1 new external trip in the PM peak hour, and 16 new external two-way trips (8 entering/8 exiting) in a 24-hour duration.

**5. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.**

It is not expected that land uses along Lawrenceville Highway or Old Norcross Road would be adversely affected by the character of the vehicles or volume of traffic generated by the proposed personal care home.

**6. Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.**

The current access point on Old Norcross Road will provide sufficient ingress and egress. It will also provide safer access and traffic flow than the curb cut on Lawrenceville Highway. Staff recommends removing the portion of a former driveway off of Lawrenceville Highway as the City of Tucker and GDOT will not permit the curb cut to be used.

**7. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.**

The proposed development will not generate excessive noise, nor will it emit smoke, odor, dust, or vibration.

**8. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.**

The hours of operation will be 24 hours a day, but the occupants do not drive, so there should be minimal traffic impacts compared to a typical single-family home. According to the applicant, all services will be conducted inside the residence. Shift changes will occur twice a day, and the staff members will use the parking area off Old Norcross Road. No adverse impacts are expected.

**9. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.**

The property is surrounded by single family detached homes zoned R-85 (Residential Medium Lot – 85) on the north and east, a commercial highway across Lawrenceville Highway to the south, and a DeKalb County library across Old Norcross Road to the west. The applicant has stated the residence shall appear as a single-family home and no signage will be erected for the PCH. If developed in accordance with the staff recommended conditions, nearby single-family homes should not be adversely affected by the manner of operation of the PCH.

**10. Whether or not the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.**

If approved by SLUP, the proposed Personal Care Home will comply with the DT-1 zoning district. The proposed PCH will be located in an existing single-family house and must maintain the exterior appearance as a residential structure.

**11. Whether or not the proposed use is consistent with the policies of the comprehensive plan.**

The subject property is designated Downtown on the Future Land Use Map. While the proposed use is consistent with the intent of the adopted comprehensive plan, care must be taken to preserve the adjacent neighborhoods in the Suburban Character Area to the north and east from institutionalization. However, the zoning ordinance defines institutionalization as two Personal Care Homes within 1,000 feet of each other. In research of other nearby and surrounding Personal Care Homes, it appears as though the closest Personal Care Home is located approximately 3,400 feet away.

**12. Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.**

There are 50' transitional buffers required at the north and east boundaries of the property. The existing house encroaches the buffer, but the structure predates the code requirement.

**13. Whether or not there is adequate provision of refuse and service areas.**

The proposed use should not generate excessive refuse and the applicant has stated that they will have regular sanitation services.

**14. Whether the length of time for which the special land use permit is granted should be limited in duration.**

Staff does not recommend any limits on the length of time of the special land use permit (if granted), so long as the applicant obtains all local licensing requirements including compliance with approved conditions and annual occupational tax certificate renewal.

**15. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.**

The applicant proposes no changes to the existing building size, mass, and scale. It is compatible with the surrounding residential homes.

**16. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.**

There are no known historic buildings, sites, districts, or archaeological resources on the subject property.

**17. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.**

The proposed Personal Care Home is in compliance with the supplemental regulations for Personal Care Homes (4-6) [Sec. 46-1185. - Personal care homes].

**Sec. 46-1185. - Personal care homes**

**(a) Personal care homes, general requirements.**

- (1) Each personal care home must obtain all licenses and/or permits required by the state in order to operate. Each personal care home licensed and/or permitted by the state must display its state-issued licenses and/or permits in plain view, visible from the front doorway of the facility.**

The applicant's letter of intent states that they will comply with all required state and county requirements for Personal Care Homes and that the state-issued license and/or permit will be displayed at the front doorway once obtained.

- (2) No personal care home may display any exterior signage that violates the sign ordinance in chapter 34 or the sign provisions in the zoning regulations for the underlying zoning district where the personal care home is located.**

The applicant has stated they will be in compliance and are not proposing to post any signs.

- (3) Personal care homes may apply for an FHA Accommodation Variance as provided for in section 46-1639.**

The application has not stated that there is a need for an FHA Accommodation Variance.

**(b) Personal care home, group (four to six persons).**

- (1) Two copies of complete architectural plans for the subject group personal care home, signed or sealed by a registered architect, shall be submitted to the community development director prior to issuance of a building permit or business license.**

The applicant is aware that two copies of architectural plans signed and sealed by a registered architect will be required prior to issuance of a building permit or occupational tax certificate.

- (2) Each group personal care home must provide at least four parking spaces within a driveway, garage or carport and must comply with any applicable requirements in article VI of this chapter.**

The applicant states that at least four (4) parking spaces will be provided on the property, and that the existing gravel parking area will be replaced with marked pavement.

- (4) In order to prevent institutionalizing residential neighborhoods, no group personal care home located in the "...R-75..." zoning district may be operated within 1,000 feet of any other group personal care home. The 1,000-foot distance requirement is measured by a straight line which is the shortest distance (i.e., "as the crow flies") between the property lines of the two tracts of land on which the group personal care homes are located.**

There is another Personal Care Home (PCH) located approximately 3,400 feet northwest of the proposed PCH at 5002 Chamblee Tucker Road. The State of Georgia Department of Community Health Lists Vision Senior Care, located at 5002 Chamblee Tucker Road, as having a licensed capacity of five.

- 18. Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.**

The proposed use will not produce an adverse shadow effect. No changes are being proposed to the existing structure regarding increasing the footprint or height of the building.

- 19. Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area.**

The supplemental regulations pertaining to Personal Care Homes (4-6) require that PCHs shall be located at a minimum of 1,000 feet from another PCH. There are no other PCHs located within 1,000 feet of the proposed location.

- 20. Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.**

**Downtown Character Area.** The proposal is consistent with the intent of the Downtown Character Area strategy to encourage new development and redevelopment that preserves the downtown's special small town qualities and is designed to complement the size and style of Tucker's older buildings. The property will eventually connect to the Tucker PATH, which will have a streetscape design that is pedestrian-oriented with strong, walkable connections between different uses and civic destinations. Finally, the parking is in the rear, which complies with the DT regulations.

Staff will note that the property has been for sale for several years and the redevelopment of the property has been hindered by the lack of sewer in the area. Allowing a small Personal Care

Home will reactive the site while respecting the single-family uses to the north and east. It will also provide a service that is needed in the community.

### **CONCLUSION**

The proposed use complies with the criteria (standards and factors) for special land use permits provided in Section 46-1594 of the City of Tucker Zoning Ordinance. The proposed use also complies with the Supplemental Regulations for Personal Care Homes (Section 46-1185).

Therefore, Staff recommends **APPROVAL WITH CONDITIONS** of the requested special land use permit.

### **Staff Recommendation**

Based upon the findings and conclusions herein, Staff recommends **APPROVAL WITH CONDITIONS** of Land Use Petition **SLUP-24-0001**.

1. The proposed use shall be limited to a group Personal Care Home with no more than six residents, per the floor plan stamped "Received City of Tucker 02/06/2024." The approval of a six resident Personal Care Home is contingent on the construction of two new bathrooms.
2. The Personal Care Home shall comply with all applicable state Personal Care Home requirements including obtaining all licenses and permits required by the State of Georgia and displaying its state-issued licenses and permits in plain view, visible from the front doorway of the facility.
3. A building permit for the modifications to the existing structure and change of occupancy type shall be submitted to the Community Development Department.
4. The Personal Care Home shall maintain an exterior appearance of a single-family home.
5. There shall be no signs located on the subject property advertising the Personal Care Home.
6. The applicant shall plant a mix of evergreen and hardwood trees along the north and east property lines to provide visual screening to the adjacent residential properties.
7. The following items shall be demolished/removed before the Certificate of Occupancy can be issued for the Personal Care Home:
  - a. The small portion of driveway off of Lawrenceville Highway.
  - b. The wire fence near the northern property boundary.
  - c. The gravel parking lot and gravel driveway at the rear of the building.
8. Right-of-way shall be dedicated along Lawrenceville Highway to accommodate future trail construction.

## Planning Commission Recommendation

At the February 15, 2024 public hearing, the Planning Commission recommended **APPROVAL WITH CONDITIONS** of **SLUP-24-0001** subject to the following amended staff conditions: (additions = **bold**; deletions = ~~strikethrough~~).

1. The proposed use shall be limited to a group Personal Care Home with no more than six residents, per the floor plan stamped "Received City of Tucker 02/06/2024." The approval of a six resident Personal Care Home is contingent on the construction of two new bathrooms.
2. The Personal Care Home shall comply with all applicable state Personal Care Home requirements including obtaining all licenses and permits required by the State of Georgia and displaying its state-issued licenses and permits in plain view, visible from the front doorway of the facility.
3. A building permit for the modifications to the existing structure and change of occupancy type shall be submitted to the Community Development Department.
4. The Personal Care Home shall maintain an exterior appearance of a single-family home.
5. There shall be no signs located on the subject property advertising the Personal Care Home.
6. The applicant shall plant a mix of evergreen and hardwood trees along the north and east property lines to provide visual screening to the adjacent residential properties. **The plantings shall avoid conflicts with the new septic lines.**
7. The following items shall be demolished/removed before the Certificate of Occupancy can be issued for the Personal Care Home:
  - a. The small portion of driveway off of Lawrenceville Highway.
  - b. The wire fence near the northern property boundary.
  - c. The gravel parking lot and gravel driveway at the rear of the building.
8. Right-of-way shall be dedicated along Lawrenceville Highway to accommodate future trail construction.



Planning and Zoning  
 1975 Lakeside Parkway, Suite 350  
 Tucker, GA 30084  
 Phone: 678-597-9040  
 Website: www.tuckerga.gov

# Land Use Petition Application

Type of Application:  Rezoning  Comprehensive Plan Amendment  Special Land Use Permit  
 Concurrent Variance  Modification

APPLICANT INFORMATION		
Applicant is the: <input type="checkbox"/> Property Owner <input type="checkbox"/> Owner's Agent <input checked="" type="checkbox"/> Contract Purchaser		
Name: <b>Albert's House Five, LLC</b>		
Address: <b>4525 Candler Lake East</b>		
City: <b>Brookhaven</b>	State: <b>GA</b>	Zip: <b>30319</b>
Contact Name: <b>Duc (Jeremy) Le</b>		
Phone: <b>678.428.1061</b>	Email: <b>jeremy@albertshouseinc.com</b>	
OWNER INFORMATION		
Name: <b>Allegret, Cline, Hicks Joint Venture</b>		
Address: <b>1030 Lake Haynes Dr NE</b>		
City: <b>Conyers</b>	State: <b>GA</b>	Zip: <b>30012</b>
Contact Name: <b>Jon Cline</b>		
Phone:	Email:	
PROPERTY INFORMATION		
Property Address: <b>4372 Lawrenceville Highway</b>		
Present Zoning District(s): <b>DT-1</b>	Requested Zoning District(s): <b>DT-1</b>	
Present Land Use Category: <b>Downtown</b>	Requested Land Use Category: <b>Downtown</b>	
Land District: <b>18</b>	Land Lot(s): <b>225</b>	Acreage: <b>0.85</b>
Proposed Development: <b>Personal Care Home for 6 individuals</b>		
Concurrent Variance(s): <b>NA</b>		
RESIDENTIAL DEVELOPMENT		
No. of Lots/Dwelling Units: <b>1</b>	Dwelling Unit Size (Sq. Ft.): <b>2500</b>	Density: <b>NA</b>
NON-RESIDENTIAL DEVELOPMENT		
No. of Buildings/Lots:	Total Building Sq. Ft.:	Density:

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LAND USE PETITION APPLICATION - REVISED OCTOBER 24, 2022



**APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW STATES UNDER OATH THAT THEY ARE AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 24 MONTHS FROM THE DATE OF LAST ACTION BY THE MAYOR AND CITY COUNCIL.

*[Handwritten Signature]*

Signature of Applicant

11/10/23

Date

Duc Le, CEO

Type or Print Name and Title

*[Handwritten Signature]*

Signature of Notary Public

11/10/23

Date



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**PROPERTY OWNER'S CERTIFICATION**

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of DeKalb County, Georgia, of the property identified below, which is the subject of the attached Land Use Petition before the City of Tucker, Georgia. As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Rezoning (RZ), Comprehensive Plan Amendment (CA), Special Land Use Permit (SLUP), Modification (M) & Concurrent Variance (CV) in request of the items indicated below.

I, Allegret, Cline, Hicks Joint Venture, authorize, Albert's House Five, LLC,  
(Property Owner) (Applicant)

to file for SLUP, at 4372 Lawrenceville Highway, Tucker, GA 30084  
(RZ, CA, SLUP, M, CV) (Address)

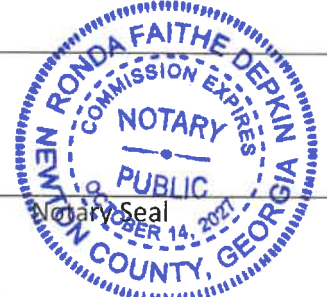
on this date November, 27, 2023  
(Month) (Day)

- I understand that if a rezoning is denied or assigned a zoning classification other than the classification requested in the application, then no portion of the same property may again be considered for rezoning for a period of twenty-four (24) months from the date of the mayor and city councils' final decision.
- I understand that if an application for a special land use permit affecting all or a portion of the same property for which an application for the same special land use was denied shall not be submitted before twenty-four (24) months have passed from the date of final decision by the mayor and city council on the previous special land use permit.
- I understand that failure to supply all required information (per the relevant Applicant Checklists and requirements of the Tucker Zoning Ordinance) will result in REJECTION OF THE APPLICATION.
- I understand that preliminary approval of my design plan does not authorize final approval of my zoning or signage request. I agree to arrange additional permitting separately, after approval is obtained.
- I understand that representation associated with this application on behalf of the property owner, project coordinator, potential property owner, agent or such other representative shall be binding.

Jon W Cline 11/10/23  
Signature of Property Owner Date

Jon W Cline Partner  
Type or Print Name and Title

Ronda Faithe Deph 11/10/23  
Signature of Notary Public Date



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**DISCLOSURE REPORT FORM**

**WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.**

**CIRCLE ONE:**                    **YES** (if YES, complete points 1 through 4);                    **NO** (if NO, complete only point 4)

1.            **CIRCLE ONE:**                    **Party to Petition** (If party to petition, complete sections 2, 3 and 4 below)

**In Opposition to Petition** (If in opposition, proceed to sections 3 and 4 below)

2.            List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition:

1. _____	5. _____
2. _____	6. _____
3. _____	7. _____
4. _____	8. _____


3.            **CAMPAIGN CONTRIBUTIONS:**

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4.            The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

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Name (print)                   Duc Le                  

Signature:                                                         **01/03/2024**                    Date:                   12/12/2023

**DISCLOSURE REPORT FORM**

**WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.**

**CIRCLE ONE:**            **YES** (if YES, complete points 1 through 4);            **(NO)** (if NO, complete only point 4)

1.            **CIRCLE ONE:**            **Party to Petition** (If party to petition, complete sections 2, 3 and 4 below)

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Name (print)    Jon W. Cline

Signature: *Jon W. Cline*    **01/03/2024**    Date: 12/14/23



# **ANALYSIS OF STANDARDS/CRITERIA**

SLUP-24-0001

## **ZONING MAP AMENDMENT CRITERIA**

Section 46-1560 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant to the exercise of the city's zoning powers and shall govern the review of all proposed amendments to the Official Zoning Map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

## **COMPREHENSIVE PLAN MAP AMENDMENT CRITERIA**

Section Sec. 46-1559 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant for evaluating applications for amendments to the comprehensive plan map and shall govern the review of all proposed amendments to the comprehensive plan map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

## **SPECIAL LAND USE PERMIT CRITERIA**

Section 46-1594 and 46-1595 of the City of Tucker Zoning Ordinance lists specific criteria that shall be considered by the planning and zoning department, the planning commission, and the mayor and city council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the mayor and city council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and the application is in compliance with all applicable regulations in Article 4. The applicant shall write a detailed written analysis of criteria as it relates to their proposed project.

## **CONCURRENT VARIANCE CRITERIA**

Section 46-1633 of the City of Tucker Zoning Ordinance lists specific criteria the board shall use in determining whether or not to grant a variance. The applicant shall provide a written analysis of how the request complies with this criteria, if they are requesting a concurrent variance. SLUP-24-0001

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**ENVIRONMENTAL SITE ANALYSIS FORM**

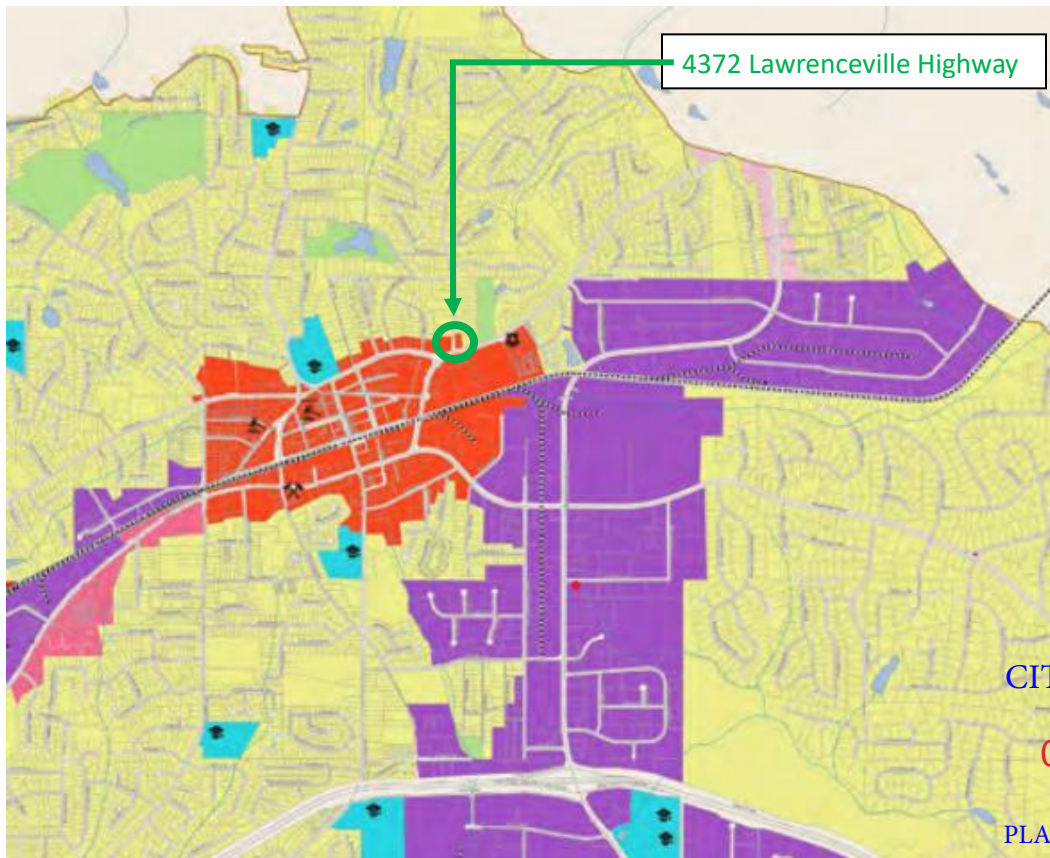
Analyze the impact of the proposed rezoning and provide a written point-by-point response to Points 1 through 3:

**1. CONFORMANCE WITH THE COMPREHENSIVE PLAN.** Describe the proposed project and the existing environmental conditions on the site. Describe adjacent properties. Include a site plan that depicts the proposed project.

Describe how the project conforms to the Comprehensive Land Use Plan. Include the portion of the Comprehensive Plan Land Use Map which supports the project’s conformity to the Plan. Evaluate the proposed project with respect to the land use suggestion of the Comprehensive Plan as well as any pertinent Plan policies.

The Applicant proposes to renovate an existing home into a personal care home for up to six (6) people. The Subject Property is at the intersection of Lawrenceville Highway and Old Norcross Rd. No trees or other environmental assets will be affected by the renovation. Adjacent properties along Lawrenceville Highway are residential. Other surrounding properties are commercial in nature.

The proposed project conforms to the Comprehensive Plan. The Subject Property has a future land use of Downtown, which is meant to include housing options walkable to downtown and increase density. The Subject Property is zoned Residential, and the proposed use is no change to the zoning. The proposed project seeks to allow for a special kind of residential use that allows elderly citizens to seek care in a home environment. The Subject Property’s future land use designation is circled in green on the map below.



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**2. ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT.** For each environmental site feature listed below, indicate the presence or absence of that feature on the property. Describe how the proposed project may encroach or adversely affect an environmental site feature. Information on environmental site features may be obtained from the indicated source(s).

a. Wetlands

- U. S. Fish and Wildlife Service, National Wetlands Inventory (<http://wetlands.fws.gov/downloads.htm>)
- Georgia Geologic Survey (404-656-3214)
- Field observation and subsequent wetlands delineation/survey if applicable

None Present

b. Floodplain

- Federal Emergency Management Agency (<http://www.fema.org>)
- Field observation and verification

None Present

c. Streams/stream buffers

- Field observation and verification

None Present

d. Slopes exceeding 25 percent over a 10-foot rise in elevation

- United States Geologic Survey Topographic Quadrangle Map
- Field observation and verification

None Present

e. Vegetation

- United States Department of Agriculture, Nature Resource Conservation Service
- Field observation

None Present

f. Wildlife Species (including fish)

- United States Fish and Wildlife Service
- Georgia Department of Natural Services, Wildlife Resources Division, Natural Heritage Program
- Field observation

None Present

g. Archeological/Historical Sites

- Historic Resources Survey
- Georgia Department of Natural Resources, Historic Preservation Division
- Field observation and verification

None Present

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**ENVIRONMENTAL SITE ANALYSIS FORM (CONTINUED)**

**3. PROJECT IMPLEMENTATION MEASURES.** Describe how the project implements each of the measures listed below as applicable. Indicate specific implementation measures required to protect environmental site feature(s) that may be impacted.

**a. Protection of environmentally sensitive areas, i.e., floodplain, slopes exceeding 25 percent, river corridors.**

There are no records shown of existing flood plains or streams that would impact the requested use of the project site.

**b. Protection of water quality**

The proposed use will not impact water quality.

**c. Minimization of negative impacts on existing infrastructure**

The proposed use will have minimal impact on existing infrastructure.

**d. Minimization on archeological/historically significant areas**

There are no records of any significant areas of historic value found on the property.

**e. Minimization of negative impacts on environmentally stressed communities where environmentally stressed communities are defined as communities exposed to a minimum of two environmentally adverse conditions resulting from public and private municipal (e.g., solid waste and wastewater treatment facilities, utilities, airports, and railroads) and industrial (e.g., landfills, quarries and manufacturing facilities) uses.**

There is no evidence of negative impacts as described above. There are no adverse conditions to the site that will be caused by the proposed use. All waste, water, and fire needs will be subject to City/County requirements for home-based occupation.

**f. Creation and preservation of green space and open space.**

No open space or green space will be impacted by the requested use.

**g. Protection of citizens from the negative impacts of noise and lighting**

The proposed use will not create additional light or noise. The use is to remain residential.

**h. Protection of parks and recreational green space.**

The proposed use will have no impact on recreational use or parks.

**i. Minimization of impacts to wildlife habitats**

There is no impact to wildlife habitats.

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01/03/2024

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DEPARTMENT

December 18, 2023

**City of Tucker**  
**City Hall**  
**1975 Lakeside Parkway**  
**Suite 350A**  
**Tucker, GA 30084**

**RE: LETTER OF INTENT**

Albert’s House Five, LLC (the “Applicant”) is requesting a special land use permit for an assisted living home for up to six (6) people within the DT-1 zoning district on 0.85 +/- acres of land. The subject property is located at 4372 Lawrenceville Highway, Tucker, Ga. The Subject Property has been used as a residential dwelling and business office. The Applicant is not seeking to change zoning or impact the future use of the site. The Applicant’s desire to increase the number of residents within the dwelling are in line with the Downtown district agenda of increasing density. The residence is located along the proposed trail routes and near the Tucker Nature Preserve – providing accessible pathways for elderly residents.

**Review of Sec.46-1594 – Special Land Use Permit Criteria**

The following criteria shall be considered by the Planning and Zoning Department, the Planning Commission, and the Mayor and City Council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the Mayor and City Council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and the application is in compliance with all applicable regulations in article IV of this chapter:

**1. Adequacy of the size of the site for the use contemplated and whether adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located;**

The proposed request is adequate given the building size will not be increased and the renovations for the property will be mostly interior with improvements to the front porch. There is no evidence of increased infrastructure needs.

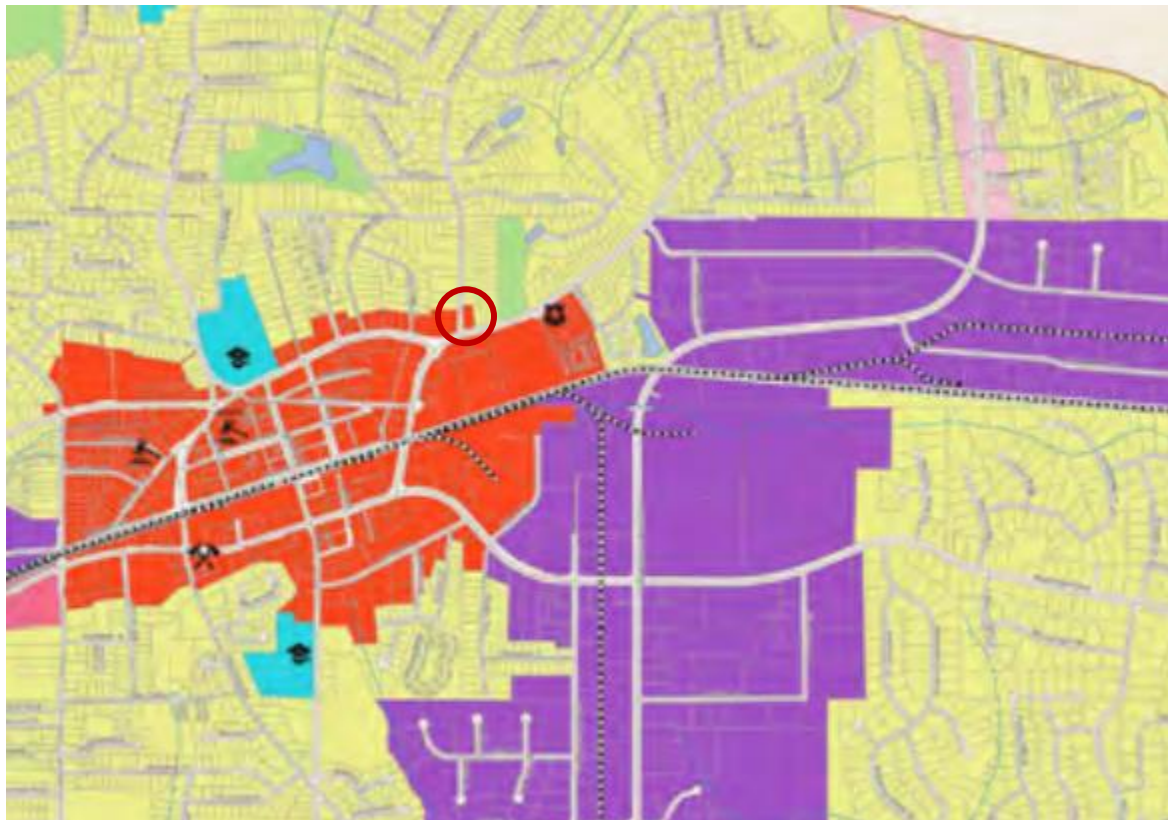
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678.319.0091

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DEPARTMENT

**2. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district;**

The proposed use is compatible with the City of Tucker's future planning given that the existing zoning (Downtown) would remain the same (See image of Future Land Use Map below), and the use would better align with the Comprehensive Plan. Recognizing the city's goal within the Comprehensive Plan to foster a vibrant and inclusive community, a personal care home aligns with the objective of providing a diverse range of housing options to support a variety of residents. By introducing a personal care home to the downtown landscape, we contribute to the city's commitment to inclusivity, as it caters to the specific needs of individuals requiring specialized care and housing. This endeavor not only enhances the overall housing options available but also promotes a more compassionate and comprehensive community that reflects the city's dedication to meeting the diverse needs of its residents.



**3. Adequacy of public services, public facilities, and utilities to serve the proposed use;**

The Subject Property already has access to the public services and facilities needed for the proposed use.

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**4. Adequacy of the public street on which the use is proposed to be located and whether or not there is insufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area;**

The proposed use will not significantly impact internal traffic on Lawrenceville Highway. The existing Driveway shall include adequate parking spaces for any regular function for a single family dwelling. See the attached trip generation report for more details.

**5. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use;**

The trip generation report indicates the proposed use will generate minimal traffic. Only passenger vehicles, similar to those the surrounding property owners drive, will travel to and from the home.

**6. Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency;**

There is adequate ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon. The proposal does not change or revise existing ingress/egress.

**7. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use;**

There are no impacts to adjoining land by the proposed use.

**8. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use;**

All services are conducted inside of the residence and will not impact the adjacent properties with use of a personal care home.

**9. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use;**

All services are conducted inside of the residence. There is no impact to adjacent properties. The staff and support personnel will enter and leave the property twice a day, parking in the proposed paved area on site. They would only enter and exit from the curb cut on Old Norcross (not Lawrenceville Highway).

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**10. Whether or not the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located;**

The proposed use is consistent with zoning requirements and seeks to comply with future use of DT-1.

**11. Whether or not the proposed use is consistent with the policies of the comprehensive plan;**

The proposed use aligns with the existing zoning and the City’s Comprehensive Plan because it preserves the character of the community by keeping the property residential in use and scale, providing increased housing options, and proactively increasing density in the Downtown district.

**12. Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located;**

The proposed use is the same as the existing use – no buffer impact.

**13. Whether or not there is adequate provision of refuse and service areas;**

Regular trash services are currently provided for the community and property.

**14. Whether the length of time for which the special land use permit is granted should be limited in duration;**

The length of time for which the special land use permit is granted should not be limited in duration for the function and operation of a personal care home to remain uninterrupted.

**15. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings;**

There is no proposed increase in the size of the building or lot.

**16. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources;**

There are no records or indications of any historic, archaeological resources found on the property or near adjacent lots.

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**17. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit;**

The proposed personal care home complies with the city’s ordinance as currently zoned. The Applicant has all licenses and/or permits required by the State of Georgia to operate. The Applicant will display its state-issued licenses and/or permits in plain view, visible from the front doorway of the facility. However, the Applicant will not display signage in violation of Chapter 34 of the City of Tucker Code of Ordinances. The Applicant shall provide at least four (4) parking spaces on the Subject Property. The driveway alone is spacious enough to provide the parking required. The Applicant will not begin business within one-thousand (1,000) feet of another personal care home. The Applicant acknowledges and will comply with Special Regulations including Sec. 46-1185 that requires the submission of two complete architectural plans prior to Building Permit issuance.

**18. Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height;**

The height of the dwelling will not be increased with renovations.

**19. Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area;**

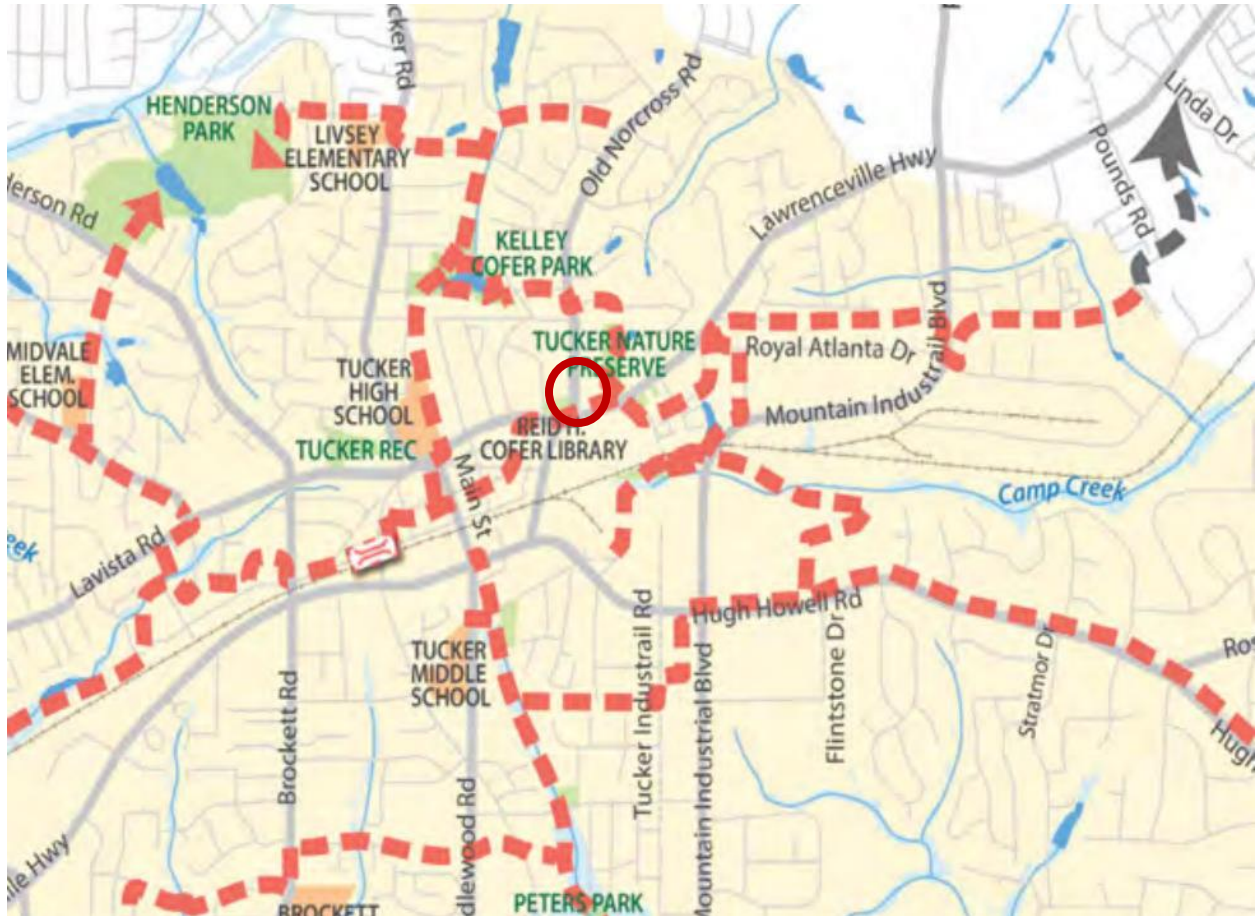
Home-based business and services are allowed within residential zoned dwellings and a personal care home would not create a disproportionate proliferation of services.

**20. Whether the proposed use would be consistent with the needs of the neighborhood or the community’s a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan;**

The proposed use is consistent with the needs of the neighborhood and the community as whole, aligning with the zoning in the future use plan. Providing personal care home services for the City of Tucker and the county meets the demands of the aging population and allows seniors to remain in their local community. Further, the site is located along the proposed trail route (see image below) in the 2023 Comprehensive Plan Report Update, and improvements to the dwelling, site, and landscape will prove a betterment for the community using the future trails.

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4372 Lawrenceville Highway, Tucker, GA

LEGAL DESCRIPTION:

All that tract or parcel of land lying and being in Land Lot 225 of the 18<sup>th</sup> District, City of Tucker, Dekalb County, Georgia and being more particularly described as follows:

BEGINNING at a capped rebar at a mitered corner, at the northeast intersection of the northerly right-of-way line of Lawrenceville Highway (90' r/w) and easterly right-of-way line Old Norcross Road (r/w varies); thence continuing along the right-of-way line and running N43°27'20"W a distance of 38.04 feet to a capped rebar at the northeast side of the mitered intersection on the right-of-way line of Old Norcross Road; thence continuing along said right-of-way line and running N00°24'45"E a distance of 64.43 feet to a point; running thence N01°10'35"E a distance of 181.81 feet to a capped rebar set; thence leaving said right-of-way line of N78°01'38"E a distance of 127.50 feet to a capped rebar set; running thence S05°00'27"E a distance of 280.93 feet to a capped rebar set on the northerly right-of-way line of Lawrenceville Highway; thence following said right-of-way line and running S80°56'10"W a distance of 79.32 feet to a point; running thence S81°25'07"W a distance of 22.30 feet to a point; running thence S80°19'37"W a distance of 27.29 feet to a the POINT OF BEGINNING

Said tract or parcel of land contains 0.860 acres of land.

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**LEGAL DESCRIPTION**

Land Lot 225 of Land District 18 within the land use category of Downtown zoned as DT-1 is 0.86 acres at the Northeast corner of Old Norcross Rd and Lawrenceville Highway in tucker, GA. The property extents and bounds are identified in land survey conducted by SCI Development Services, enclosed herein.



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DEPARTMENT

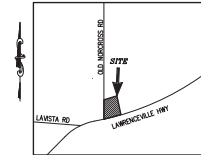
Existing Site Conditions



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- LEGEND**
- RBF REBAR FOUND (1/2" REBAR)
  - CRS LAPPED REBAR SET (1/2" REBAR)
  - OTF OPEN TOP FOUND
  - CTF CRAMP TOP FOUND
  - ⊙ JUNCTION BOX
  - ULL LAND LOT LINE
  - ⊙ LIGHT POLE
  - MH MANHOLE
  - PROPERTY LINE
  - BL BUILDING LINE
  - CLT CHAIN LINK FENCE
  - C/O SEWER CLEAN OUT
  - DE DRAINAGE EASEMENT
  - II DROP INLET
  - RBF REBAR FOUND
  - R/W RIGHT-OF-WAY
  - SS SANITARY SEWER EASEMENT
  - CRZ CRITICAL ROOT ZONE
  - UE UTILITY EASEMENT
  - ⊙ FIRE HYDRANT
  - SINGLE WING CATCHBASIN
  - DOUBLE WING CATCHBASIN
  - WATER VALVE
  - GAS VALVE
  - HEADWALL



VICINITY MAP nte

**GENERAL NOTES**

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE BY LATITUDES AND DEPARTURES AND IS FOUND ACCURATE TO WITHIN ONE FOOT IN 222,456 FEET.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000 FEET AND AN ANGULAR ERROR OF 0.05" PER ANGLE POINT AND WAS ADJUSTED USING COMINGS RULE.

A MONUMENT TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE OR STRUCTURE.

CERTIFICATION IS MADE TO PERSON(S) NAMED ON THIS PLAT AND IS NOT TRANSFERABLE TO OTHERS.

UTILITIES SHOWN ARE LOCATIONS OF GROUND IDENTIFIABLE ITEMS. ADDITIONAL UTILITIES MAY EXIST ABOVE OR BELOW GROUND. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR THE COMPLETENESS OF THIS DATA.

THIS PROPERTY IS SUBJECT TO ALL RIGHT OF WAY AND EASEMENTS SHOWN OR NOT SHOWN, RECORDED OR UNRECORDED.

TOPOGRAPHY SHOWN WAS TAKEN FROM DEKALB COUNTY GIS.

**FLOOD NOTE**

BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE WITHIN A FEMA/FIRM SPECIAL FLOOD HAZARDOUS AREA PER COMMUNITY PANEL NO. 130800077L DATED 6/15/19.

**ZONING DT-1**

DOWNTOWN NEIGHBORHOOD  
 MIN LOT AREA: 6,000 SF  
 MIN LOT FRONTAGE: 50'

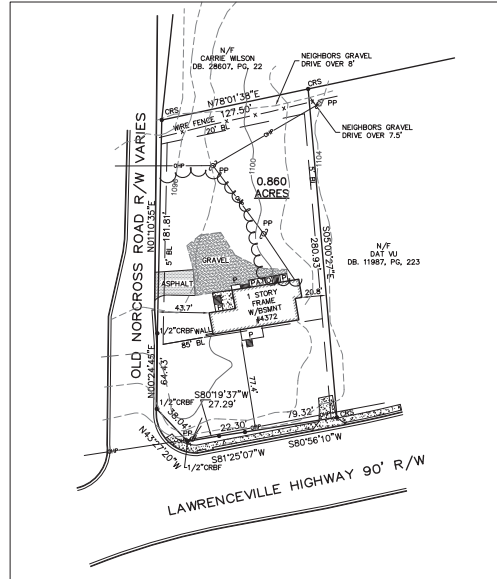
SETBACKS:  
 FRONT-SETBACK AVENUE SIDE-5 FEET  
 REAR-ON FEET

NOTE: FRONT SETBACK AVERAGE IS 85% VIA GS TO BE FIELD VERIFIED

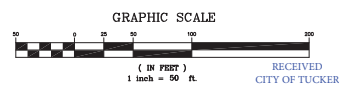
MAXIMUM COVERAGE: 30%

EXISTING LOT COVERAGE:  
 HOUSE-2,288 SF  
 FRONT PORCH/STEPS-203 SF  
 REAR PORCH/STEPS-217 SF  
 PATIOS-312 SF  
 DRIVE-511-285 SF  
 ASPHALT-842 SF  
 GRAVEL DRIVE-2714 SF  
 TOTAL-6,132 SF

6,132/38774=15.81%



EXISTING CONDITIONS



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SLUP-24-0001



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

REVISIONS	
1	
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**SCI Development Services**  
 ENGINEERS - SURVEYORS - PLANNERS  
 2020 WESTSIDE COURT - SUITE E - SNELLVILLE, GEORGIA 30078  
 (770) 738-7868 MAIL@SCIENGINEERS.COM

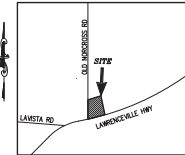
EXISTING CONDITIONS  
**ALBERTS HOUSE FIVE, LLC**  
 4872 LAWRENCEVILLE HIGHWAY  
 LAND LOT 295 18th DISTRICT  
 CITY OF TUCKER  
 DEKALB COUNTY, GEORGIA REC. IN DB. 24894, PG. 287

DATE: 12/9/23 DRAWN: JAC DIGNED: JAC  
 SCALE: 1"=50'  
 SHEET NO. 1  
**SLUP APPLICATION**

PROJECT NUMBER: 56246  
 1



- LEGEND**
- RFB REBAR FOUND (1/2" REBAR)
  - CRS CASTED REBAR SET (1/2" REBAR)
  - OTF OPEN TOP FOUND
  - CIF CRIMP TOP FOUND
  - ⊙ JUNCTION BOX
  - ULL LAND LOT LINE
  - LIGHT POLE
  - MH MANHOLE
  - PROPERTY LINE
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  - CLT CHAIN LINK FENCE
  - C/O SEWER CLEAN OUT
  - DE DRAINAGE EASEMENT
  - II DROP INLET
  - RFB REBAR FOUND
  - R/W RIGHT-OF-WAY
  - SE SANITARY SEWER EASEMENT
  - CRZ CRITICAL ROOT ZONE
  - UE UTILITY EASEMENT
  - FW FIRE HYDRANT
  - SW SINGLE WING CATCHBASIN
  - DW DOUBLE WING CATCHBASIN
  - WV WATER VALVE
  - GV GAS VALVE
  - HW HEADWALL



VICINITY MAP nte

**GENERAL NOTES**

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TOPOGRAPHY SHOWN WAS TAKEN FROM DEKALB COUNTY GIS

**FLOOD NOTE**

BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE WITHIN A FEMA/FIRM SPECIAL FLOOD HAZARDOUS AREA PER COMMUNITY PANEL NO. 130800077L DATED 6/15/19.

**ZONING DT-1**

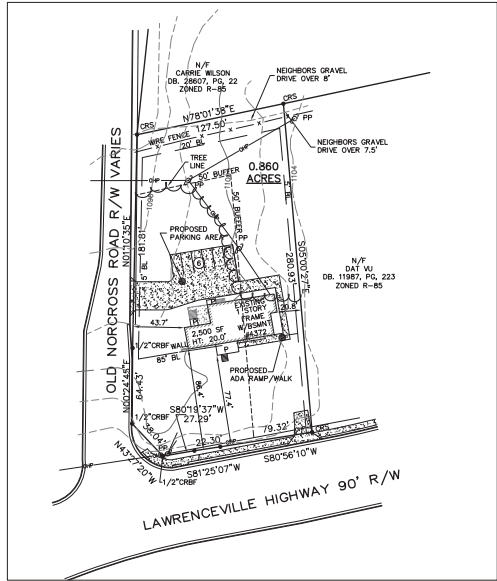
DOWNTOWN NEIGHBORHOOD  
 MIN LOT AREA-1500 SF  
 MIN LOT FRONTAGE- 50'

SETBACKS:  
 FRONT-SETBACK AVENUE SIDE-5 FEET  
 REAR-00 FEET

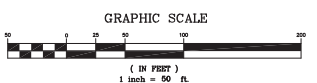
NOTE: FRONT SETBACK AVERAGE IS 85% VIA GIS TO BE FIELD VERIFIED

MAXIMUM COVERAGE: 30%

EXISTING LOT COVERAGE	
HOUSE-2,288 SF	
FRONT PORCH/STEPS-203 SF	
PATIOS-312 SF	
DRIVE CUT-256 SF	
ASPHALT-642 SF	
SEWEL/DRIVE-2214 SF	
TOTAL-6,132 SF	
6,132/38774=15.81%	
PROPOSED LOT COVERAGE	
HOUSE-2,288 SF	
FRONT PORCH/STEPS-203 SF	
REAR PORCH/STEPS-135 SF	
PATIOS-189 SF	
DRIVE CUT-256 SF	
PROPOSED WALK-815 SF	
PROPOSED DRIVE-3166 SF	
TOTAL-7,052 SF	
7052/38774=18.18%	
**ADDITION OF 920 SF IMPERVIOUS**	



PROPOSED SITE PLAN



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SLUP-24-0001



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

REVISIONS

NO.	DATE	DESCRIPTION
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5		

**SCI Development Services**  
 ENGINEERS - SURVEYORS - PLANNERS  
 2020 WESTSIDE COURT - SUITE E - SNELLVILLE, GEORGIA 30078  
 (770) 758-7868 FAX (770) 758-4625  
 MAIL@SCIENGINEERS.COM

**PROPOSED SITE PLAN**  
**ALBERTS HOUSE FIVE, LLC**  
 4572 LAWRENCEVILLE HIGHWAY  
 LAND LOT 295 18th DISTRICT  
 CITY OF TUCKER  
 DEKALB COUNTY, GEORGIA REC. IN DB. 24894, PG. 287

DATE: 12/9/23  
 DRAWN: JAC  
 CHECKED: JAC  
 SCALE: 1"=50'  
 SHEET NO. 1  
**SLUP APPLICATION**

PROJECT NUMBER  
 56246  
**2**



Structural Engineer:

MEP Engineer:

Civil Engineer:

Seal:

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CLIENT  
**ALBERT'S HOUSE**  
4372 LAWRENCEVILLE HWY, TUCKER, GA 30084

**Revisions**

No.	Issue	Date

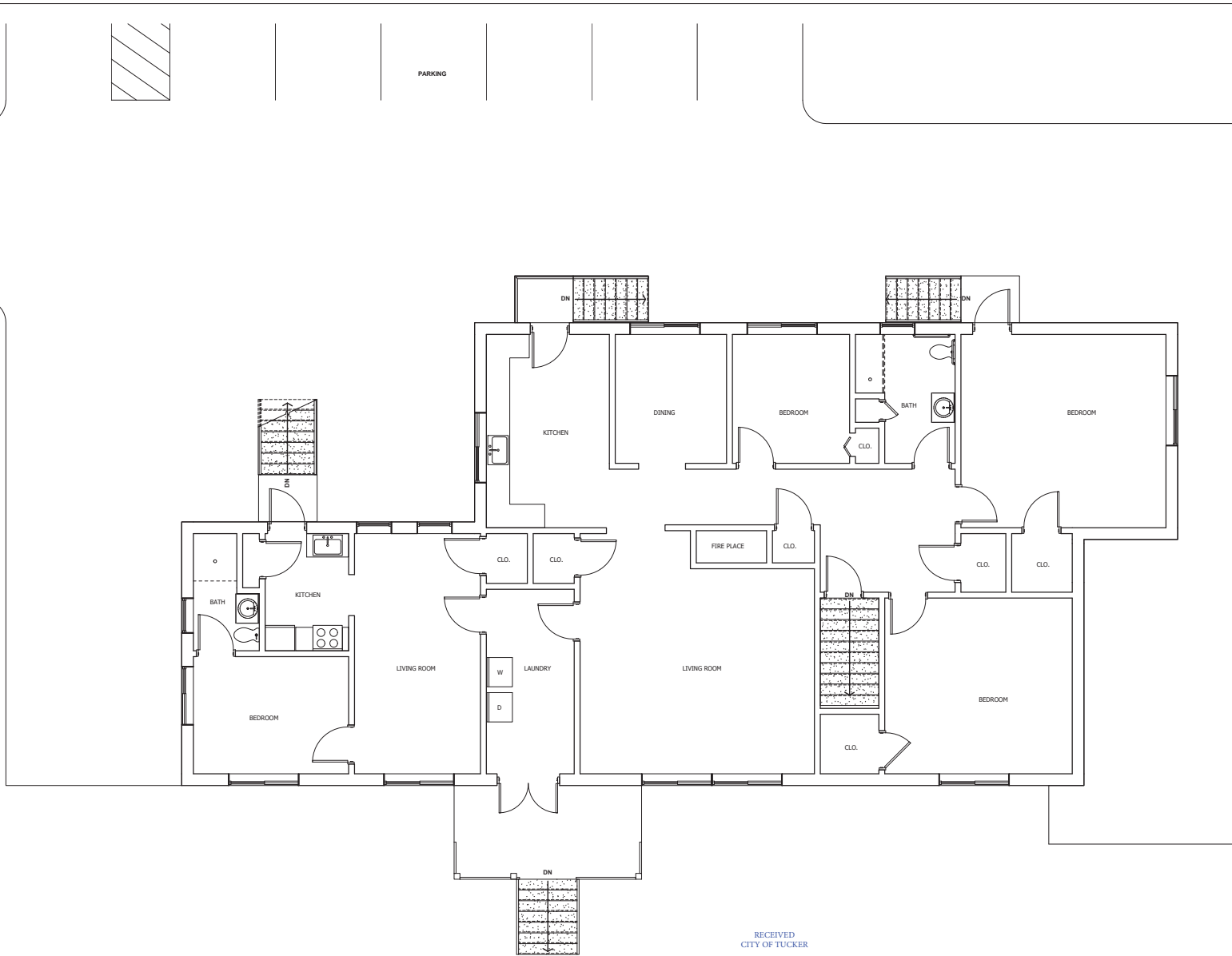
**Sheet Information**

Date:	2/13/2024
Job Number:	23136.00
Scale:	AS INDICATED
Drawn:	Author
Checked:	Checker
Approved:	Approver

**Title:**  
EXISTING  
FLOORPLAN

**Sheet:**  
**A000**

NOT ISSUED FOR CONSTRUCTION



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PLANNING & ZONING DEPARTMENT SLUP-24-0001

**K1 1st FLOOR PLAN - EXISTING**

A000 1/4" = 1'-0"

Structural Engineer: .....

MEP Engineer: .....

Civil Engineer: .....

Seal: .....

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**ALBERT'S HOUSE**  
4372 LAWRENCEVILLE HWY, TUCKER, GA 30084

**Revisions**

No.	Issue	Date

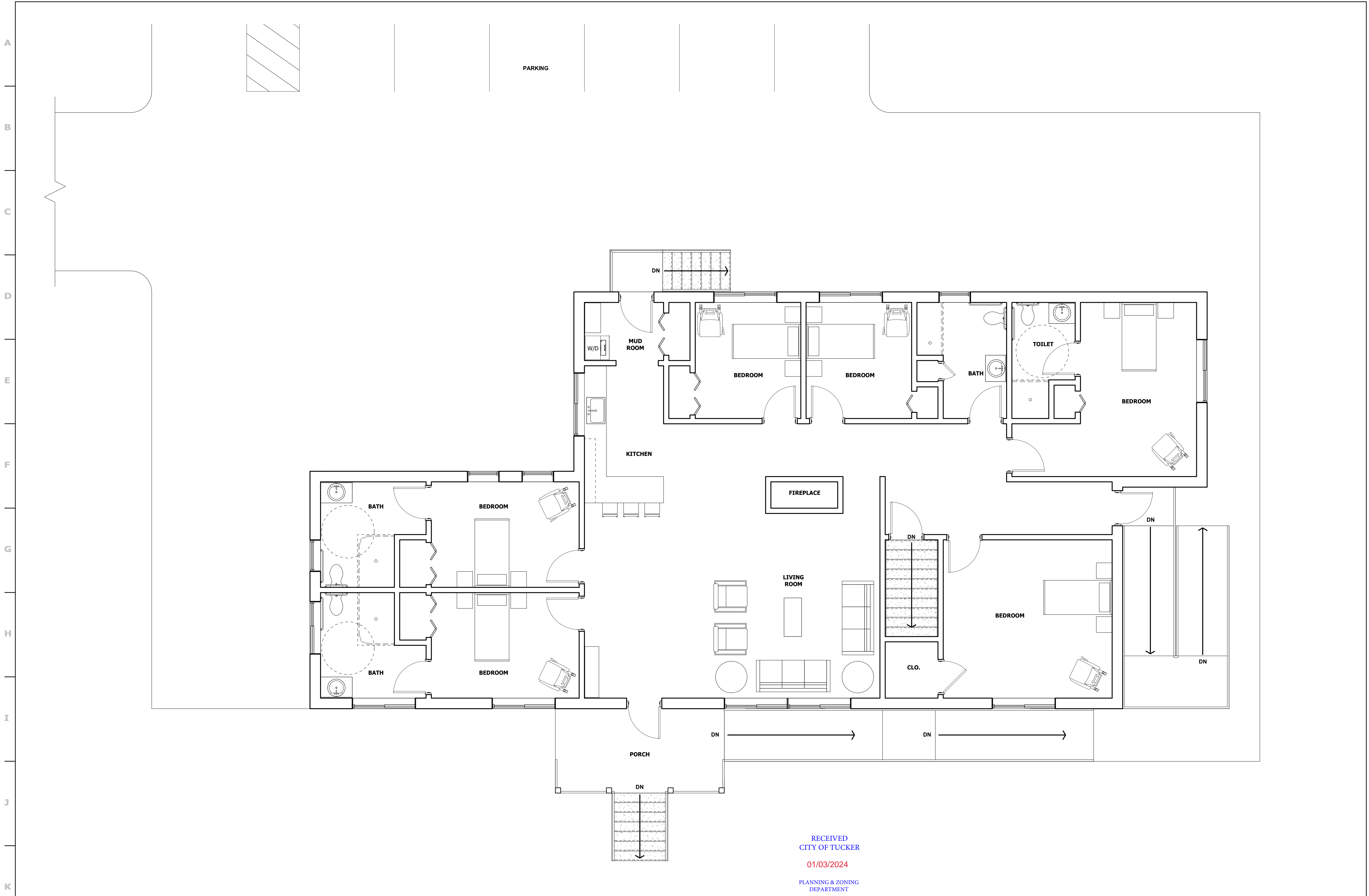
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Date	
Job Number	23136.00
Scale	AS INDICATED
Drawn	Author
Checked	Checker
Approved	Approver

**Title:**  
FLOOR PLAN -  
LAYOUT

**Sheet:**  
**A101**

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SLUP-24-0001

**K1 1st FLOOR PLAN - PROPOSED**

A101 1/4" = 1'-0"

Structural Engineer: . . . . .

MEP Engineer: . . . . .

Civil Engineer: . . . . .

Seal: \_\_\_\_\_

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CLIENT  
**ALBERT'S HOUSE**  
4372 LAWRENCEVILLE HWY, TUCKER, GA 30084

Revisions		
No.	Issue	Date

Sheet Information	
Date	
Job Number	23136.00
Scale	AS INDICATED
Drawn	Author
Checked	Checker
Approved	Approver

**Title:**  
SITE PLAN

**Sheet:**  
**AS001**

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**1** PROPOSED RENDERED SITE PLAN

AS001	NOT TO SCALE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
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Print Stamp: 1/21/2023 9:04:21 AM



# Septic Tank Sizing Requirements

---

**To:** Jeremy Le  
**Subject:** RE: RE: 4372 Lawrenceville Highway

----- Forwarded message -----  
From: "Gaines, Alan" <[Alan.Gaines@dph.ga.gov](mailto:Alan.Gaines@dph.ga.gov)>  
Date: Wednesday, October 18 2023 at 11:48 AM EDT  
Subject: RE: 4372 Lawrenceville Highway  
To: Jeremy Le <[jeremy@albertshouseinc.com](mailto:jeremy@albertshouseinc.com)>

Hi,

I have done some calculations regarding the size of septic system required for a personal care home. This is based on the Level III soil analysis submitted to this office.

Here are my findings.

- 6 beds            2000-gallon septic tank with 325 feet of field lines.
- 8 beds            2000- & 1000-gallon septic tanks in series with 450 feet of field lines.
- 12 beds           2000- & 1000-gallon septic tanks in series with 620 feet of field lines.

An engineered site plan would be required to consider these options. I have attached a check list.

Alan Gaines  
Environmental Health Deputy Director  
DeKalb County Board of Health  
445 Winn Way Box 987  
Suite 320  
Decatur, GA 30031  
O. 494-508-7934  
C. 678-283-0173

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**Memorandum**

To: Stegenga + PARTNERS  
 From: Abdul Amer, PE  
 Date: November 27<sup>th</sup>, 2023  
 Subject: Trip Generation Memorandum for proposed Personal Care Home at 4372 Lawrenceville Highway in Tucker, Georgia | A&R 23-214

The purpose of this memorandum is to estimate the trip generation that will result from the proposed personal care home that will be located at 4372 Lawrenceville Highway in Tucker, Georgia. The personal care home will provide assisted living for up to 6 residents. The location of the proposed site is shown below.



**METHODOLOGY**

Trip generation estimates for the project were based on the rates and equations published in the 11<sup>th</sup> edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual. This reference contains traffic volume count data collected at similar facilities nationwide. The trip generation referenced is based on the ITE land use category 254 – Assisted Living.

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Land Use: 254 – Assisted Living: An assisted living complex is a residential setting that provides either routine general protective oversight or assistance with activities necessary for independent living to persons with mental or physical limitations. The typical resident has difficulty managing in an independent living arrangement but does not require nursing home care. Its centralized services typically include dining, housekeeping, social and physical activities, medication administration, and communal transportation.

The complex commonly provides separate living quarters for each resident. Alzheimer’s and ALS care are commonly offered at an assisted living facility. Living quarters for these patients may be located separately from the other residents. Assisted care commonly bridges the gap between independent living and a nursing home. In some areas of the country, an assisted living residence may be called personal care, residential care, or domiciliary care. Staff may be available at an assisted care facility 24 hours a day, but skilled medical care—which is limited in nature—is not required.

**TRIP GENERATION**

The results of the site-generated traffic analysis for the proposed development are shown in Table 1 below.

TABLE 1 – TRIP GENERATION								
Land Use	Size	AM Peak Hour			PM Peak Hour			24-Hour
		Enter	Exit	Total	Enter	Exit	Total	Total
<b>ITE 254 – Assisted Living</b>	6 Beds/Residents	1	0	1	1	0	1	16

Based on trip generation rates published in the Institute of Transportation Engineers Trip Generation Manual, 11<sup>th</sup> edition, the proposed personal care home will generate approximately 1 new external trip in the AM peak hour, 1 new external trip in the PM peak hour, and 16 new external two-way trips (8 entering/8 exiting) in a 24-hour duration.

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DEPARTMENT

SLUP-24-0001

## LAND USE PETITION CALENDAR

<b>*Application Deadline</b>	<b>Planning Commission</b>	<b>M&amp;CC 1<sup>st</sup> Read</b>	<b>M&amp;CC 2<sup>nd</sup> Read</b>
8/28/2023	10/19/2023	11/13/2023	12/11/2023
9/25/2023	11/16/2023	12/11/2023	TBD
10/23/2023	12/14/2023	TBD	TBD
11/27/2023	TBD	TBD	TBD

***The application deadlines have been adjusted to accommodate HB 1405.***

\*Incomplete applications will not be accepted.

## PUBLIC PARTICIPATION PLAN AND REPORT

See separate document.

## PUBLIC NOTICE REQUIREMENTS

Sec. 46-1526 details the public notice requirements for land use petitions, which include public notice sign(s), advertisement in The Champion newspaper, and written notice to everyone within 500’.

- The applicant is responsible for posting the public notice sign(s). City of Tucker Staff will order the signs(s) and provide the required timeframe for posting.
- The City of Tucker is responsible for placing the legal ad in The Champion newspaper
- The City of Tucker is responsible for mailing the written notification to surrounding property owners.

## PROPERTY COMPLIANCE

All Occupational Tax payments must be paid in-full and any and all outstanding code violations on the property must be rectified prior to the public hearing.

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# City of Tucker

## Public Participation Plan Report

### Project Name:

Albert's House: 4372 Lawrenceville Highway, Tucker, GA

Contact Name: Josh Crews

Meeting Date: Nov 22, 2023

Meeting Location: 4372 Lawrenceville Highway, Tucker, GA

Meeting Start Time: 9:00

Meeting End Time: 9:30

Number of people in attendance: 2

Date of Filing of Land Use Petition Application: Nov 27, 2023

**General Introduction:** please include information about who you reached out to for the meeting, communication outreach methods (letters, facebook, emails, etc), what you were proposing at the time of the neighborhood meeting, the meeting format (ppt, q&a, display boards, etc), and who attended the meeting on behalf of the applicant (engineers, attorney, developer, property owner, etc). Additional information that you feel is important to include is welcomed.

**Summary of concerns and issues raised at the meeting:** (please list and respond to each one individually; include as many items that were discussed).

1. List question/concern/comment/request for changes to the proposed plans

Applicant Response: None received

2. List question/concern/comment/request for changes to the proposed plans

Applicant Response: None Received

The following must be submitted at time of application submittal:

- Copy of the letter that was mailed to neighbors
- Copy of address list for mailing

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CITY OF TUCKER

01/03/2024

PLANNING & ZONING  
DEPARTMENT

SLUP-24-0001

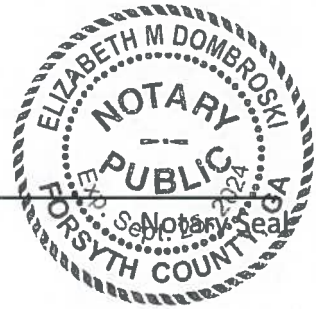
- o Meeting sign-in sheet
- o Meeting minutes
- o Copy of the plan that was presented at the neighborhood meeting

I, the undersigned, as the applicant or an authorized representative of the applicant do solemnly swear and attest that the information provided is true and accurate. I have included a complete record of the neighborhood meeting, as well as an honest response regarding the intentions for development.

 11/27/2023  
 Signature of Applicant or Authorized Representative Date

JOSHUA CREWS 11/27/2023  
 Type or Print Name of Applicant or Authorized Representative Date

 11/27/23  
 Signature of Notary Date



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PLANNING & ZONING  
 DEPARTMENT

SLUP-24-0001

Nov 7, 2023

Dear Neighbors of 4372 Lawrenceville Highway,

Albert's House Five, LLC is interested in developing a personal care home for seniors. This request requires a SLUP because it is a residential area.

We provide an alternative option for full-service elder care.

Designed with a focus on meeting the specific needs of individuals with dementia and/or high levels of care, our homes are self-sustaining units in private, residential settings. Our comprehensive holistic approach to individual care is a mindful shift from the one-size-fits-all model.

The first step in the process is to hold a Public Participation (neighborhood) meeting with the community to discuss our proposal with you and receive feedback. This meeting is required before we can submit our application for a

SLUP to the city. You are receiving this letter as you own property within 500' of our project. We hope you will be able to meet with us at the following time:

Meeting Time/Date: November 22, 2023 at 9:00AM – 9:30AM

Meeting Location: 4372 Lawrenceville Highway, Tucker, GA

We've included a site plan of our current proposal which we look forward to discussing with you and getting feedback on Nov 22. If you are unable to attend or wish to reach out beforehand, we can be reached at [jdc@snp-studio.com](mailto:jdc@snp-studio.com) or 678.319.0091.

A flyer outlining the land use petition process in the city of Tucker is also included. Questions relating to city matters can be addressed to [info@tuckerga.gov](mailto:info@tuckerga.gov).

Sincerely,

Albert's House Five, LLC c/o Stegenga + PARTNERS, PC

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**01/03/2024**

**PLANNING & ZONING  
DEPARTMENT**

Architecture

Interior Design

## ALBERTS HOUSE MAILING LIST

Applebee's Grill and Bar  
4353 Lawrenceville Highway  
Tucker, GA 30084

Verizon  
4373 Lawrenceville Highway  
Tucker, GA 30084

Tucker-Reid H. Cofer Library  
DeKalb County Public Library  
5234 Lavista Road  
Tucker, GA 30084

Current Resident  
2472 Old Norcross Road  
Tucker, GA 30084

Current Resident  
2492 Old Norcross Road  
Tucker, GA 30084

Current Resident  
2493 Old Norcross Road  
Tucker, GA 30084

Current Resident  
2485 Old Norcross Road  
Tucker, GA 30084

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01/03/2024



# Stegenga + PARTNERS

## Architecture

## Interior Design

Current Resident  
2479 Old Norcross Road  
Tucker, GA 30084

Current Resident  
2473 Old Norcross Road  
Tucker, GA 30084

Current Resident  
4380 Lawrenceville Highway  
Tucker, GA 30084

Current Resident  
4388 Lawrenceville Highway  
Tucker, GA 30084

Current Resident  
4396 Lawrenceville Highway  
Tucker, GA 30084

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01/03/2024

PLANNING & ZONING  
DEPARTMENT

November 22, 2023

**SIGN IN SHEET**

Name	Address	Contact Info
Joshua Crews	260 North Point Pkwy, Alpharetta, GA	jdc@snp-studio.com
Heather Fellows	260 North Point Pkwy, Alpharetta, GA	hbf@snp-studio.com

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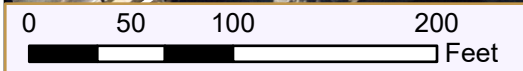
01/03/2024

PLANNING & ZONING  
DEPARTMENT

SLUP-24-0001



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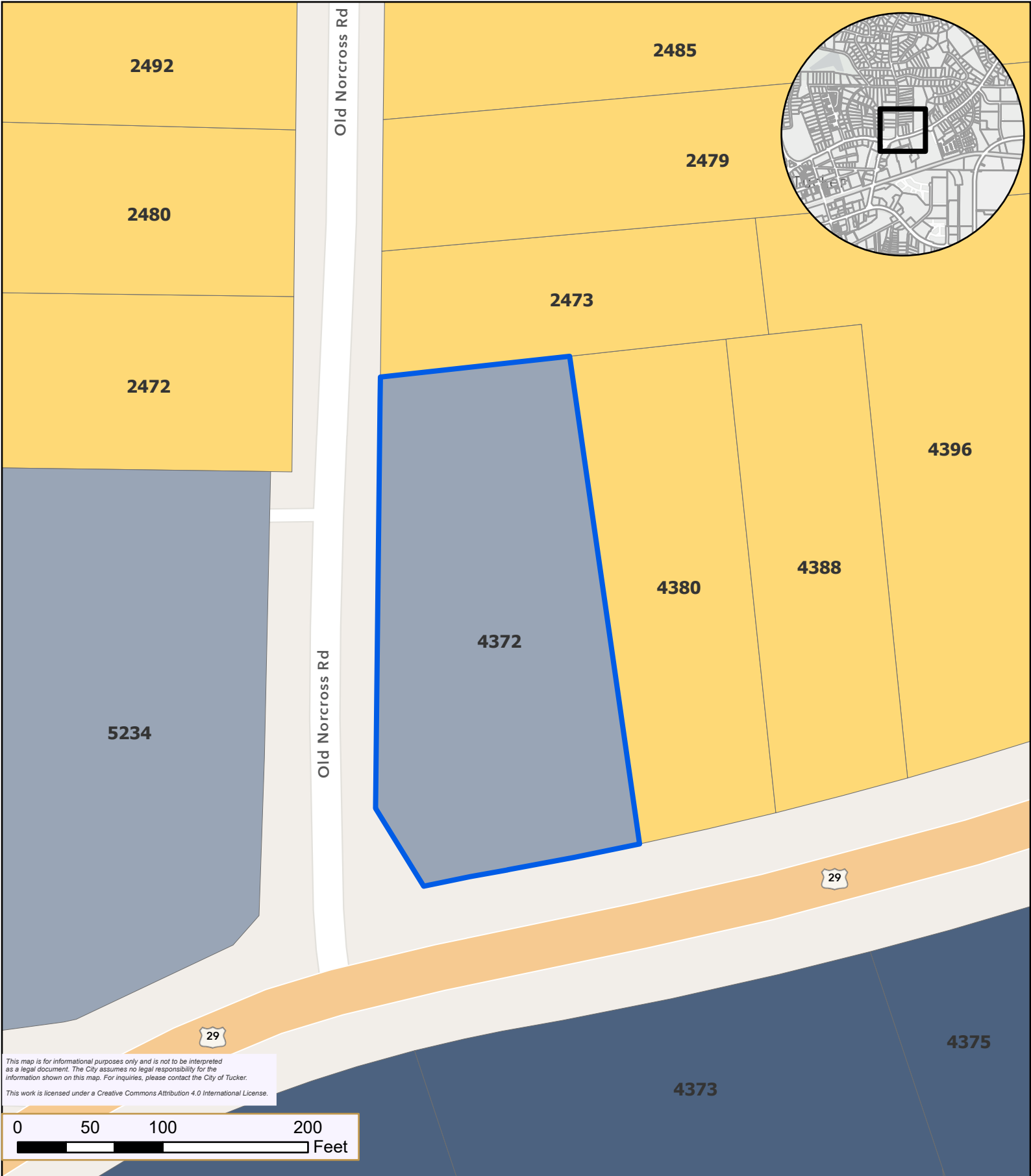
**City of**  
**Tucker**

**4372 Lawrenceville Highway**  
**SLUP-24-0001**

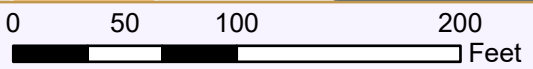


**Aerial**  
 Page 99 of 317









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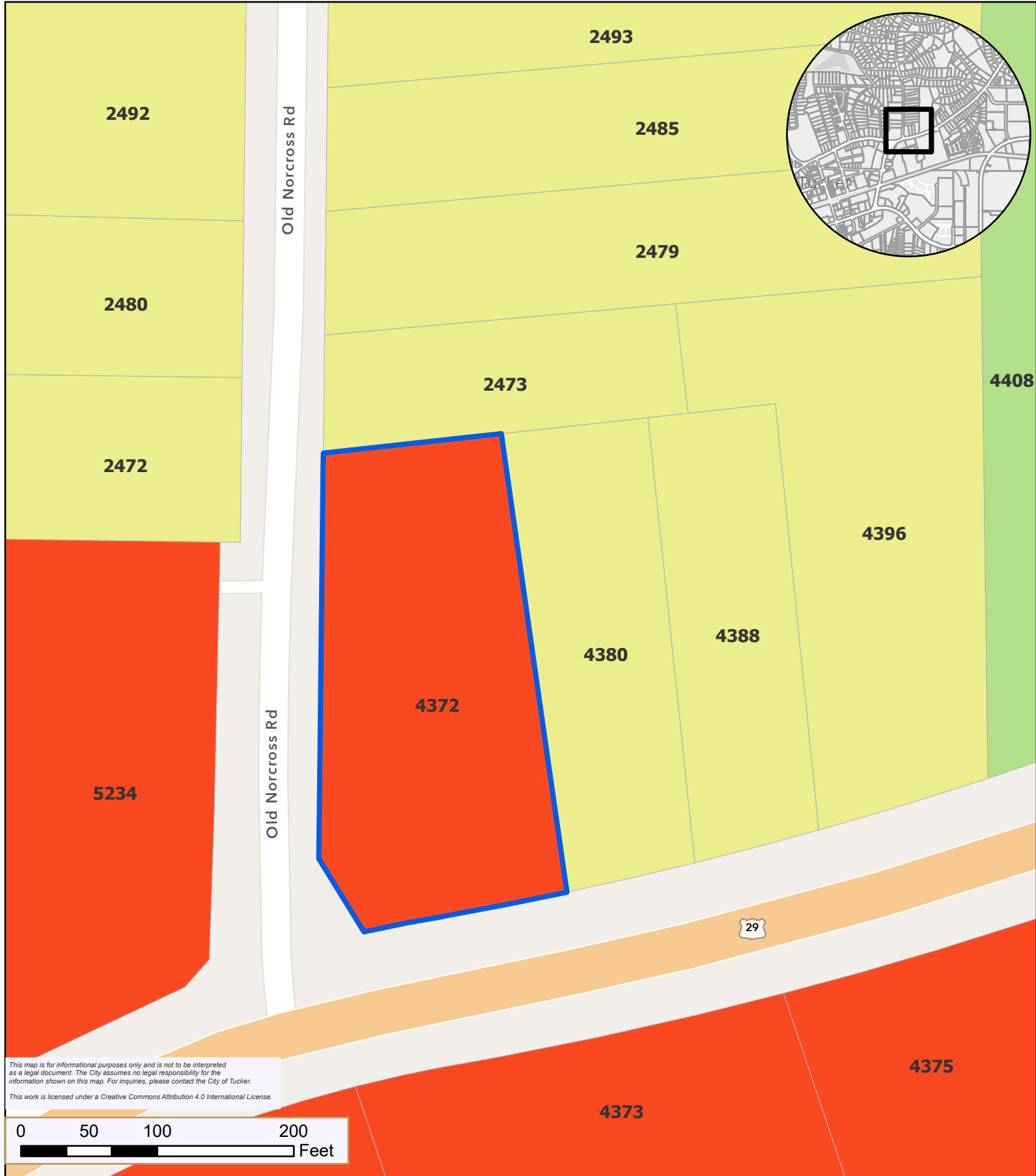


City of  
**Tucker**

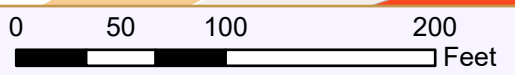
**4372 Lawrenceville Highway**  
**SLUP-24-0001**  
**Zoning**  
 Page 100 of 317

-  SLUP
-  DT-1 (Neighborhood Zone)
-  DT-2 (Corridor Zone)
-  R-85 (Residential Medium Lot - 85)





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**City of Tucker**

**4372 Lawrenceville Highway  
SLUP-24-0001**

**FLU**  
Page 101 of 317

- SLUP
- Conservation and Open Space
- Downtown
- Suburban

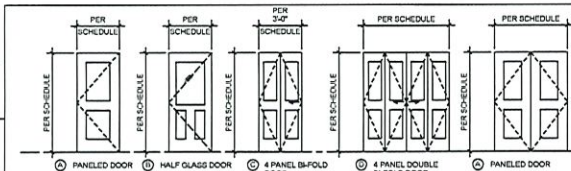


6 bedrooms, 3 bathrooms

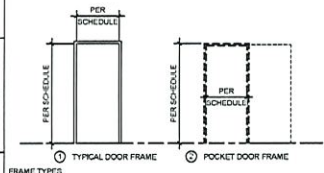
Stegenga + PARTNERS  
A Professional Studio

960 North Point Parkway  
Suite 250  
Alpharetta, GA 30005  
alphastudio.com

HEP Engineer  
SHEPHERD HARVEY & ASSOCIATES, INC.  
4815 NEVER GIVER PARKWAY, SUITE 400  
DULUTH, GEORGIA 30096  
770-975-4907  
SCOTT SHEPHERD



DOOR TYPES



FRAME TYPES

D1 DOOR TYPES & FRAMES  
A101 1/4" = 1'-0"

Hardware Schedule	
Set Number	Lockset
No. 1	Plain Entry Set
No. 2	Lockset
No. 3	Hardware Set
No. 4	Hardware Set
No. 5	Hardware Set

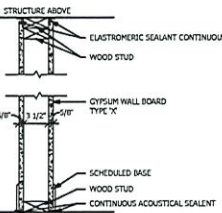
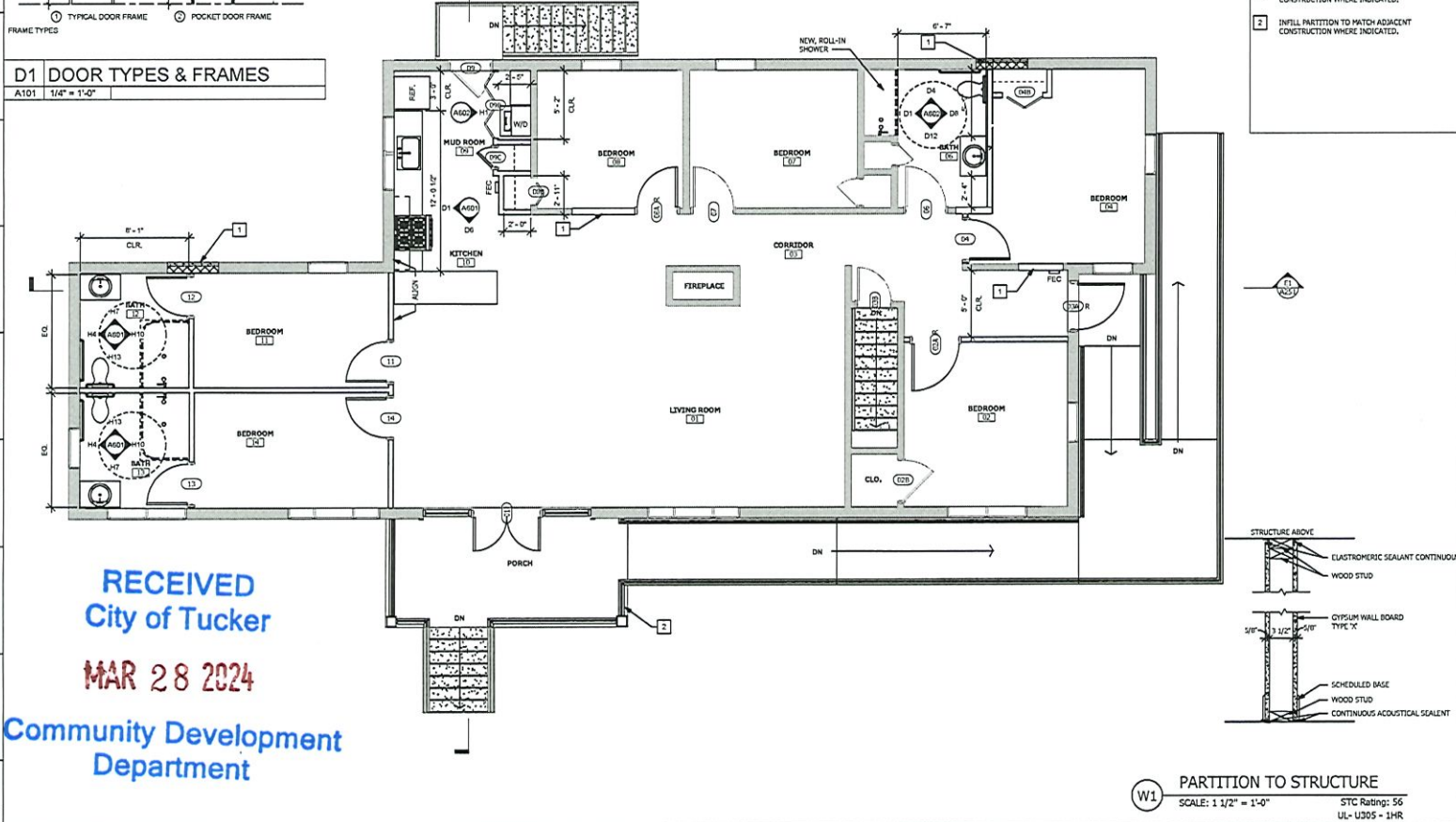
Door Schedule											
Mark	Size			Door Material	Door Finish	Door Type	Hard ware	Frame			Description
	Width	Height	Thickness					Frame Material	Frame Finish	Frame Type	
D1	5'-0"	7'-0"	1 3/4"	WOOD	PAINT	B	1	WOOD	PAINT	1	
D2A	7'-0"	7'-0"	1 3/4"	WOOD	PAINT	B	1	WOOD	PAINT	1	
D2B	7'-0"	6'-8"	1 3/4"	EXISTING	PAINT	EXISTING	1	EXISTING	PAINT	1	
D3A	7'-0"	7'-0"	1 3/4"	WOOD	PAINT	B	1	WOOD	PAINT	1	
D3B	7'-0"	7'-0"	1 3/4"	EXISTING	PAINT	EXISTING	1	EXISTING	PAINT	1	
D4	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D5	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D6	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D7	7'-0"	6'-8"	1 3/4"	EXISTING	PAINT	EXISTING	1	EXISTING	PAINT	1	
D8	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D9	7'-0"	6'-8"	1 3/4"	EXISTING	PAINT	EXISTING	1	EXISTING	PAINT	1	
D10	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D11	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D12	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D13	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D14	7'-0"	6'-8"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	

GENERAL NOTES

- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT, U.N.D.
- ALL DIMENSIONS ARE TO FINISH CONSTRUCTION UNLESS OTHERWISE NOTED. "HOLD" MUST BE ACCURATELY MAINTAINED, AND SHALL NOT VARY MORE THAN ± 1/8" UNLESS OTHERWISE NOTED. DIMENSIONS FROM ARCHITECT'S MEANS TO ACCURATELY LOCATE FINISHED FACES IN THE SAME PLANE. DIMENSIONS NOTED AS "HOLD" MUST BE MAINTAINED WITHOUT EXCEPTION. DIMENSIONS MARKED AS "HOLD" MUST BE MAINTAINED GREATER THAN 1/8" UNLESS OTHERWISE NOTED. DIMENSIONS EXCEEDING TOLERANCE WITH THE ARCHITECT. ALL DIMENSIONS TO THE INTERIOR WINDOW WALL ARE TO THE FINISH FACE OF WALL BELOW SILL, U.N.D.
- ALL NEW AND EXISTING PENETRATIONS AT FLOOR AND CEILING GLASS, WALLS AND SHAFTS, SEAL ABANDONED PENETRATIONS AT FLOORS, WALLS AND SHAFTS TO MAINTAIN FIRE/RISK AND ACOUSTICAL RATINGS, PATCH FIREPROOFING AT ALL NEW AND EXISTING LOCATIONS WITH DUPED STRUCTURE STEEL.
- ALL GLASS SHALL BE CLEAR IMPREG. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN & HOLD-ALL GLASS PRIOR TO PROJECT DELIVERY.
- ALL PARTITIONS ARE TYPE W1 UNLESS OTHERWISE NOTED. DOORS/WALLS/OPENINGS SHALL MATCH AND BE FINISH WITH EXISTING ADJACENT PARTITION CONSTRUCTION. PARTITION DEPTH AT FIRE CONTIGUOUS CABINET LOCATIONS SHALL ACCOMMODATE FULL CONCEALMENT OF RECESSED CABINETS OR PARTIAL CONCEALMENT OF FRAME-RECESSED CABINETS AS SPECIFIED BY THE MANUFACTURER. EXTEND CRYSPH WALLBOARD AND FRAMING AT EXISTING PARTITIONS AND COLUMNS, TO STEPS/STAIRS ABOVE SUSPENDED CEILING WHEN NEW CEILING HEIGHTS ARE ABOVE THE EXISTING CEILING HEIGHT.
- ALL COLUMNS ARE TO BE ENCLOSED WITH GYPSUM WALLBOARD U.N.D.
- ALL PARTITIONS ABUTTING COLUMNS ARE TO ALIGN WITH THE FACE OF THE COLUMN, U.N.D.
- WHERE NEW PARTITIONS ABUT EXISTING SURFACES, REMOVE EXISTING CORNER BEAD AND PROVIDE SMOOTH FINISH AT INTERSECTION.
- ALL CRYSPH BOARD PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE LEVEL & FINISH U.N.D. -REFER TO MATERIAL SCHEDULE & FINISH PLAN FOR MATERIALS & LOCATIONS THAT REQUIRE A LEVEL 5 FINISH, U.N.D.
- ALL EXPOSED GYPSUM BOARD EDGES TO HAVE VINYL OF METAL EDGE TRIM.
- REFER TO THE PARTITION TYPES FOR PARTITION THICKNESS, CONSTRUCTION OF FIRE-RATED PARTITIONS, INCLUDING TAPING AND FINISHING OF GYPSUM WALLBOARD FOR FULL HEIGHT TO STRUCTURE ABOVE, SHALL BE IN ACCORDANCE WITH ALL SPECIFICATIONS TO ACHIEVE RATING INDICATED.
- ACCOUSTICAL (SOUND-ISOLATION) PARTITIONS SHALL BE SEALED FOR FULL HEIGHT TO PREVENT INGRESS OF AIRBORNE SOUND. TAPE AND FINISH ALL GYPSUM WALLBOARD JOINTS AND METRES (INCLUDING ABOVE SUSPENDED CEILING), GASKET AT PERIMETER AND SEAL AT ALL PENETRATIONS.
- HOLD CONSTRUCTION TIGHT TO ALL STRUCTURAL ELEMENTS. POSITIVE LOCATION OF ANY REQUIRED ACCESS PANELS ON SITE WITH ARCHITECT, TYPICAL.
- PROVIDE GROUNDING AND BONDING IN METAL STUD WALL FRAMING FOR SUPPORT OF GASEWORK, SELF-STANDARDS, ANY DEVICES, FURNITURE, ETC. ALL CONCEALED LUMBER AND BLOCKING TO BE FIRE TREATED. COORDINATE BLOCKING REQUIREMENTS WITH FURNITURE & ANY INSTALLATIONS. WHERE BLOCKING OF ADDITIONAL STUDS ARE REQUIRED AT EXISTING PARTITIONS, THEY ARE TO BE PATCHED AND REPAIRED. SEE CONSTRUCTION PLANS FOR WALL-MOUNTED MARKER BOARD, MONITORS & PROJECTION SCREENS; PROVIDE BLOCKING PER MANUFACTURER'S REQUIREMENTS.
- ALL HINGED DOORS TO BE 6" FROM NEAREST PERPENDICULAR PARTITION, U.N.D. DIMENSIONS LOCATING DOORS ARE TO THE INSIDE EDGE OF JAMB. ALL DOORS SHALL HAVE 1-0" CLEAR ON THE STRIKE/PULL SIDE OF DOOR AND 1-0" CLEAR ON THE OPPOSITE SIDE OF THEM HAVE BOTH A LATCH AND A CLOSER. VERIFY AND ADVISE ARCHITECT OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
- THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOP OF ALL DOORS SUCH THAT THE TOP OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF VARIATIONS IN THE FLOOR SLAB OR FINISHED FLOOR THICKNESS.
- PROVIDE DOUBLE STUDS AT DOOR JAMBS. INSTALL ADDITIONAL STUDS IN EXISTING PARTITIONS AT NEW DOOR OPENINGS IN ORDER TO PROVIDE DOUBLE STUDS AT JAMBS. GYPSUM WALLBOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGH-IN (E.G. CLOTHES, PAINT, JANITORY CLOSET, WET WALLING) SHALL BE WATER-RESISTANT, PROFESSIONALLY CLEAN, ADJUST AND REPAIR EXISTING MILLWORK TO REMAIN TO BEST POSSIBLE CONDITION THROUGHOUT.
- VISUALLY INSPECT, "HOTPATCH" AND PREPARE ALL SURFACES TO RECEIVE NEW FINISHES. SPM PARTITIONS WHERE WALLCOVERING HAS BEEN REMOVED.
- CLEAN ALL BLINDS PRIOR TO TENANT "MOVE-IN". PROVIDE NEW BUILDING STANDARD BLINDS TO MATCH EXISTING WHERE NECESSARY.
- PROVIDE NEW/RELOCATE BUILDING STAIRWELL FIRE DETINGUISHERS AND CABINET WHERE INDICATED BY SYMBOL. VERIFY ALL PLUMBING FITTINGS ARE IN PROPER WORKING CONDITION AND MEET REQUIRED ADA COMPLIANCE. COORDINATE WITH LANDLORD IF REPLACEMENT OF ANY FEATURES IS REQUIRED.
- PROVIDE NEW EXTEND EXISTING HOT AND COLD WATER LINES TO NEW/RELOCATED PLUMBING LOCATIONS @ 100% INCLUDE ALL FITTINGS, CONNECTIONS, AND ACCESSORIES. HOT WATER AND DRAIN PIPES UNDER LAUNDRIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. EXPOSED PIPES AND SURFACES, WATER SUPPLY AND DRAIN PIPES UNDER LAUNDRIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAUNDRIES AND SINKS. (DD10 ADA, SECTION 406.5)
- PROVIDE NET WALL BLOCKING FOR GRAB BARS AND TOILET ACCESSORIES @ ALL RESTROOMS.
- PLUMBING FITTURES ARE TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
- EQUIPMENT IS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. MUST MEET LOCAL JURISDICTION CODES.

SHEET NOTES

- INFILL PARTITION TO MATCH ADJACENT CONSTRUCTION WHERE INDICATED.
- INFILL PARTITION TO MATCH ADJACENT CONSTRUCTION WHERE INDICATED.



W1 PARTITION TO STRUCTURE  
SCALE: 1 1/2" = 1'-0" STC Rating: 56  
UL-U305-1HR

K1 1st FLOOR PLAN - PROPOSED  
A101 1/4" = 1'-0"

K11 WALL TYPES  
A101 1 1/2" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
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Seal

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ALBERT'S HOUSE  
SENIOR CARE HOME  
4372 LAWRENCEVILLE HWY, TUCKER, GA 30084

Revisions		
No.	Issue	Date

Sheet Information		
Date		
Job Number	23136.00	
Scale	AS INDICATED	
Drawn	KRM	
Checked	HSP	
Approved	JDC	

Title:  
FLOOR PLAN - LAYOUT

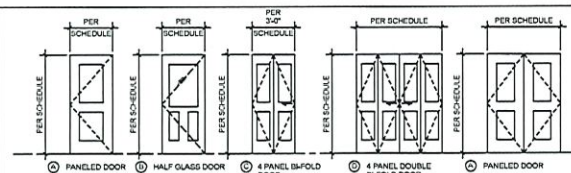
Sheet:  
A101

NOT ISSUED FOR CONSTRUCTION

RECEIVED  
City of Tucker  
MAR 28 2024  
Community Development  
Department

6 bedrooms, 3 1/2 bathrooms

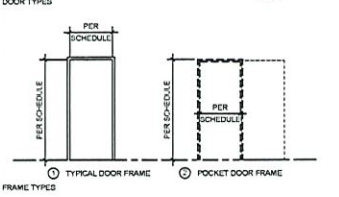
**Stegenga + PARTNERS**  
A Professional Studio  
950 North Point Parkway  
Suite 220  
Alpharetta, GA 30005  
snp-studio.com  
MEP Engineer  
SHEPHERD HARBURY + ASSOCIATES, INC.  
4815 RIVER GREEN PARKWAY, SUITE 400  
DULUTH, GEORGIA 30096  
770-454-6007  
SCOTT SHEPHERD



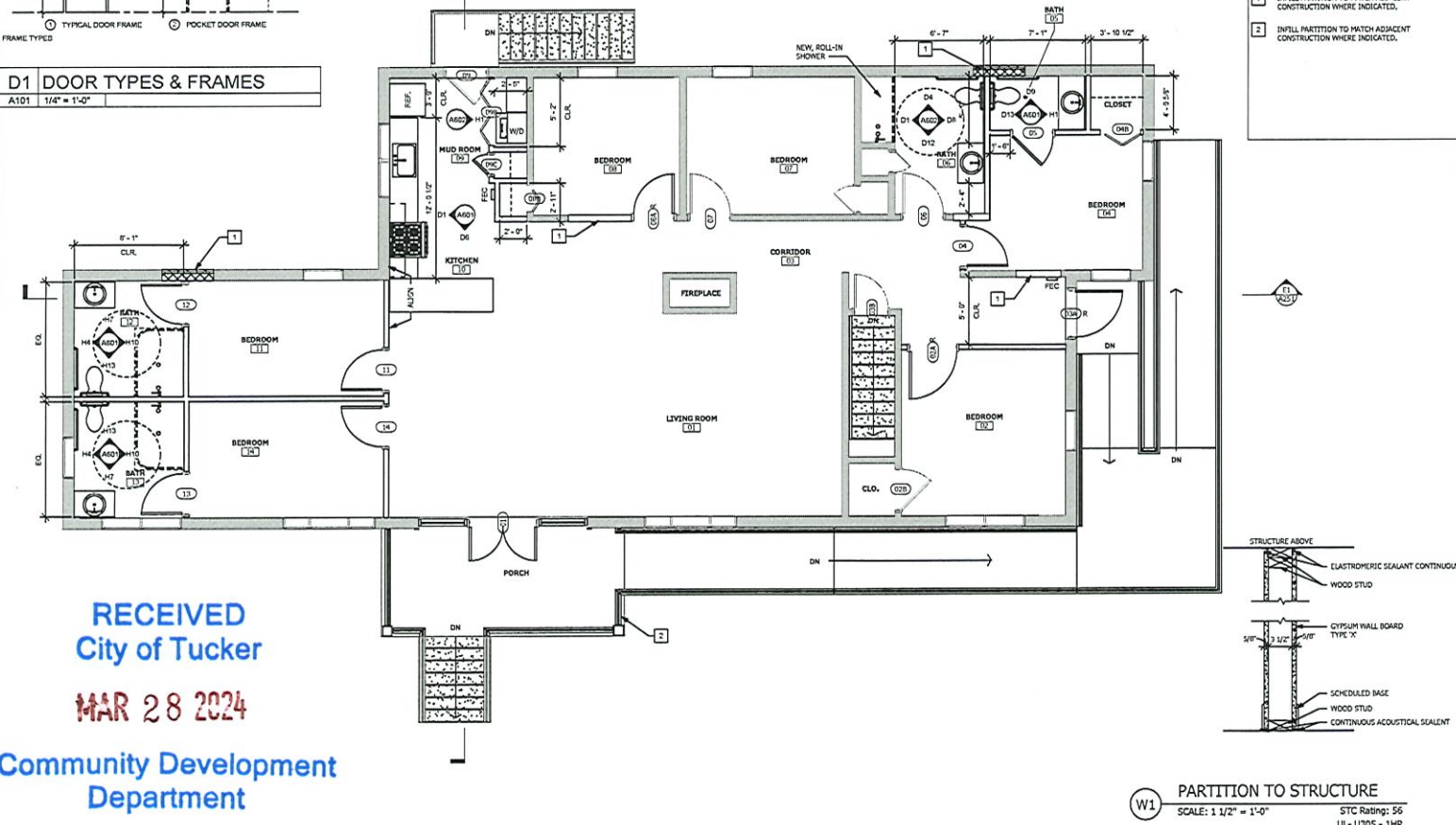
Set Number	Lockset	1 1/2" Pair Hinges	3 or 4 Pair Hinges	4 Pair Hinges	Door Silencer	Automatic Door Bottom	Clear	Pair Adaptor	Push Pad	Key Lock	Car Lock	Door Stop - Bath Sides	Kick Plate - Inside
101	Plain Entry Set	*	*	*	*	*	*	*	*	*	*	*	*
102	Privacy Set	*	*	*	*	*	*	*	*	*	*	*	*
103	Hardware Set	*	*	*	*	*	*	*	*	*	*	*	*
104	Bathroom Set	*	*	*	*	*	*	*	*	*	*	*	*
105	Close Room Set	*	*	*	*	*	*	*	*	*	*	*	*

Mark	Size			Door Material	Door Finish	Door Type	Hard Ware	Frame			Description
	Width	Height	Thickness					Frame Material	Frame Finish	Frame Type	
D1	6'-0"	7'-0"	1 3/4"	WOOD	PAINT	B	1	WOOD	PAINT	1	
D2	7'-0"	7'-0"	1 3/4"	WOOD	PAINT	B	1	WOOD	PAINT	1	
D3	7'-0"	6'-6"	1 3/4"	EXISTING	PAINT	EXISTING	1	EXISTING	PAINT	1	
D4	6'-0"	7'-0"	1 3/4"	WOOD	PAINT	B	1	WOOD	PAINT	1	
D5	7'-0"	7'-0"	1 3/4"	EXISTING	PAINT	EXISTING	1	EXISTING	PAINT	1	
D6	7'-0"	6'-6"	1 3/4"	WOOD	PAINT	A	4	WOOD	PAINT	1	
D7	7'-0"	6'-6"	1 3/4"	WOOD	PAINT	C	3	WOOD	PAINT	1	
D8	7'-0"	6'-6"	1 3/4"	WOOD	PAINT	A	4	WOOD	PAINT	1	
D9	7'-0"	6'-6"	1 3/4"	EXISTING	PAINT	EXISTING	1	EXISTING	PAINT	1	
D10	7'-0"	6'-6"	1 3/4"	WOOD	PAINT	A	1	WOOD	PAINT	1	
D11	7'-0"	6'-6"	1 3/4"	WOOD	PAINT	A	3	WOOD	PAINT	1	
D12	7'-0"	6'-6"	1 3/4"	WOOD	PAINT	A	2	WOOD	PAINT	1	
D13	7'-0"	6'-6"	1 3/4"	WOOD	PAINT	A	4	WOOD	PAINT	1	
D14	7'-0"	6'-6"	1 3/4"	WOOD	PAINT	A	3	WOOD	PAINT	1	

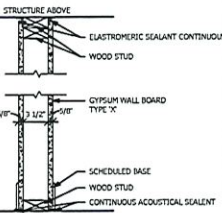
- GENERAL NOTES**
- CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
  - ALL WORK SHALL BE CREATED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT, U.N.O.
  - ALL DIMENSIONS ARE TO FINISH CONSTRUCTION UNLESS OTHERWISE NOTED. "HOLD" MUST BE ACCURATELY MAINTAINED AND SHALL NOT VARY MORE THAN 1/8" WITHOUT WRITTEN INSTRUCTION FROM ARCHITECT. "ALSO" MEANS TO ACCURATELY LOCATE, FINISH FACES IN THE SAME PLANE. DIMENSIONS NOTED "MEAN" ARE MEAN DIMENSIONS WHICH MUST BE MAINTAINED WITHOUT EXCEPTION. DIMENSIONS MARKED WITH A WAVE SIGN NOT GREATER THAN 1 INCH, VERIFY DIMENSIONS EXCEEDING TOLERANCE WITH ARCHITECT. ALL DIMENSIONS TO THE EXTERIOR WINDOW WALL ARE TO THE FINISH FACE OF WALL BELOW SILL U.N.O.
  - PATCH AT ALL NEW AND EXISTING PENETRATIONS AT FLOOR AND CEILING SLABS, WALLS AND SHAFTS. SEAL ABANDONED PENETRATIONS AT ROOFS, WALLS AND SHAFTS TO MAINTAIN FIRE, SMOKE AND ACOUSTICAL RATINGS. PATCH FIREPROOFING AT ALL NEW AND EXISTING LOCATIONS WITH DPGS WITH STRIKES.
  - ALL GLASS SHALL BE CLEAR TEMPERED. GLAZING TONG MARKS SHALL NOT BE VISIBLE. CLEAN & POLISH ALL GLASS PRIOR TO PROJECT DELIVERY.
  - ALL PARTITIONS ARE TYPE W1 U.N.O. ALL INFILL OF DOORS/WALLS/OPENINGS SHALL MATCH AND BE FLUSH WITH EXISTING ADJACENT PARTITION CONSTRUCTION.
  - PARTITION DEPTH AT FIRE RATED PARTITIONS, CABINET LOCATIONS SHALL ACCOMMODATE FULL CONCEALMENT OF RECESSED CABINETS OR PARTIAL CONCEALMENT OF SEMI-RECESSED CABINETS AS SPECIFIED BY THE MANUFACTURER.
  - EXTEND OYSPUM WALLBOARDS AND FINISH AT EXISTING PARTITIONS AND CEILING, TO 6" MINIMUM ABOVE SUSPENDED CEILING WHEN NEW CEILING HEIGHTS ARE ABOVE THE EXISTING CEILING HEIGHT.
  - ALL COLLUMS ARE TO BE ENCLOSED WITH GYPSUM WALLBOARD U.N.O.
  - ALL PARTITIONS ABUTTING COLLUMS ARE TO ALIGN WITH THE FACE OF THE COLLUM, U.N.O.
  - WHERE NEW PARTITIONS ABUT EXISTING SURFACES, REMOVE EXISTING CORNER BEAD AND PROVIDE SMOOTH FINISH AT INTERSECTION.
  - ALL OYSPUM BOARD PARTITIONS SHALL BE TAKEN AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PROVIDE A FINISH U.N.O. - REFER TO MATERIAL SCHEDULE & FINISH PLAN FOR MATERIALS & LOCATIONS THAT REQUIRE A LEVEL 5 FINISH, U.N.O.
  - ALL EXPOSED OYSPUM BOARD EDGES TO HAVE VINYL OF METAL EDGE TOP.
  - REFER TO THE PARTITION TYPES FOR PARTITION THICKNESS, CONSTRUCTION OF FIRE-RATED PARTITIONS, INCLUDING TYPING AND FINISHING OF OYSPUM WALLBOARD FOR FULL HEIGHT TO STRUCTURE ABOVE. SHALL BE IN ACCORDANCE WITH UL SPECIFICATIONS TO ACHIEVE RATING INDICATED.
  - ACOUSTICAL SOUND-ISOLATION PARTITIONS SHALL BE GRADED FOR FULL HEIGHT TO PREVENT INGRESS OF AEROSOL SOUND, TAPE AND FINISH ALL OYSPUM WALLBOARD JOINTS AND HOLLOW JOINTS INCLUDING ABOVE SUSPENDED CEILING. GASKET AT PERIMETER AND SEAL AT ALL PENETRATIONS.
  - HOLD CONSTRUCTION TIGHT TO ALL STRUCTURAL ELEMENTS. COORDINATE LOCATION OF ANY REQUIRED ACCESS PANELS ON SITE WITH ARCHITECT. TYPES:
  - PROVIDE GROUNDING AND BLOTTING IN METAL STUD WALL FRAMING FOR SUPPORT OF GASEWORK, SPLIT-STANDARDS, ANY DOWELS, FURNITURE, ETC. ALL CONCEALED LUMBS AND BLOTTING TO BE FIRE TREATED. COORDINATE BLOTTING REQUIREMENTS WITH FURNITURE & ANY INSTALLERS. WHERE BLOTTING OR ADDITIONAL STUDS ARE REQUIRED AT EXISTING PARTITIONS, THEY ARE TO BE PATCHED AND REPAIRED. SEE CONSTRUCTION FRAMEWORK WALL-MOUNTED MARKERBOARD, MONITORS & PROTECTION SCREENS; PROVIDE BLOTTING PER MANUFACTURER'S REQUIREMENTS.
  - ALL HINGED DOORS TO BE 6" FROM NEAREST PERPENDICULAR PARTITION, U.N.O. BIRMINGHAM LIGHTING DOORS ARE TO THE INSIDE EDGE OF JAMB. ALL DOORS SHALL HAVE 1-1/2" CLEAR ON THE STRIKE/SIDE OF DOOR AND 1-1/2" CLEAR ON THE STRUCTURE SIDE IF THEY HAVE BOTH A LATCH AND CLOSER. VERIFY AND ADVISE ARCHITECT OF EXCEPTIONS PRIOR TO CLOSING OUT PARTITIONS.
  - THE CONTRACTOR SHALL ESTABLISH A SINGLE FLOOR ELEVATION THAT IS TO BE USED TO SET THE TOP OF ALL DOORS SUCH THAT THE TOP OF ALL DOORS OF THE SAME HEIGHT WILL ALIGN REGARDLESS OF VARIATIONS IN THE FLOOR SLAB OR FINISHED FLOOR THICKNESS.
  - PROVIDE DOUBLE STUDS AT DOOR JAMBS. INSTALL ADDITIONAL STUDS IN EXISTING PARTITIONS AT NEW DOOR OPENINGS IN ORDER TO PROVIDE DOUBLE STUDS AT JAMBS. OYSPUM WALLBOARD AT BOTH SIDES OF ALL PARTITIONS WITH PLUMBING ROUGH-IN (ELECTRICALS, PANTRY, SANITORS) CLOSET, WET COLLUMS) SHALL BE WATER-RESISTANT, PROFESSIONALLY CLEAN, ADJUST AND REPAIR EXISTING MILLWORK TO REMAIN TO BEST POSSIBLE CONDITION THROUGHOUT.
  - VISUALLY INSPECT, "HOTPATCH" AND PREPARE ALL SURFACES TO RECEIVE NEW FINISHES. SIGN PARTITIONS WHERE WALLCOVERING HAS BEEN REMOVED.
  - CLEAN ALL BLINDS PRIOR TO TENANT "MOVE-IN". PROVIDE NEW BUILDING STANDARD BLINDS TO MATCH EXISTING WHERE NEEDED.
  - PROVIDE APPROPRIATE BUILDING STANDARD PIPE DISTRIBUTORS AND CABINET WHERE INDICATED BY SYMBOL. VERIFY ALL PLUMBING FIXTURES ARE IN PROPER WORKING CONDITION AND MEET ALL REQUIRED ADA COMPLIANCE. COORDINATE WITH LANDLORD IF REPLACEMENT OF ANY FIXTURES IS REQUIRED.
  - PROVIDE NEW EXTEND EXISTING HOT AND COLD WATER LINES TO NEW/RELOCATED PLUMBING LOCATIONS @ 300X. INCLUDE ALL FITTINGS, CONNECTIONS, AND ACCESSORIES. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. EXPOSED PIPES AND SURFACES, WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS. (SEE ADA SECTION 406.2)
  - PROVIDE HOT WOOD BLOCKING FOR GRAB BARS AND TOILET ACCESSORIES @ ALL RESTROOMS.
  - PLUMBING FIXTURES ARE TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR.
  - EQUIPMENT IS TO BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR, MUST MEET LOCAL JURISDICTION CODE.



**D1 DOOR TYPES & FRAMES**  
A101 1/4" = 1'-0"



- SHEET NOTES**
- INFILL PARTITION TO MATCH ADJACENT CONSTRUCTION WHERE INDICATED.
  - INFILL PARTITION TO MATCH ADJACENT CONSTRUCTION WHERE INDICATED.



**W1 PARTITION TO STRUCTURE**  
SCALE: 1 1/2" = 1'-0" STC Rating: 56  
UL-U305-1HR

**K1 1st FLOOR PLAN - PROPOSED**  
A101 1/4" = 1'-0"

**K11 WALL TYPES**  
A101 1 1/2" = 1'-0"

RECEIVED  
City of Tucker  
MAR 28 2024  
Community Development  
Department

Seab  
© Copyright JEN STEGENGA + PARTNERS, PC  
4372 LAWRENCEVILLE HWY, TUCKER, GA 30084

SENIOR CARE HOME  
**ALBERT'S HOUSE**  
4372 LAWRENCEVILLE HWY, TUCKER, GA 30084

**Revisions**

No.	Issue	Date

**Sheet Information**

Date	23136.00
Job Number	AS INDICATED
Scale	AS INDICATED
Drawn	KRM
Checked	HMS
Approved	JDC

**Title:**  
FLOOR PLAN - LAYOUT

**Sheet:**  
**A101**

NOT ISSUED FOR CONSTRUCTION

6 bedrooms, 4 bathrooms

**Stegenga + PARTNERS**  
A Professional Studio

960 North Point Parkway Suite 250  
Alpharetta, GA 30005  
817-9-STEADY.COM

Structural Engineers: .....

MEP Engineers: .....

Civil Engineers: .....

Seal: \_\_\_\_\_

© COPYRIGHT 2021 STEGENGA + PARTNERS, P.C.

CLIENT  
**ALBERT'S HOUSE**  
4372 LAWRENCEVILLE HWY, TUCKER, GA 30084

**Revisions**

Rev.	Desc.	Date

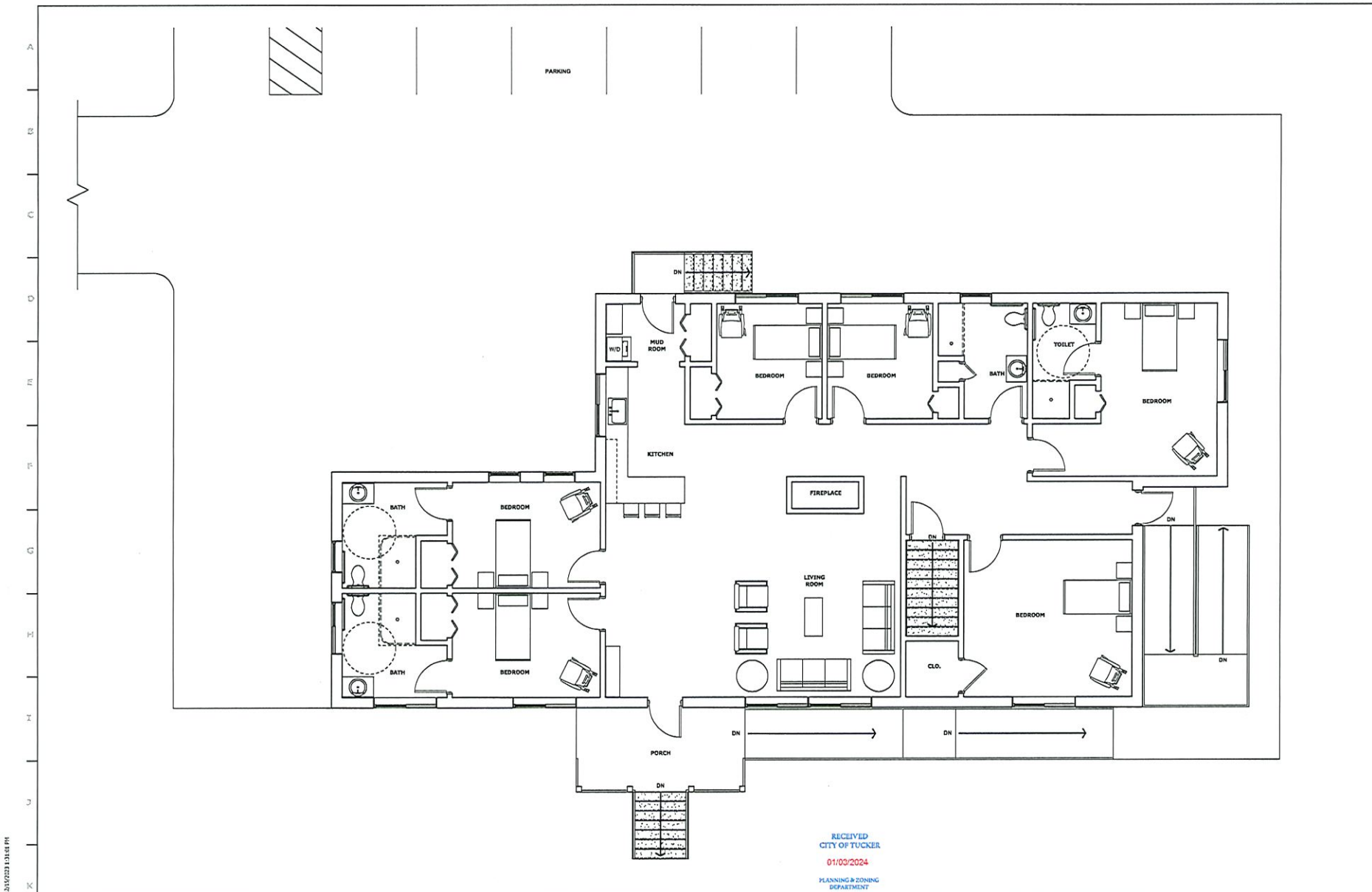
**Sheet Information**

Disc	2/1/25.00
Job Number	21135.00
Scale	AS INDICATED
Drawn	Author
Checked	Checker
Approved	Approver

**Title:**  
FLOOR PLAN - LAYOUT

**Sheet:**  
**A101**

NOT ISSUED FOR CONSTRUCTION



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CITY OF TUCKER  
01/09/2024  
PLANNING & ZONING  
DEPARTMENT  
SLUP-24-0001

Plot Date: 12/10/2023 12:45 PM

**K1 1st FLOOR PLAN - PROPOSED**

A101 1/4" = 1'-0"



# SLUP-24-0001

# SLUP-24-0001

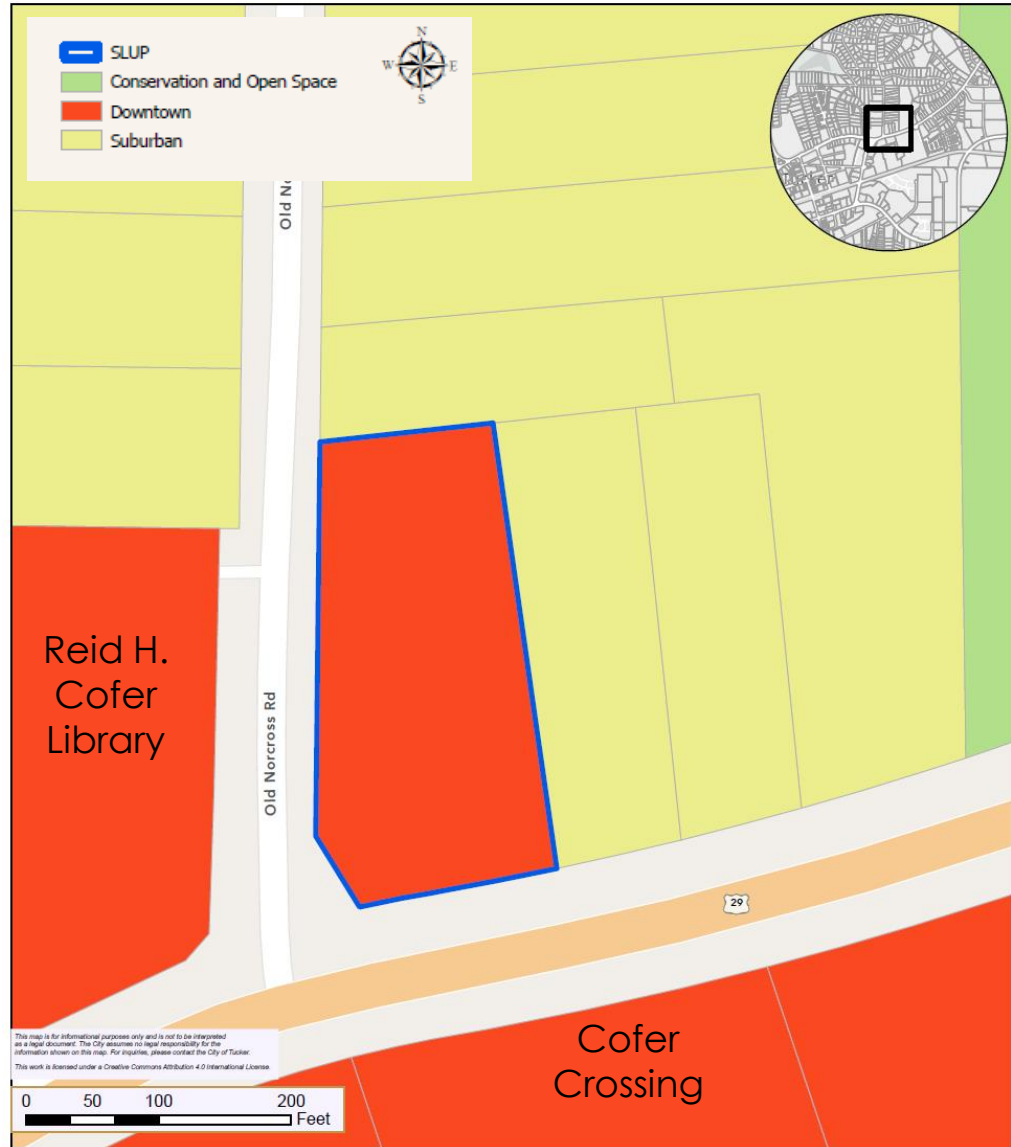
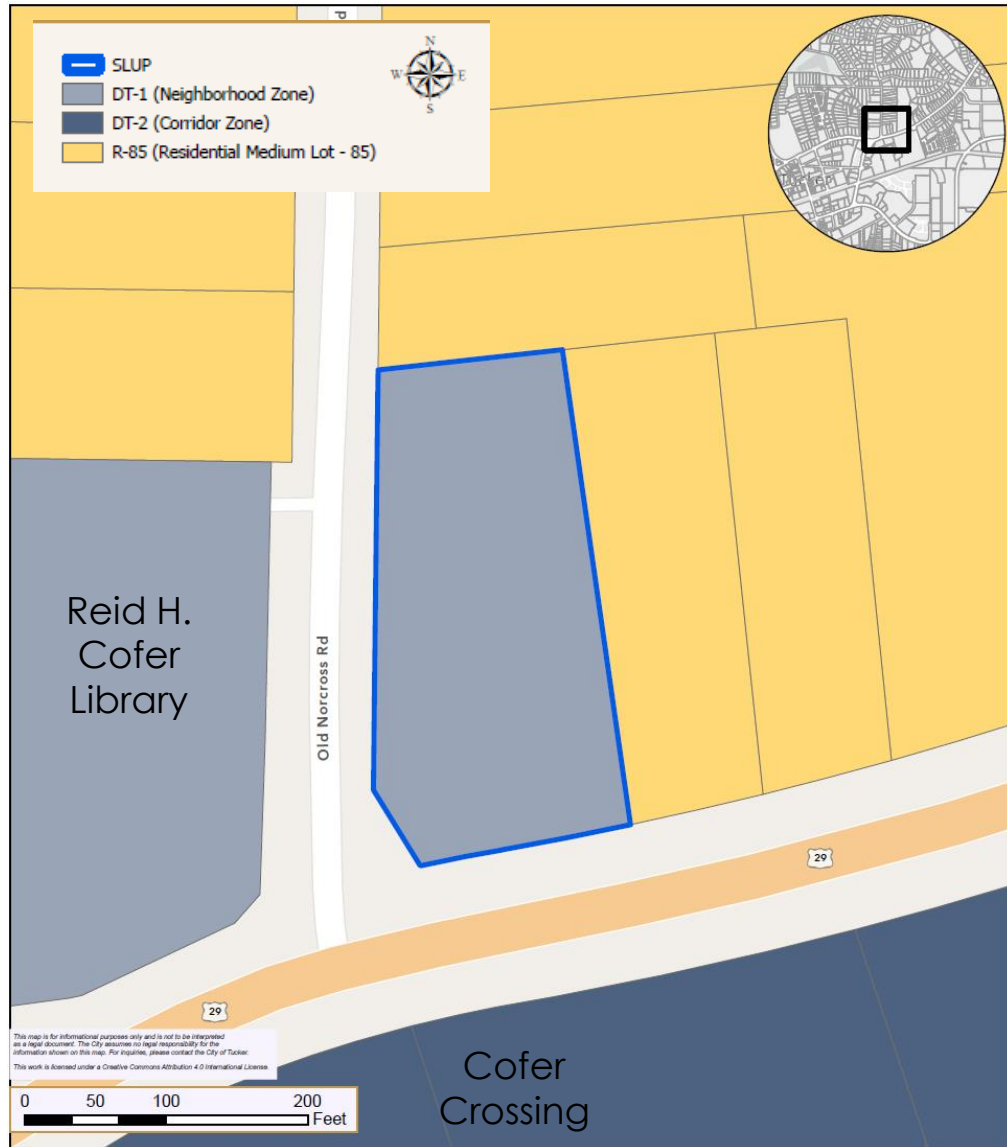
<b>PROPERTY LOCATION:</b>	4372 Lawrenceville Highway
<b>LAND LOT/DISTRICT:</b>	Land Lot 225, Land District 18
<b>EXISTING ZONING:</b>	DT-1 (Downtown Neighborhood)
<b>CHARACTER AREA:</b>	Downtown
<b>PARCEL SIZE:</b>	0.85 acres
<b>PETITIONER:</b>	Allegret, Cline, Hicks Joint Venture on behalf of Albert's House Five, LLC
<b>REQUEST:</b>	Special Land Use Permit to allow for a Personal Care Home, Group (4-6) in the DT-1 zoning district.



# Aerial & Photo of Existing Structure

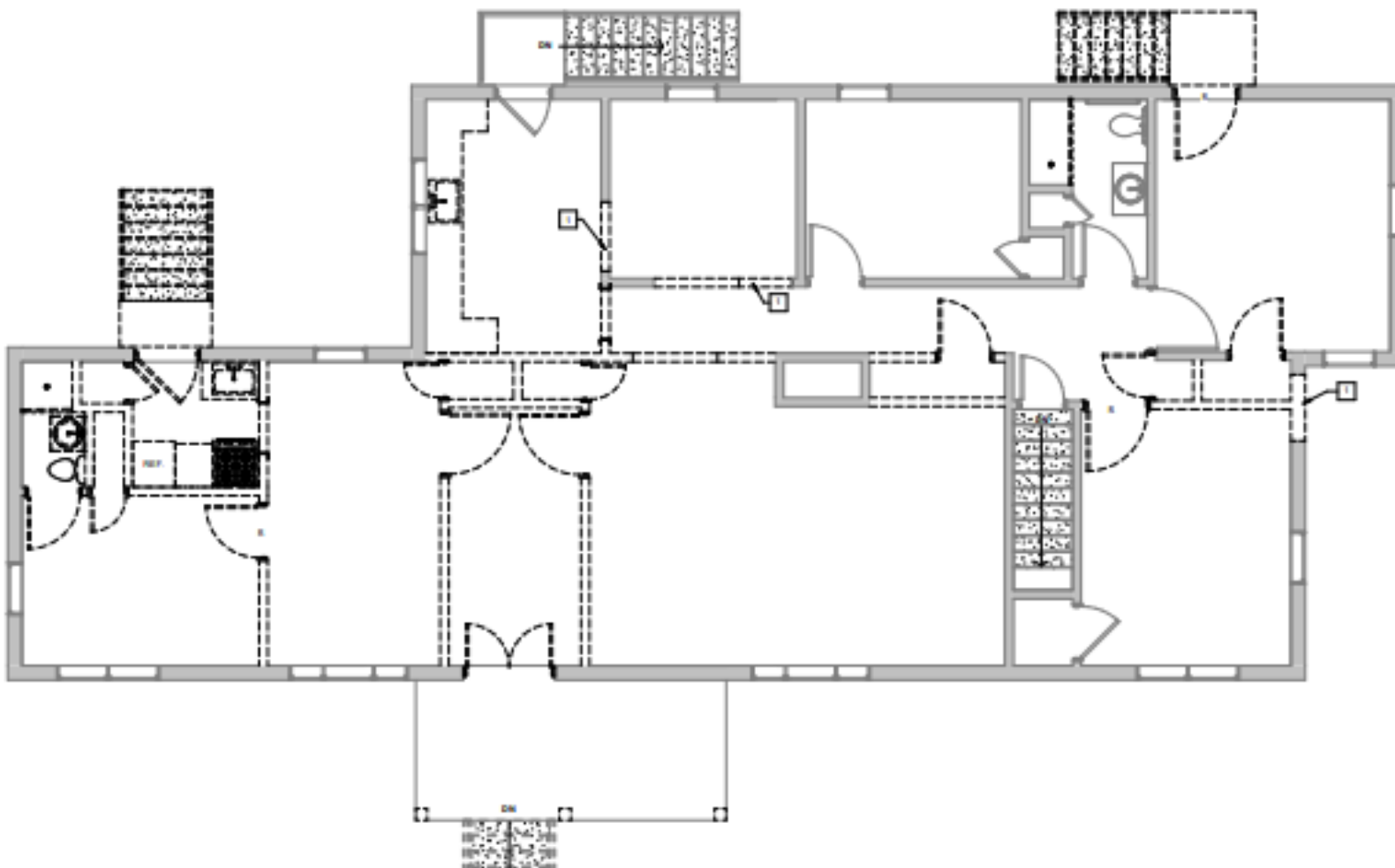


# Zoning and Character Area Map (Future Land Use)

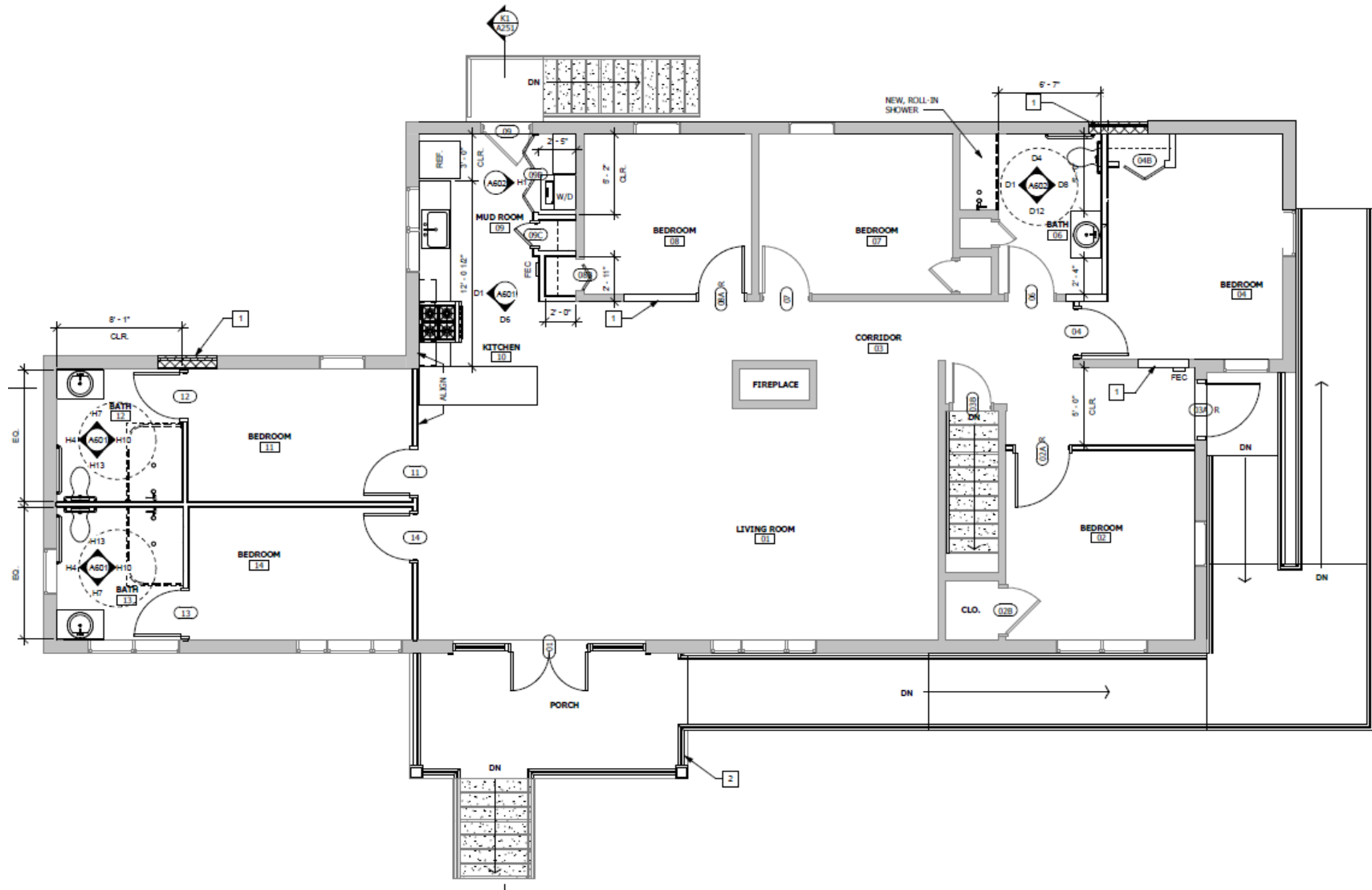




# Existing Floor Plan

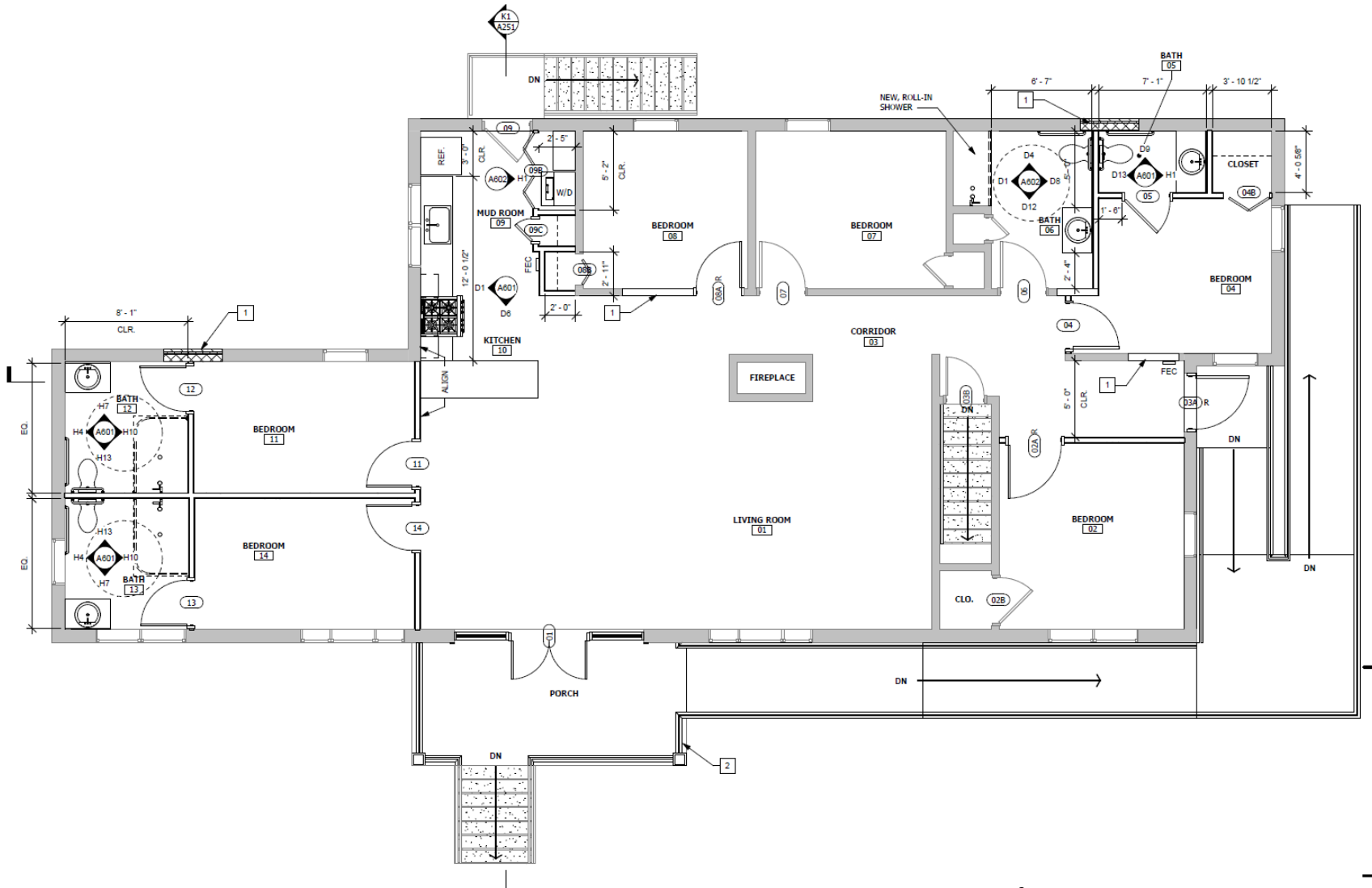


# Floor Plan Option 1 - 6 Bedrooms, 3 Bathrooms



- 2 bedrooms have their own ensuite bathroom
- 4 bedrooms share 1 bathroom

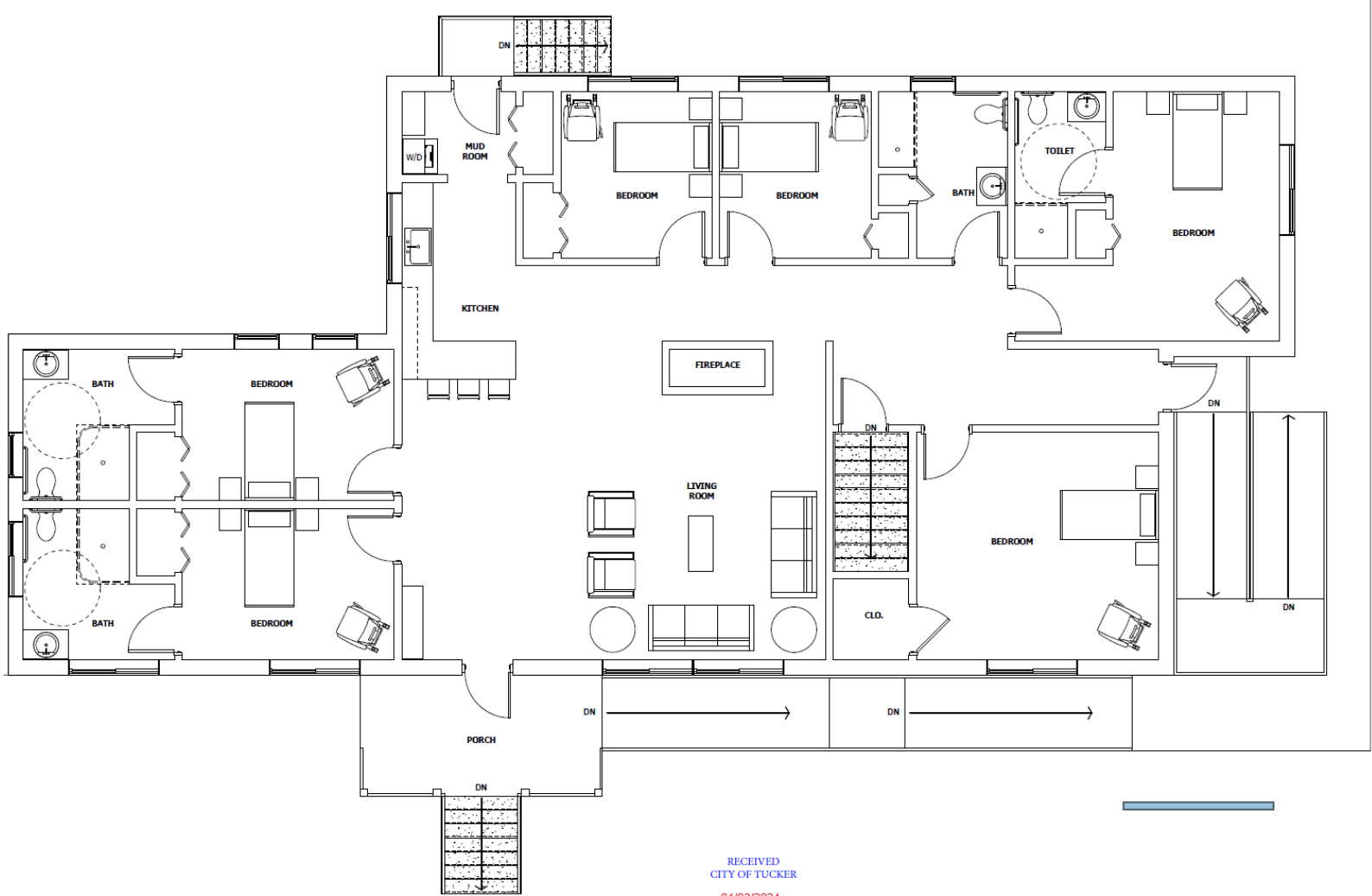
# Floor Plan Option 2 - 6 Bedrooms, 3 ½ Bathrooms



- 2 bedrooms have their own ensuite bathroom
- 3 bedrooms share 1 bathroom
- 1 bedroom has an ensuite ½ bath.



# Floor Plan Option 3 - 6 Bedrooms/4 Bathrooms



- 3 bedrooms have their own ensuite bathroom
- 3 bedrooms share 1 bathroom

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CITY OF TUCKER  
01/03/2024  
PLANNING & ZONING  
DEPARTMENT



## SLUP Analysis

- Albert's House Five, LLC would like to operate a 6 bed Personal Care Home (PCH) at this location.
- In order to prevent institutionalizing residential neighborhoods, no group PCH may be operated within 1,000 feet of any other group PCH.
- The closes existing Personal Care Home is approximately 3,400 feet away on Chamblee Tucker Road.
- Traffic impacts will be minimal.
- Shift changes twice a day, at 7 a.m. and 7 p.m.
- Development options limited due to no sewer in the area. Property has been listed for sale for years. Applicant working with DeKalb Health on septic.
- Existing non-conforming elements, such as the wire fence, gravel parking, and former driveway on Lawrenceville Highway, need to be removed.

# SLUP Analysis

## Supplemental Regulations, Sec. 46-1185

Vision Senior Care  
5002 Chamblee Tucker Road

Proposed Personal Care Home  
4372 Lawrenceville Highway



The 1,000 foot distance requirement is measured by a straight line which is the shortest distance (“as the crow flies”) between the property lines of the two tracts of land on which the group Personal Care Homes are located.

## Staff Recommendation

Based upon the findings and conclusions herein, staff recommends approval with conditions of SLUP-24-0001.

## Staff Recommended Conditions

1. The proposed use shall be limited to a group Personal Care Home with no more than six residents, per the 6 bedroom/4 bathroom floor plan stamped “Received City of Tucker 02/06/2024.”
2. The Personal Care Home shall comply with all applicable state Personal Care Home requirements, as well as the supplemental regulations in Sec. 46-1185 of the City of Tucker Zoning Ordinance.
3. A building permit for the modifications to the existing structure and change of occupancy type shall be submitted to the Community Development Department.

{continued on next slide}

## Staff Recommended Conditions, continued

4. The applicant shall plant a mix of evergreen and hardwood trees along the north and east property lines to provide visual screening to the adjacent residential properties.
5. The following items shall be demolished/removed before the Certificate of Occupancy can be issued for the Personal Care Home:
  - a. The small portion of driveway off of Lawrenceville Highway.
  - b. The wire fence near the northern property boundary.
  - c. The gravel parking lot and gravel driveway at the rear of the building.
6. **Owner/Developer shall dedicate at no cost to the City of Tucker an additional six (6) feet of right-of-way along Lawrenceville Highway to accommodate future trail construction.**

## Planning Commission Recommendation

Planning Commission recommends approval with modified conditions of SLUP-24-0001.

6. The applicant shall plant a mix of evergreen and hardwood trees along the north and east property lines to provide visual screening to the adjacent residential properties. **The plantings shall avoid conflicts with the new septic lines.**

# SLUP-24-0001 DATES

Mayor & City Council, 1<sup>st</sup> Read

March 11, 2024

Mayor & City Council, 2<sup>nd</sup> Read

April 8, 2024





City of Tucker  
1975 Lakeside Parkway  
Tucker, GA 30084



678-597-9040



Tuckerga.gov



info@tuckerga.gov  
Page 121 of 317

**AN ORDINANCE FOR SPECIAL LAND USE PERMIT (SLUP-24-0001) IN LAND LOT 225 OF THE 18<sup>th</sup> DISTRICT TO ALLOW FOR A PERSONAL CARE HOME, GROUP (4-6) AT 4372 LAWRENCEVILLE HIGHWAY FOR ALBERT'S HOUSE FIVE, LLC.**

**WHEREAS:** Notice to the public regarding said special land use permit has been duly published in The Champion, the Official News Organ of Tucker; and

**WHEREAS:** A Public Hearing was held by the Mayor and City Council of Tucker on March 11, 2024 and April 8, 2024;

**WHEREAS:** The Mayor and City Council is the governing authority for the City of Tucker;

**WHEREAS:** The Mayor and City Council have reviewed the special land use request based on the criteria found in Section 46-1594 of the Zoning Ordinance of the City of Tucker;

**NOW THEREFORE,** the Mayor and City Council of the City of Tucker while in Regular Session on April 8, 2024 hereby ordains and approves Special Land Use Permit 24-0001 to allow for a Personal Care Home, Group (4-6), subject to the following conditions.

1. The proposed use shall be limited to a group Personal Care Home with no more than six residents, per the 6 bedroom/4 bathroom floor plan stamped "Received City of Tucker 02/06/2024."
2. The Personal Care Home shall comply with all applicable state Personal Care Home requirements, as well as the supplemental regulations in Sec. 46-1185 of the City of Tucker Zoning Ordinance.
3. A building permit for the modifications to the existing structure and change of occupancy type shall be submitted to the Community Development Department.
4. The applicant shall plant a mix of evergreen and hardwood trees along the north and east property lines to provide visual screening to the adjacent residential properties. The plantings shall avoid conflicts with the new septic lines.
5. The following items shall be demolished/removed before the Certificate of Occupancy can be issued for the Personal Care Home:
  - a. The small portion of driveway off of Lawrenceville Highway.

- b. The wire fence near the northern property boundary.
  - c. The gravel parking lot and gravel driveway at the rear of the building.
6. Owner/Developer shall dedicate at no cost to the City of Tucker an additional six (6) feet of right-of-way along Lawrenceville Highway to accommodate future trail construction.

**SO EFFECTIVE** this 8<sup>th</sup> day of April 2024.

Approved by:

\_\_\_\_\_  
Frank Auman, Mayor

Attest:

\_\_\_\_\_  
Bonnie Warne, City Clerk

SEAL



## MEMO

**To:** Honorable Mayor and City Council Members  
**From:** Julie Martin, Planning Manager and Courtney Smith, Community Development Director  
**CC:** John McHenry, City Manager  
**Date:** March 4, 2024  
**RE:** Memo for O2024-03-05 RZ-24-0001: Major modification for a Compound Pharmacy at 2212 Fellowship Road

---

**Contract/Document Number:** O2024-03-05

### Description for on the Agenda:

- Public Hearing and First Read of an Ordinance for a major modification (RZ-24-0001) to allow for changes in approved conditions for a compound pharmacy at 2212 Fellowship Road for applicant Thy Pham/Atlanta City Pharmacy.

### Issue:

The applicant is requesting a major modification to a condition of zoning placed on the property in 1980. On September 23, 1980, the DeKalb County Board of Commissioners approved rezoning petition CZ-80075 to rezone the property from R-75 to OI (Office Institutional) with the condition that the existing structure be used for business or professional office use only. The applicants are petitioning to modify the condition of zoning to allow a compound pharmacy, which is considered a retail use in the City of Tucker zoning ordinance.

The applicants propose no changes to the exterior of the building but will be completing interior modifications to convert the space to a compound pharmacy. They will also be adding two parking spaces at the rear of the building. The compound pharmacy is proposing to be open Monday through Friday, from 9:30 am to 4:00 pm.

### Recommendation:

Staff recommends approval with conditions. Planning Commission recommends approval with conditions.

### Background:

When the City of Tucker was incorporated, the property at 2212 Fellowship Road was zoned OI (Office Institutional) and located in the Downtown Tucker Overlay. In 2019, the City of Tucker converted the overlay to new special zoning districts and rezoned the subject property to DT-2.

Currently vacant, the property has been used as a residential home for many years. According to the DeKalb County Property Appraisal website, the one-story structure is approximately 1,302 square feet and was constructed in 1952.

### Summary:

Staff finds that the proposed zoning modification to allow retail use aligns with the surrounding land uses and the Downtown Character Area. Additionally, allowing retail use will help the city achieve the vision outlined in the Downtown Character Area.

**Financial Impact:** N/A

**AN ORDINANCE FOR A MAJOR MODIFICATION (RZ-24-0001) TO ALLOW FOR CHANGES IN APPROVED CONDITIONS FOR A COMPOUND PHARMACY IN LAND LOT 213 OF THE 18<sup>th</sup> DISTRICT FOR 2212 FELLOWSHIP ROAD.**

**WHEREAS:** Notice to the public regarding said rezoning have been duly published in The Champion, the Official News Organ of Tucker; and

**WHEREAS:** A Public Hearing was held by the Mayor and City Council of Tucker on March 11, 2024 and April 8, 2024;

**WHEREAS:** The Mayor and City Council is the governing authority for the City of Tucker;

**WHEREAS:** The Mayor and City Council has reviewed the major modification/rezoning request based on the criteria found in Section 46-1560 of the Zoning Ordinance of the City of Tucker;

**NOW THEREFORE,** the Mayor and City Council of the City of Tucker while in Regular Session on April 8, 2024 hereby ordains and approves rezoning RZ-24-0001 to allow for the following changes in conditions:

1. The use of the subject property shall be limited to retail and office uses.
2. The new parking area at the rear shall be paved in a dust-free, all-weather material such as asphalt, concrete, or pervious pavers in accordance with Sec. 46-1459 of the Tucker Zoning Ordinance.
3. One native hardwood tree shall be planted in the front yard to replace the 37” water oak that was removed per PT23-0010.
4. No parking spaces shall be permitted between the building and Fellowship Road.
5. The property shall be limited to a single curb cut on Fellowship Road.
6. Owner/Developer shall dedicate at no cost to the City of Tucker such additional right-of-way to have a minimum of 30’ from the centerline of Fellowship Road.

**SO EFFECTIVE** this 8<sup>th</sup> day of April 2024.

Approved by:

---

Frank Auman, Mayor

Attest:

\_\_\_\_\_  
Bonnie Warne, City Clerk

SEAL



# City of Tucker

**Land Use Petition:** RZ-24-0001  
**Planning Commission:** February 15, 2024  
**Mayor and City Council, 1<sup>st</sup> Read:** March 11, 2024  
**Mayor and City Council, 2<sup>nd</sup> Read:** April 8, 2024

---

**PROJECT LOCATION:** 2212 Fellowship Road

**APPLICATION NUMBER** RZ-24-0001

**DISTRICT/LANDLOT(S):** Land District 18, Land Lot 213

**ACREAGE:** .28 acres

**EXISTING ZONING** DT-2 (Downtown Corridor)

**EXISTING LAND USE** Vacant

**PROPOSED ZONING** DT-2 (Downtown Corridor)

**OVERLAY DISTRICT:** N/A

**APPLICANT:** Thy Pham

**OWNER:** Thy Pham

**PROPOSED DEVELOPMENT:** Major modification of existing conditions CZ-80075

**STAFF RECOMMENDATION:** **Approval with conditions of RZ-24-0001**

## Project Data and Background

The applicant is requesting a major modification to a condition of zoning placed on the property in 1980. On September 23, 1980, the DeKalb County Board of Commissioners approved rezoning petition CZ-80075 to rezone the property from R-75 to OI (Office Institutional) with the condition that the existing structure be used for business or professional office use only. The applicants are petitioning to modify the condition of zoning to allow a compound pharmacy, which is considered a retail use in the City of Tucker zoning ordinance.

When the City of Tucker was incorporated, the property at 2212 Fellowship Road was zoned OI (Office Institutional) and located in the Downtown Tucker Overlay. In 2019, the City of Tucker converted the overlay to new special zoning districts and rezoned the subject property to DT-2.

Currently vacant, the property has been used as a residential home for many years. According to the DeKalb County Property Appraisal website, the one-story structure is approximately 1,302 square feet and was constructed in 1952.

The applicants propose no changes to the exterior of the building but will be completing interior modifications to convert the space to a compound pharmacy. They will also be adding two parking spaces at the rear of the building. Post construction, the impervious lot coverage will be 37.6%, which is well below the maximum allowed of 80%.

The compound pharmacy is proposing to be open Monday through Friday, from 9:30 am to 4:00 pm.

### **CHARACTER AREA (Future Land Use)**

The subject parcel is in the Downtown Character Area on the Future Land Use Map. Primary Land Uses in the Downtown Character Area include retail and service commercial uses, so a compounding pharmacy is compatible with the Character Area.

Development strategies for the Downtown Character Area are designed to foster a relatively high-density mix of retail, office, services and employment.

- Encouraging new development and redevelopment that preserves downtown's special small-town qualities and is designed to complement the size and style of Tucker's older buildings.

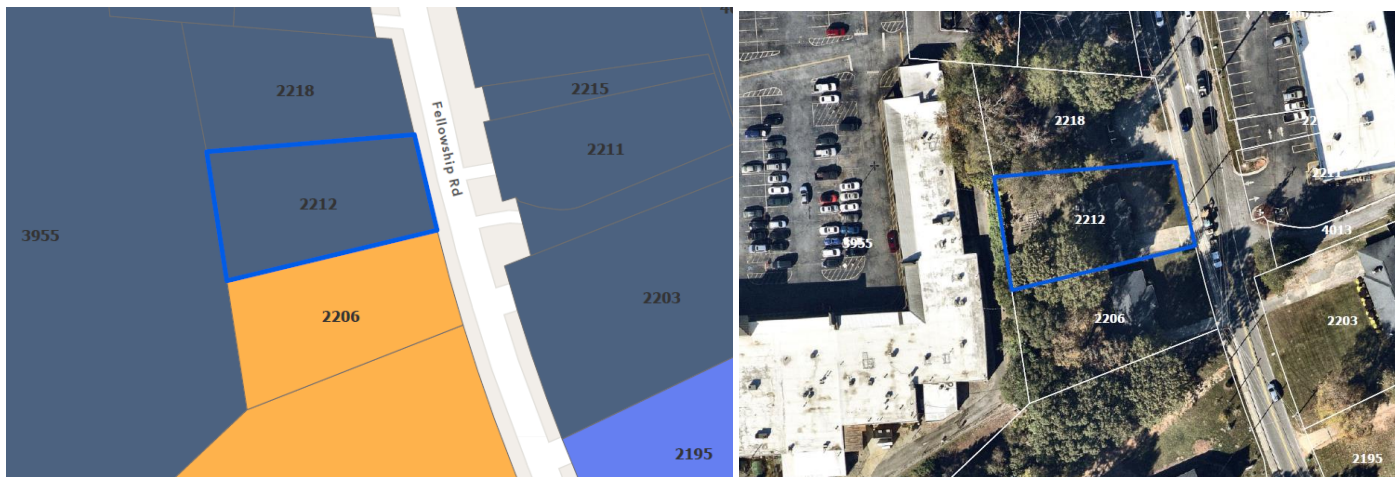
### **PUBLIC PARTICIPATION PLAN REPORT**

Four guests attended the Neighborhood Meeting held on the property at 7 PM on October 17, 2023. The guests explained that homelessness is an issue in the neighborhood, and asked questions about the layout of the pharmacy and how guests would pick up prescription medication. They did not have any objections or request any alternatives to the proposal.



**NEARBY/SURROUNDING LAND ANALYSIS**

Adjacent & Surrounding Properties	Zoning	Existing Land Use
Adjacent: North	DT-2	Tucker Pet Supply
Adjacent: East	DT-2 (across Fellowship Road)	Dollar General Store
Adjacent: South	R-75	Residential
Adjacent: West	DT-2	Tucker Town Square



*Zoning Map and Aerial Image*

**Rezoning (RZ-24-0002)**

Criteria (standards and factors) for rezoning decisions are provided in Section 46-1560 of the City of Tucker Zoning Ordinance. The applicant is required to address these criteria (see application); below are staff’s findings which are independent of the applicant’s responses to these criteria.

**1. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan.**

The proposed zoning classification meets the policy and intent of the Tucker Tomorrow comprehensive plan. DT-2 zoning permits a pharmacy by right, and the applicants would be able to locate their business on the subject property if the 1980 zoning condition did not restrict the use to business or professional offices.

**2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property or properties.**

The property to the north is a retail pet supply store, and the property to the south on Fellowship Road is used residentially. Behind and to the west of the property is a commercial retail center anchored by Ace Hardware. Dollar General is across the street to the east. A traditional pharmacy with a large retail component could be incompatible with the residential use to the south, however,

a compound pharmacy is less intense and is therefore more compatible with the adjacent land uses. The applicant expects approximately ten customers a day, which is more consistent with office use. The Trip Generation Report letter suggests that a traditional retail pharmacy use would trigger approximately 156 daily trips (78 in, 78 out).

**3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned.**

The subject property would have reasonable economic use as currently zoned, but the permitted uses are heavily restricted which limits the economic viability of the property.

**4. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property or properties.**

The proposed modification of zoning conditions will not adversely affect the existing use or usability of adjacent or nearby properties. 2212 Fellowship is at the southern boundary of the DT-2 zoning district. The property to the south is zoned R-75 and is used residentially, but it is the only remaining residential use on the west side of the Fellowship Road for approximately 1,000 feet.

**5. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.**

The pandemic lessened demand for office space. Allowing retail use on the property offers a use that is permitted by right in the DT-2 zoning district.

**6. Whether the zoning proposal will adversely affect historic buildings, site, districts, or archaeological resources.**

There are no known historic buildings, sites, districts or archaeological resources on the subject properties.

**7. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

The proposed zoning modification will not result in excessive or burdensome use of existing streets, transportation facilities, utilities, or schools as no new development is proposed. The compound pharmacy expects approximately 10 customers per day, which is similar to that of an office user.

**8. Whether the zoning proposal adversely impacts the environment or surrounding natural resources.**

The proposed zoning will not adversely impact the environment or surrounding natural resources as no new development is proposed.

**CONCLUSION**

Staff finds that the proposed zoning modification to allow retail use aligns with the surrounding land uses and the Downtown Character Area. Additionally, allowing retail use will help the city achieve the vision outlined in the Downtown Character Area.

Therefore, Staff recommends **APPROVAL WITH CONDITIONS**.

**Staff Recommendation**

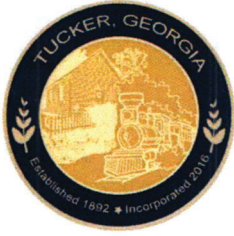
Based upon the findings and conclusions herein, Staff recommends **APPROVAL WITH CONDITIONS** of Land Use Petition **RZ-24-0001**.

1. The use of the subject property shall be limited to retail and office uses.
2. The new parking area at the rear shall be paved in a dust-free, all-weather material such as asphalt, concrete, or pervious pavers in accordance with Sec. 46-1459 of the Tucker Zoning Ordinance.
3. One native hardwood tree shall be planted in the front yard to replace the 37" water oak that was removed per PT23-0010.
4. No parking spaces shall be permitted between the building and Fellowship Road.
5. The property shall be limited to a single curb cut on Fellowship Road.
6. Owner/Developer shall dedicate at no cost to the City of Tucker such additional right-of-way to have a minimum of 30' from the centerline of Fellowship Road.

**Planning Commission Recommendation**

Based upon the findings and conclusions herein, at its February 15, 2024 public hearing, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of **RZ-24-0001** subject to staff conditions (no amendments):

1. The use of the subject property shall be limited to retail and office uses.
2. The new parking area at the rear shall be paved in a dust-free, all-weather material such as asphalt, concrete, or pervious pavers in accordance with Sec. 46-1459 of the Tucker Zoning Ordinance.
3. One native hardwood tree shall be planted in the front yard to replace the 37" water oak that was removed per PT23-0010.
4. No parking spaces shall be permitted between the building and Fellowship Road.
5. The property shall be limited to a single curb cut on Fellowship Road.
6. Owner/Developer shall dedicate at no cost to the City of Tucker such additional right-of-way to have a minimum of 30' from the centerline of Fellowship Road.



Planning and Zoning  
 1975 Lakeside Parkway, Suite 350  
 Tucker, GA 30084  
 Phone: 678-597-9040  
 Website: www.tuckerga.gov

# Land Use Petition Application

Type of Application:  Rezoning  Comprehensive Plan Amendment  Special Land Use Permit  
 Concurrent Variance  Modification

## APPLICANT INFORMATION

Applicant is the:  Property Owner  Owner's Agent  Contract Purchaser

Name: *Tuy Pham*

Address: *2459 Elizabeth Ann Ln NE*

City: *Atlanta* State: *GA* Zip: *30324*

Contact Name:

Phone: *404-514-7802* Email: *TERXACD.COM*

## OWNER INFORMATION

Name: *"Same"*

Address:

City: State: Zip:

Contact Name:

Phone: Email:

## PROPERTY INFORMATION

Property Address: *2212 Fellowship Rd Tucker, GA 30084*

Present Zoning District(s): *DT-2* Requested Zoning District(s): *DT-2*

Present Land Use Category: *Downtown* Requested Land Use Category: *Downtown*

Land District: *18* Land Lot(s): *213* Acreage: *0.28*

Proposed Development: *Major modification to allow compounding pharmacy in existing building.*

Concurrent Variance(s): *N/A*

## RESIDENTIAL DEVELOPMENT

No. of Lots/Dwelling Units: Dwelling Unit Size (Sq. Ft.): Density:

## NON-RESIDENTIAL DEVELOPMENT

No. of Buildings/Lots: Total Building Sq. Ft.: Density:

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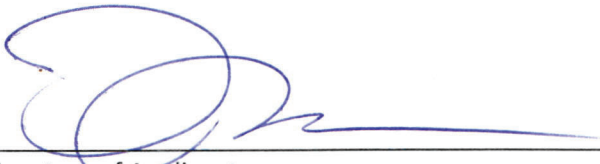
01/04/2024

LAND USE PETITION APPLICATION - REVISED OCTOBER 24, 2022

PLANNING & ZONING  
 DEPARTMENT

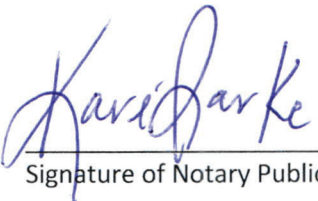
**APPLICANT'S CERTIFICATION**

THE UNDERSIGNED BELOW STATES UNDER OATH THAT THEY ARE AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 24 MONTHS FROM THE DATE OF LAST ACTION BY THE MAYOR AND CITY COUNCIL.

  
Signature of Applicant

*9/7/2023*  
Date

*Thy Pham - Owner*  
Type or Print Name and Title

  
Signature of Notary Public

*9/7/23*  
Date

**KARE PARKER**  
NOTARY PUBLIC  
Newton County  
State of Georgia  
My Comm. Expires Feb. 1, 2027

Notary Seal

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CITY OF TUCKER

01/04/2024

LAND USE PETITION APPLICATION - REVISED OCTOBER 24, 2022

PLANNING & ZONING  
DEPARTMENT

**PROPERTY OWNER'S CERTIFICATION**

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of DeKalb County, Georgia, of the property identified below, which is the subject of the attached Land Use Petition before the City of Tucker, Georgia. As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Rezoning (RZ), Comprehensive Plan Amendment (CA), Special Land Use Permit (SLUP), Modification (M) & Concurrent Variance (CV) in request of the items indicated below.

I, Thy Pham, authorize, Thy Pham,  
(Property Owner) (Applicant)

to file for \_\_\_\_\_, at 2215 Fellowship Rd Tucker, GA  
(RZ, CA, SLUP, M, CV) (Address) 30084

on this date September 7, 20 23  
(Month) (Day)

- I understand that if a rezoning is denied or assigned a zoning classification other than the classification requested in the application, then no portion of the same property may again be considered for rezoning for a period of twenty-four (24) months from the date of the mayor and city councils' final decision.
- I understand that if an application for a special land use permit affecting all or a portion of the same property for which an application for the same special land use was denied shall not be submitted before twenty-four (24) months have passed from the date of final decision by the mayor and city council on the previous special land use permit.
- I understand that failure to supply all required information (per the relevant Applicant Checklists and requirements of the Tucker Zoning Ordinance) will result in REJECTION OF THE APPLICATION.
- I understand that preliminary approval of my design plan does not authorize final approval of my zoning or signage request. I agree to arrange additional permitting separately, after approval is obtained.
- I understand that representation associated with this application on behalf of the property owner, project coordinator, potential property owner, agent or such other representative shall be binding.

[Signature] 9/7/2023  
Signature of Property Owner Date

Thy Pham, Owner  
Type or Print Name and Title

Kare Parker 9/7/23  
Signature of Notary Public Date

**KARE PARKER**  
NOTARY PUBLIC  
Newton County  
State of Georgia  
My Comm. Expires Feb. 1, 2027

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CITY OF TUCKER

**01/04/2024**  
LAND USE PETITION APPLICATION - REVISED OCTOBER 24, 2022

KARE PARKER  
NOTARY PUBLIC  
Newton County  
State of Georgia  
My Comm. Expires 12/31/2024

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CITY OF TUCKER

01/04/2024

RZ-24-0001

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PLANNING  
DEPARTMENT

# ANALYSIS OF STANDARDS/CRITERIA

## **ZONING MAP AMENDMENT CRITERIA**

Section 46-1560 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant to the exercise of the city's zoning powers and shall govern the review of all proposed amendments to the Official Zoning Map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

## **COMPREHENSIVE PLAN MAP AMENDMENT CRITERIA**

Section Sec. 46-1559 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant for evaluating applications for amendments to the comprehensive plan map and shall govern the review of all proposed amendments to the comprehensive plan map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

## **SPECIAL LAND USE PERMIT CRITERIA**

Section 46-1594 and 46-1595 of the City of Tucker Zoning Ordinance lists specific criteria that shall be considered by the planning and zoning department, the planning commission, and the mayor and city council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the mayor and city council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and the application is in compliance with all applicable regulations in Article 4. The applicant shall write a detailed written analysis of criteria as it relates to their proposed project.

## **CONCURRENT VARIANCE CRITERIA**

Section 46-1633 of the City of Tucker Zoning Ordinance lists specific criteria the board shall use in determining whether or not to grant a variance. The applicant shall provide a written analysis of how the request complies with this criteria, if they are requesting a concurrent variance.

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PLANNING & ZONING  
DEPARTMENT



**DISCLOSURE REPORT FORM**

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.

**CIRCLE ONE:** YES (if YES, complete points 1 through 4);

**NO** (if NO, complete only point 4)

1. **CIRCLE ONE:** **Party to Petition** (If party to petition, complete sections 2, 3 and 4 below)

**In Opposition to Petition** (If in opposition, proceed to sections 3 and 4 below)

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition:

1. _____	5. _____
2. _____	6. _____
3. _____	7. _____
4. _____	8. _____

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Thy Pham

Signature: 

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Date: 10/19/2023

01/04/2024

November 26, 2023

PhamCareRx LLC  
DBA: Atlanta City Pharmacy: Compounding & Wellness  
2215 Cheshire Bridge Rd NE Ste D  
Atlanta, GA 30324

Letter of Intent

PhamCareRx LLC (DBA: Atlanta City Pharmacy: Compounding & Wellness) intends to do an interior renovation, and use the existing building at 2212 Fellowship Rd, Tucker, GA 30084, as a compounding pharmacy.

Pharmacy compounding is the creation of a unique medical preparation or drug by a compounding pharmacist. It all starts with a problem: the child who can't swallow pills, the patient with a gluten allergy, the much-needed drug that's in short supply. For whatever reason, many people aren't served by mass-produced medications. A compounding pharmacist is able to provide a solution.

Our Vision for PhamCareRx LLC is to provide quality and affordable, non-sterile compounding medications to the public. PhamCareRx LLC is an independent, family owned and operated business since 2013.. We are currently located at 2215 Cheshire Bridge Rd NE Ste D, Atlanta, GA 30324, and we intend to move our business to Tucker, GA in 2024.

We look forward to working with the city of Tucker towards the renovation of the existing building and hope to be completely moved in by Spring 2024.

Sincerely,



Thy Pham  
Owner/ Manager

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01/04/2024

PLANNING & ZONING  
DEPARTMENT  
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## Analysis of Criteria

1. Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan.
  - A. Yes, the zoning is in conformity with the Tucker downtown comprehensive plan. PharmCareRx LLC is maintaining the original aesthetic building façade.
  
2. Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property or properties.
  - A. Yes, the compounding pharmacy is suitable with the development of adjacent and nearby property or properties. There is a pet retail store adjacent to the property. Behind the building is a huge shopping plaza with Ace hardware, restaurants, and various shops. Across directly to the building is a General Dollar retail store. However, to the left of the building is a rental property. Adjacent to the rental property is a church that is being revitalized.
  
3. Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned.
  - A. The property can have some economic uses as currently zoned but not for what we need to do with the building.
  
4. Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property or properties.
  - A. The business will not adversely affect the adjacent or nearby properties since there is minimum traffic to the business. We expected less than 10 visitors a day during business hours from Monday to Friday, 9:30 am to 4 pm.
  
5. Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.
  - A. There are no additional exterior changes to the existing building. The renovation will be the interior of the existing building to accommodate the pharmacy workflow.
  
6. Whether the zoning proposal will adversely affect historic buildings, sites, districts, or archaeological resources.
  - A. The business will not adversely affect historic buildings, sites, districts, or archaeological resources. We are not making any exterior alteration to the existing building except for proposed two parking spaces in the rear of the building.

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7. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools

A. The compounding pharmacy will not cause an excessive or burdensome use of the existing streets, transportation facilities, utilities, or school. We expect less than 10 guests a day during business hours.

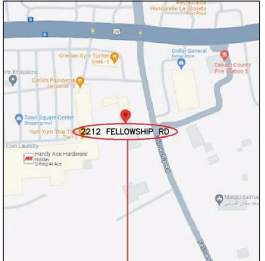
8. Whether the zoning proposal adversely impacts the environment or surrounding natural resources.

A. The zonal proposal will not adversely impact the environment or surrounding natural resources. Since we are not making any exterior alterations and there is minimal traffic impact.

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DEPARTMENT



SITE LOCATION MAP (NOT TO SCALE)

FLOOD NOTE:

I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE TO THIS OPINION FOR SAID PARCEL.

THE FLOOD INFORMATION ON THIS PLAT HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA & SECOND OPINION OR INFORMATION SURVEYOR IS NOT RESPONSIBLE FOR MORE ACCURATE INFORMATION, FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.

FUTURE FLOOD DISCLAIMER:

THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

SURVEY NOTES:

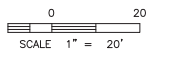
- 1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN LOST OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO RECORDING MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CAN NOT BE SCANNED OR ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITESPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

ZONING NOTE: BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT. ZONING INFORMATION SHOWN HEREON WAS DERIVED FROM ONLINE SOURCE MUNCICODS.



PROPERTY IS ZONED DT-2 CITY OF TUCKER. BUILDING SETBACKS: FRONT 5', SIDE 0', REAR 20', MAX LOT COVERAGE 80%, MAX BUILDING HEIGHT 33' (3 STORIES)



RZ-24-0001

RECEIVED CITY OF TUCKER 01/04/2024 PLANNING & ZONING DEPARTMENT



Table with 2 columns: Description and Value. Includes Total Land Area (12216.96 SF / 0.280 AC), Allowable Lot Coverage (9773.57 SF / 0.224 AC / 80.0%), and Existing Lot Coverage (4547.62 SF / 0.104 AC / 37.22%).

Table with 2 columns: Field and Value. Includes Lot 2, VERA M. FRAZIER PROPERTY SUBDIVISION, Land Lot 213, 18TH DISTRICT, DEKALB COUNTY, GEORGIA, DB.29536/PG.568, Field Work Date Dec 21, 2023, Printed/Signed December 22, 2023, All matters pertaining to title are excepted, Paper size: 18" x 24".

VY/AP COORD #20232044 DWG #20232044

SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES

EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 1 OF 1 THY PHAM PROPERTY ADDRESS: 2212 FELLOWSHIP RD TUCKER, GA 30064

VERTICAL DATUM NAVD88

EXIST. HOUSE FFE MAIN 1106.74

- LEGEND: Symbols for various utilities and features like electric meter, gas meter, water valve, etc.

- LINE INDICATORS: Symbols for easements, fence lines, power lines, etc.

- SYMBOLS: Symbols for electric panel, water meter, air conditioner, etc.



01/04/2024

PLANNING & ZONING  
DEPARTMENT

RZ-24-0001

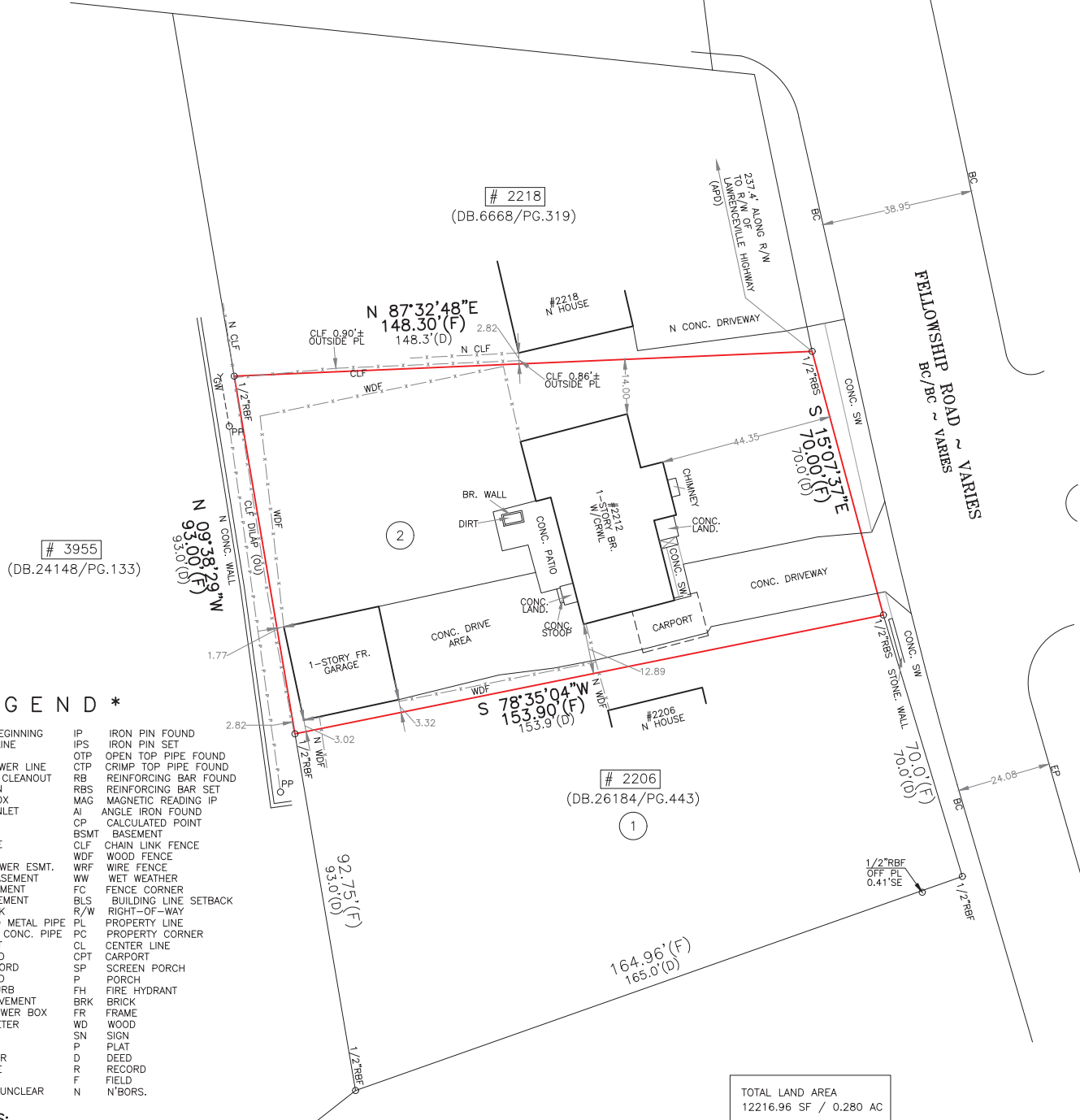
THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITE PLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

\* LINE INDICATORS \*

INDICATES FENCE LINE

\* SYMBOLS \*

STAIRS  
POWER POLE



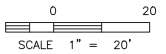
\* LEGEND \*

- |                           |                           |
|---------------------------|---------------------------|
| POB POINT OF BEGINNING    | IP IRON PIN FOUND         |
| LLL LAND LOT LINE         | IPS IRON PIN SET          |
| MH MAN HOLE               | OTP OPEN TOP PIPE FOUND   |
| SSL SANITARY SEWER LINE   | CTP CRIMP TOP PIPE FOUND  |
| CSL SAN SEWER CLEANOUT    | RTB REINFORCING BAR FOUND |
| CB CATCH BASIN            | RBS REINFORCING BAR SET   |
| JB JUNCTION BOX           | MAG MAGNETIC READING IP   |
| DI DRAINAGE INLET         | AI ANGLE IRON FOUND       |
| YI YARD INLET             | CP CALCULATED POINT       |
| HW HEAD WALL              | BSMT BASEMENT             |
| PP POWER POLE             | CLF CHAIN LINK FENCE      |
| PW POWER LINE             | WDF WOOD FENCE            |
| SSE SANITARY SEWER ESMT.  | WRF WIRE FENCE            |
| DE DRAINAGE EASEMENT      | WW WET WEATHER            |
| UE UTILITY EASEMENT       | FC FENCE CORNER           |
| AE ACCESS EASEMENT        | BLS BUILDING LINE SETBACK |
| TB TOP OF BANK            | R/W RIGHT-OF-WAY          |
| CMP CORRUGATED METAL PIPE | PL PROPERTY LINE          |
| RCP REINFORCED CONC. PIPE | PC PROPERTY CORNER        |
| APP AS PER PLAT           | CL CENTER LINE            |
| APD AS PER DEED           | CPT CARPORT               |
| APR AS PER RECORD         | SP SCREEN PORCH           |
| APF AS PER FIELD          | P PORCH                   |
| BC BACK OF CURB           | FH FIRE HYDRANT           |
| EP EDGE OF PAVEMENT       | BRK BRICK                 |
| EB ELECTRIC POWER BOX     | FR FRAME                  |
| EM ELECTRIC METER         | WD WOOD                   |
| GM GAS METER              | SN SIGN                   |
| GV GAS VALVE              | P PLAT                    |
| WM WATER METER            | D DEED                    |
| WV WATER VALVE            | R RECORD                  |
| OH OVERHANG               | F FIELD                   |
| OU OWNERSHIP UNCLEAR      | N N'BSRS.                 |

SURVEY NOTES:

- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.
- SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREON. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

TOTAL LAND AREA  
12216.96 SF / 0.280 AC



LOT 2	BLOCK	BOUNDARY SURVEY PREPARED FOR:	SHEET 1 OF 1
VERA M. FRAZIER PROPERTY SUBDIVISION	UNIT	THY PHAM	
LAND LOT 213	18TH DISTRICT	SECTION	
DEKALB COUNTY, GEORGIA	DB.29536/PG.568	PB./PG.	
FIELD WORK DATE NOVEMBER 16, 2023	PRINTED/SIGNED NOVEMBER 20, 2023	PROPERTY ADDRESS:	2212 FELLOWSHIP RD TUCKER, GA 30064
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"		
<p>THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000 FEET. AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.</p>			
VY COORD #20232044 DWG #20232044	<p>Page 142 of 147</p> <p><b>SURVEY LAND EXPRESS, INC</b></p> <p>LAND SURVEYING SERVICES</p>	<p>24 LENOX POINTE ATLANTA, GA 30324 FAX: 404-651-0941 TEL: 404-252-5747 INFO@SURVEYLANDEXPRESS.COM</p>	



EXIST. HOUSE FFE  
MAIN 1106.74

FFE IS MEASURED AT THE FRONT DOOR THRESHOLD

INDICATES PROPOSED CONTOURS

INDICATES EXISTING CONTOURS

NO GRADED SLOPES SHALL EXCEED 3H:1V

THE PLACEMENT OF DUMPSTERS AND THE PARKING OF AUTOMOBILES IS PROHIBITED IN THE RIGHT-OF-WAY.

NO BURY PITS ON THE PROPERTY

SILT FENCE HAND DUG IN CRZ

NO TREES TO BE REMOVED

NO WATERS OF THE STATE EXIST WITHIN 200' OF THE PROJECT SITE

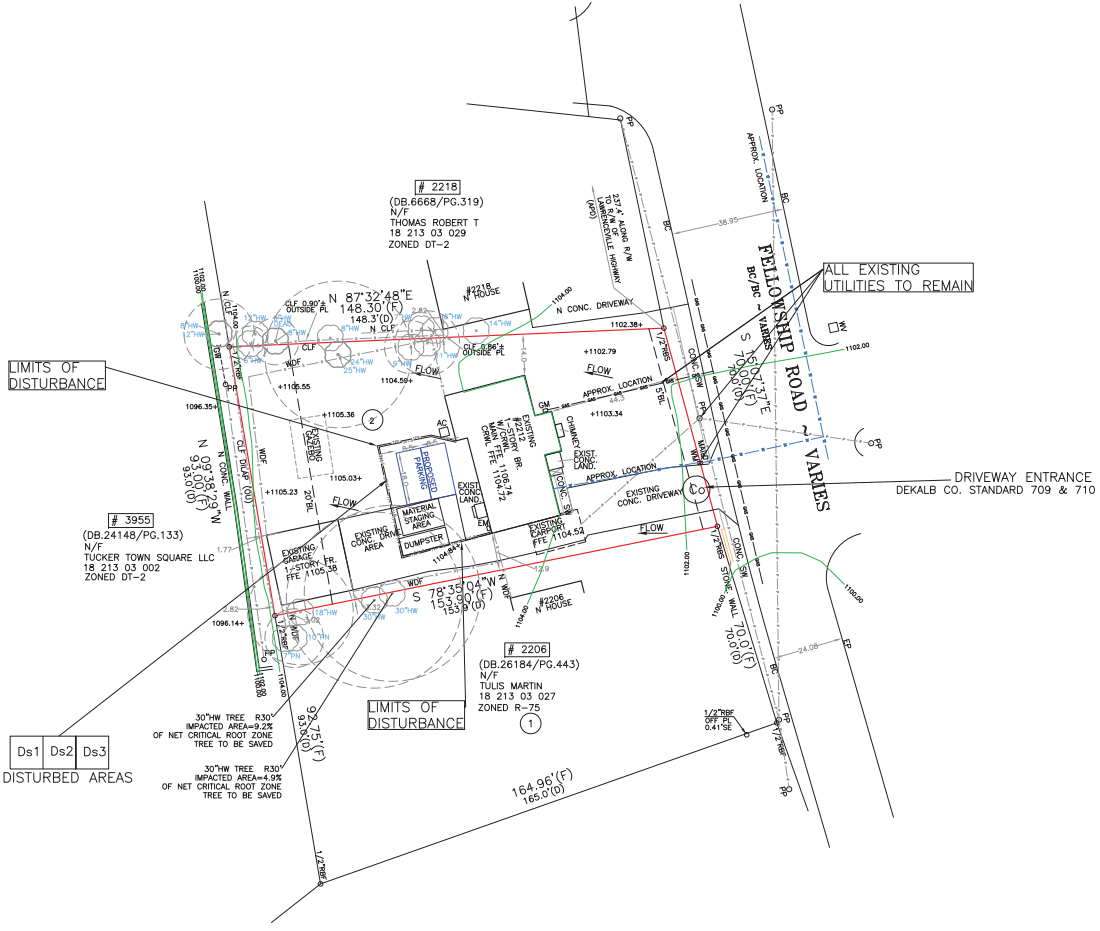
- TREE SAVE STATUS:
- X INDICATES TREE TO BE REMOVED
- NEW DOWNSPOUT COLLECTORS (TYP) AS NEEDED TO DIRECT ROOF RUNOFF TO UNDERGROUND STONE STORAGE
- CONSTRUCTION ENTRANCE/EXIT
- INDICATES 541 TYPE S SILT FENCE
- INDICATES 541 TYPE H6 HAYBALES
- INDICATES TREE PROTECTION FENCE
- Ds1 DISTURBED AREA STABILIZATION (W/ MULCH)
- Ds2 DISTURBED AREA STABILIZATION (W/ TEMPORARY VEGETATION)
- Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)
- Ds4 DISTURBED AREA STABILIZATION (WITH SOCCING)

\* LEGEND \*

- APD AS PER DEED
- AC ACCESS EASEMENT
- APF AS PER FIELD
- AI ANGLE IRON FOUND
- AF ANGLE IRON FOUND
- APR AS PER RECORD
- APZ AS PER ZONING
- B BACK OF CURB
- BLK BLOCK
- BLD BUILDING LINE SETBACK
- BR BRICK
- CBX CABLE BOX
- CL CENTER LINE
- CLF CHAIN LINK FENCE
- CM CASTRAL MAP
- COMP CORRUGATED METAL PIPE
- CITY CITY OF ATLANTA
- CD SAN SEWER CLEANOUT
- CAO CALCULATOR POINT
- CPT CARPORT
- CTP CRAMP TOP PIPE FOUND
- D DEED
- DE DRAINAGE EASEMENT
- DI DRAINAGE INLET
- EB ELECTRIC POWER BOX
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- F FIELD
- FC FENCE CORNER
- FP FIRE HYDRANT
- FP FENCE POST
- FR FRAME
- SL GAS LINE
- GM GAS METER
- GV GAS VALVE
- GW GUY WIRE
- HW HEAD WALL
- HW HARDWOOD TREE
- CM IRRIGATION CONTROL METER
- IFP IRON PIN FOUND
- IRF IRON ROD FOUND
- IR IRON ROD FOUND
- IM IRRIGATION METER
- IV IRRIGATION VALVE
- JB JUNCTION BOX
- LP LIGHT POLE
- ULL LAND LOT LINE
- MR MAGNETIC READING
- MON MAGNOLIA TREE
- MAN MAIN WALK
- MTF METAL FENCE
- N NUBS
- OH OVERHANG
- CTP OPEN TOP PIPE FOUND
- OU OWNERSHIP UNCLEAR
- P POUGH
- PC PROPERTY CORNER
- PL PROPERTY LINE
- PN PINE TREE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PP POWER POLE
- PL POWER LINE
- (P) PLAT
- R RECORD
- RFB REINFORCING BAR FOUND
- RBS REINFORCING BAR SET
- RSC REINFORCED CONC. PIPE
- R/W RIGHT-OF-WAY
- SN SIGN
- SLL SANITARY SEWER LINE
- SS SANITARY SEWER EASEMENT
- SP SCREENED PORCH
- TB TOP OF BANK
- TP TRAFFIC POLE
- LE UTILITY EASEMENT
- WD WOOD
- WSP WOOD FENCE
- WDK WOOD DECK
- WL WATER LINE
- WM WATER METER
- WRF WIRE FENCE
- WV WATER VALVE
- WM WET WEATHER
- YI YARD INLET
- X- FENCE
- INDICATES STAIRS
- INDICATES BUSHES

- \* SYMBOLS \*
- ELECTRIC PANEL/WATER
  - WATER METER
  - AIR CONDITIONER
  - GAS METER
  - JUNCTION BOX
  - SANITARY SOWER MANHOLE
  - STONE MANHOLE
  - SIG MANDER
  - LAMP POST
  - METAL POST
  - WATER VALVE
  - HEADBALL
  - STAIRS
  - DRAINAGE INLET
  - FIRE HYDRANT

- \* LINE INDICATORS \*
- - - - - INDICATES SANITARY SEWER LINE
  - - - - - INDICATES POWER LINE
  - - - - - INDICATES WATER LINE
  - - - - - INDICATES GAS LINE
  - - - - - INDICATES FENCE LINE
  - - - - - INDICATES DRAINAGE LINE
  - - - - - INDICATES EASEMENT



Ds1 Ds2 Ds3

ALL DISTURBED AREAS

TOTAL LAND AREA  
12216.96 SF / 0.280 AC

ALLOWABLE LOT COVERAGE  
9773.57 SF / 0.224 AC / 80.0%

EXISTING LOT COVERAGE (PRE CONSTRUCTION)  
4547.62 SF / 0.104 AC / 37.22%

PROPOSED LOT COVERAGE (POST CONSTRUCTION)  
4528.47 SF / 0.103 AC / 37.06%

DISTURBED AREA  
1091.09 SF / 0.025 AC

EROSION CONTROL LEGEND

Ds1 DISTURBED AREA STABILIZATION (W/ MULCHING ONLY)	Ds1 A TEMPORARY COVER OF PLANT RESIDUES APPLIED TO THE SOIL SURFACE FOR A PERIOD OF (6) MONTHS OR LESS WHEN SEEDING IS NOT PRACTICAL.
Ds2 DISTURBED AREA STABILIZATION (W/ TEMPORARY SEEDING)	Ds2 ESTABLISHING A TEMPORARY NEGATIVE COVER WITH FAST GROWING SEEDING ON SEE EROSION CONTROL NOTES.
Ds3 DISTURBED AREA STABILIZATION (W/ PERMANENT VEGETATION)	Ds3 ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES OR LEGUMES ON DISTURBED AREAS. SEE ENLARGED PLANS

TREE PROTECTION: (Tr)

- ALL THE SAVE FENCING TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL THE FINAL LANDSCAPING IS INSTALLED.
- NO PARKING, STORAGE, OR OTHER ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- KEEP OUT SIGN.

RELEASED FOR CONSTRUCTION

EROSION CONTROL & GRADING PLAN

LOT 2

VERA M. FRAZER PROPERTY SUBDIVISION

LAND LOT 213 18TH DISTRICT SECTION

DEKALB COUNTY, GEORGIA DB.29036/PG.568

FIELD WORK DATES DEC 21, 2022 PRINTED/SIGNED DECEMBER 23, 2023

ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED PAPER SIZE: 24" x 36"

PROPERTY ADDRESS: 2212 FELLOWSHIP RD TUCKER, GA 30084

RECEIVED SURVEY LAND EXPRESS, INC. LAND SURVEYING SERVICES

24 LINDSEY FOUNTAIN ATLANTA, GA 30324 FAX: 404-851-0941 TEL: 404-252-8747 INFO@SURVEYLANDEXPRESS.COM

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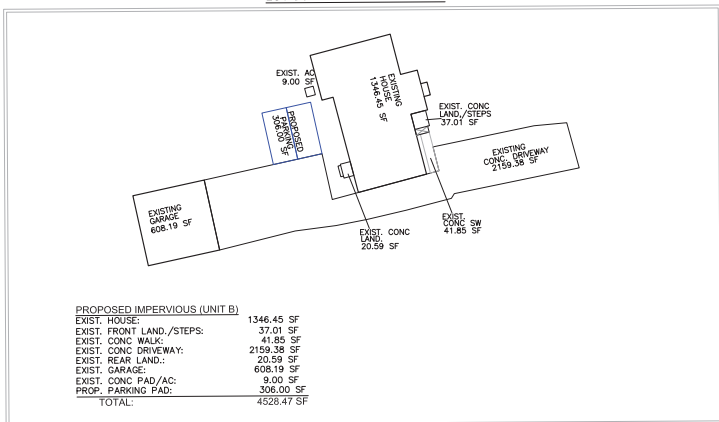
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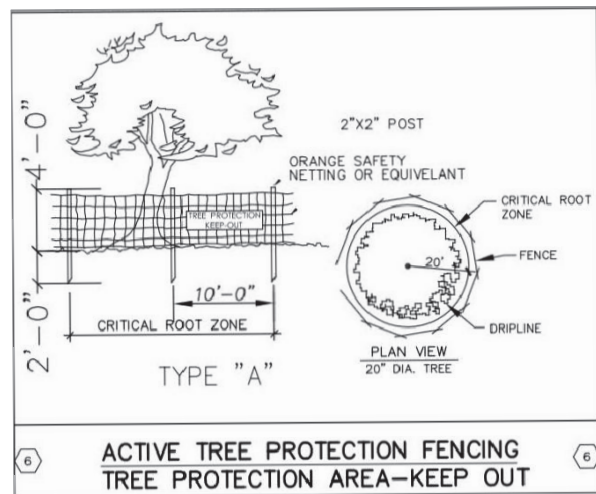
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LOT COVERAGE AREA DETAILS



1. No one **SHALL** encroach, place solvents, building, machinery, building debris or any other material within 6' outside the periphery of the **CRZ** or within any Tree Save Area, transitional buffer zone, stream buffer, or state buffer zone.
  2. All Tree Fence and other tree protection devices must remain in functioning condition until completion of the project or until the CO is issued.
  3. A tree that is designated to be saved, but is damaged during construction, **SHALL** be replaced with 4" caliper trees equal to the unit value of the tree removed. Any specimen tree damaged **SHALL** be replaced with 4" caliper trees equal to 1.5 times the DBH of the damaged specimen tree.
1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
  2. ALL TREE PROTECTION DEVICES, INCLUDING CRITICAL ROOT ZONE (CRZ) PROTECTION, TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
  3. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
  4. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS (CRZ).
  5. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR TWO GROWING SEASONS AFTER THE DATE OF FINAL INSPECTION.



### Hay or Straw Bales (Sd1-Hb)

- Place in a single row, lengthwise, on the contour.
- Embed in the soil to a depth of 4 inches.
- Secure with stakes or bars driven through the bales or by other adequate means.
- Place in areas of low rate sheet flow.
- For use on projects with a duration of three months or less.

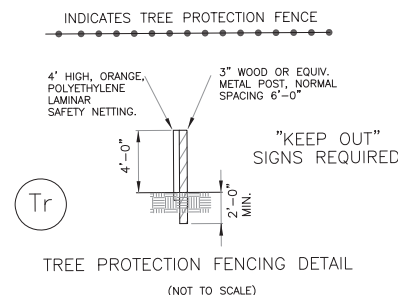
ANGLE FIRST STAKE TOWARDS PREVIOUSLY Laid BALE

WIRE OR NYLON BOUND BALES PLACED ON THE CONTOUR

EMBEDDED 4" DEEP

ANGLE STEEL PICKETS OR 2" x 2" STRIPS 1" TO 2" IN GROUND

Figure 1. Straw Bale Barrier Installation Requirements



### TREE REPLACEMENT PLAN

The TRP shall include planting schedules with botanical and common tree names, quantity, size, spacing, and any special planting notes. Trees used for credit on the TRP must be chosen from the County's approved tree list. At least 50% of replacement trees must be overstory trees. No more than 25% may be of any single species. No more than 25% may be evergreen species.

Tree relocation and credit for existing tree replacement units will be granted to trees relocated on site. Tree relocation is subject to approval of the CA. Existing trees  $\geq 2"$  DBH and  $\geq 7.9'$  may be used for credit on the tree replacement plan.

Unless otherwise approved by the CA, trees selected for replanting must meet the minimum standards as provided in the American Standard for Nursery Stock (ANSI Z60.1) and must be on the County's tree species selection list. Trees selected must be free of injury, pests, disease, nutritional disorders or root defects, and must be in good vigor to assure a reasonable expectation of survival. Standards for Tree and Shrub Planting Manual or a similar publication.

Replanted trees should be ecologically compatible with the site and neighboring area. When practical, replanted trees shall be of the same or similar species as those removed. Trees shall be planted in manner that provides adequate space for nourishment, light, and maturation.

Planting and staking details, as well as other applicable drawings, shall be specified in the TRP.

Diagram illustrating proper planting procedure for a tree or shrub.

Trunk butt junction level with or 1'-2" above existing grade

Backfill with unamended topsoil from below

Staking grade

2'-4" of organic mulch applied over planting area and away from trunk

Burlap, eyes, and wire cut away from visible ball

Rootball sitting directly on top of undisturbed soil

Slope added balls to reduce tension or wide as the rootball diameter

2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

OCCUPANCY CLASSIFICATION : COMMERCIAL OFFICE SPACE  
 YEAR BUILT : 1952  
 EXISTING STRUCTURE SQ' : 1,302 SQ FT.  
 PROPOSED STRUCTURE SQ : N/A.  
 No. STORIES (PROPOSED) : 1  
 LOT SIZE : 13,068 SQ FT  
 MLS : 16865215

The building described in these plans shall be in compliance with the following codes:

- International Building Code, 2021 Edition, with Georgia Amendments
- International Residential Code, 2021 Edition, with Georgia Amendment
- International Fire Code, 2021 Edition, with Georgia Amendment
- International Plumbing Code, 2021 Edition, with Georgia Amendment
- International Mechanical Code, 2021 Edition, with Georgia Amendments
- International Fuel Gas Code, 2021 Edition, with Georgia Amendments
- International Electrical Code, 2021 Edition, (No Georgia Amendments)
- International Energy Code, 2021 Edition, with Georgia Amendments
- NFPA 101, Life Safety Code, 2021 Edition
- Georgia Accessibility Codes

PROPOSED SQUARE FOOTAGE CALCS: N/A

SCOPE OF WORK: INTERIOR RENOVATIONS TO INCLUDE RELOCATION OF NON LOAD BEARING WALLS THROUGHOUT THE UNIT. NEW DOORS, LIGHT ELECTRICAL AND MARKING PARKING SPACES IN REAR OF BUILDING. .

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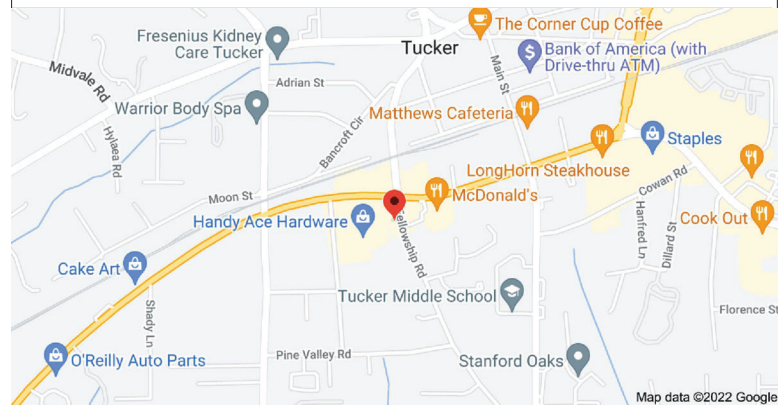
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SHEET No.	
CS	COVER SHEET
A-1	EXISTING CONDITIONS
A-2	PROPOSED DRAWINGS
A-3	ELECTRICAL PLAN
A-4	PLUMBING PLAN
A-5	PARKING PLAN

## VICINITY MAP



## VICINITY MAP

The square footage of a structure is to the nearest whole square foot.

The finished square footage calculations for this building was made based on plan dimensions or digital files, only and may vary from the finished square footage of the structure as built.

HIERO DESIGN  
1896 Fox Chapel Dr SE  
Georgia 30080  
yasin@hierodesign.com



HOME ADDITION  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

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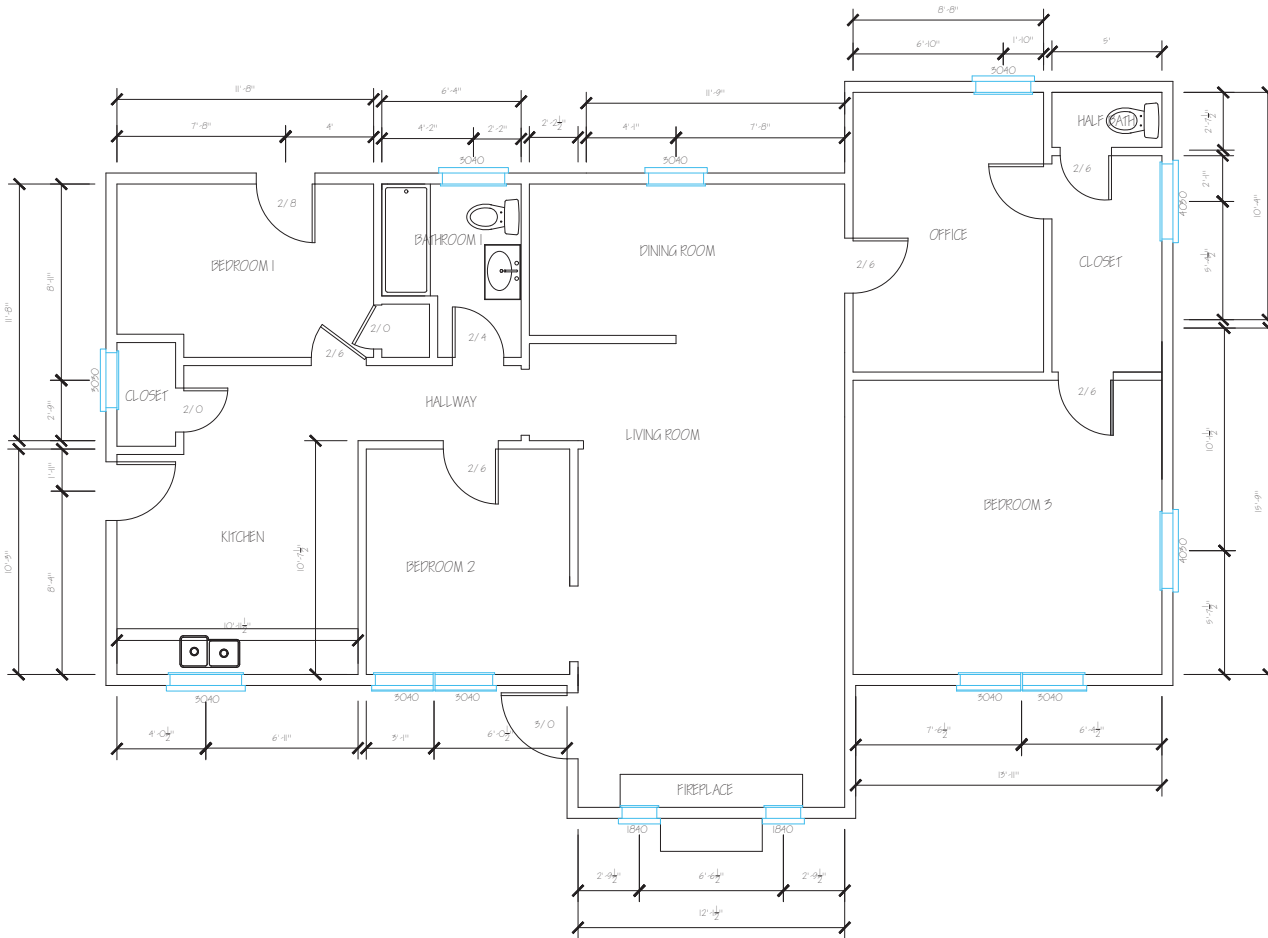
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**LEGEND**

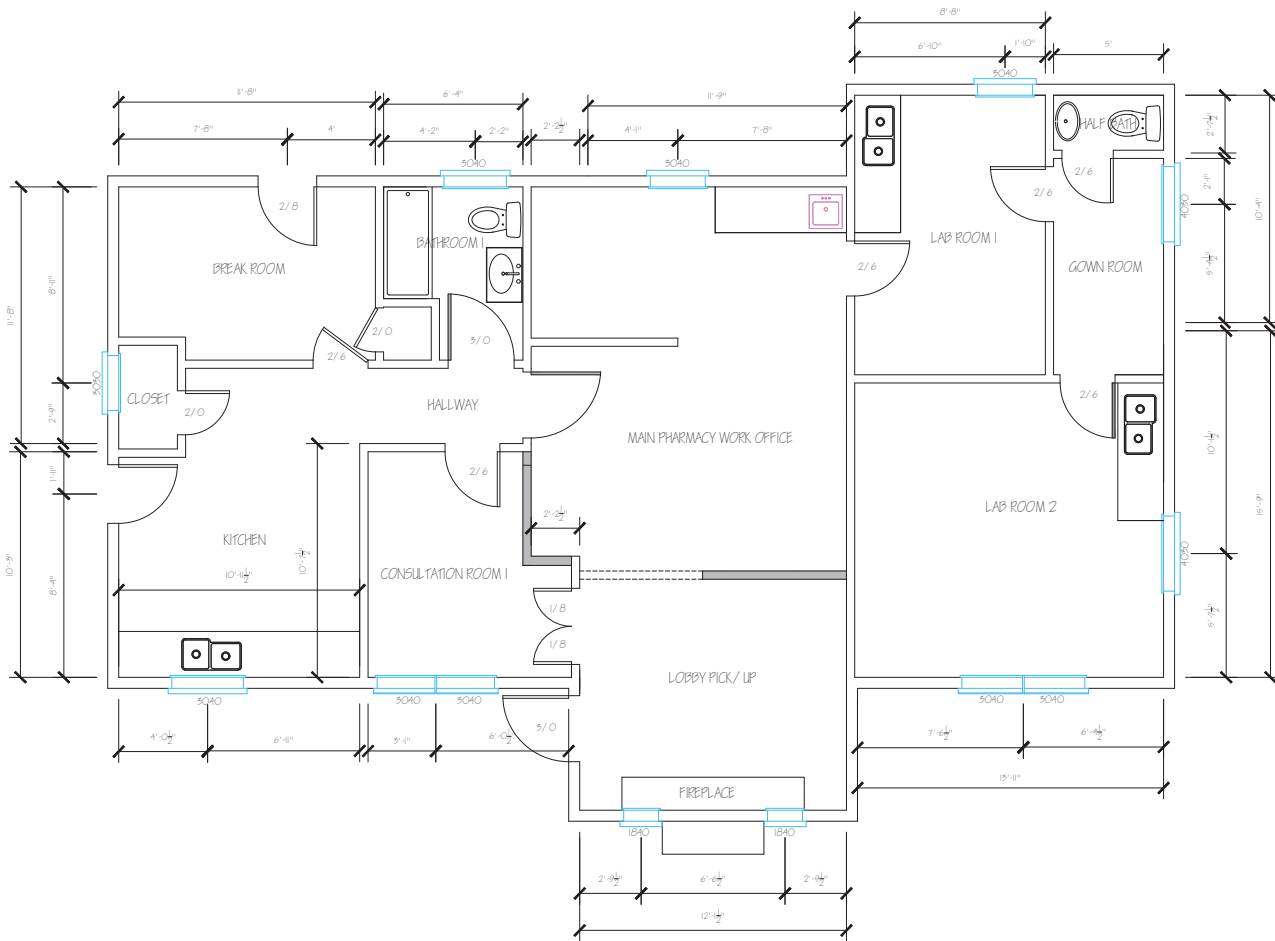
- EXISTING CONSTRUCTION TO REMAIN
- REMOVE EXISTING CONSTRUCTION
- NEW CONSTRUCTION 2 X 4 WD STDS @16" O.C. AND MATCH ADJACENT FINISHES
- NEW CONSTRUCTION
- REMOVE EXISTING CONSTRUCTION

- GENERAL NOTES**
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MFR. RECOMMENDATIONS.
  - IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO PREVENT AGAINST THE BUILD-UP OF MOISTURE OR MOLD.
  - INTERIOR WALL DIMENSIONS ARE TO CENTER OF STUDS.
  - EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
  - CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE PLANS, DETAILS, AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
  - CONTRACTOR SHALL BEAR RESPONSIBILITY FOR VERIFYING COMPLIANCE OF THE SHOP DRAWINGS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO ORDERING MATERIALS OR BEGINNING FABRICATION.
  - ALL CONSTRUCTION SHALL COMPLY WITH ALL MUNICIPAL BUILDING CODES & LOCAL ORDINANCES.
  - ALL DIMENSIONS, UNLESS NOTED OTHERWISE ARE FROM FACE OF STUDS. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

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EXISTING CONDITIONS - FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	REMOVE EXISTING CONSTRUCTION
	NEW CONSTRUCTION 2 X 4 WD STDS @16" O.C. AND MATCH ADJACENT FINISHES
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PROPOSED - FLOOR PLAN

SCALE: 1/4" = 1'-0"

HIERO DESIGN  
1886 FOX CHAPEL DR SE  
SMYRNA GA 30080



PROPOSED - FLOOR PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

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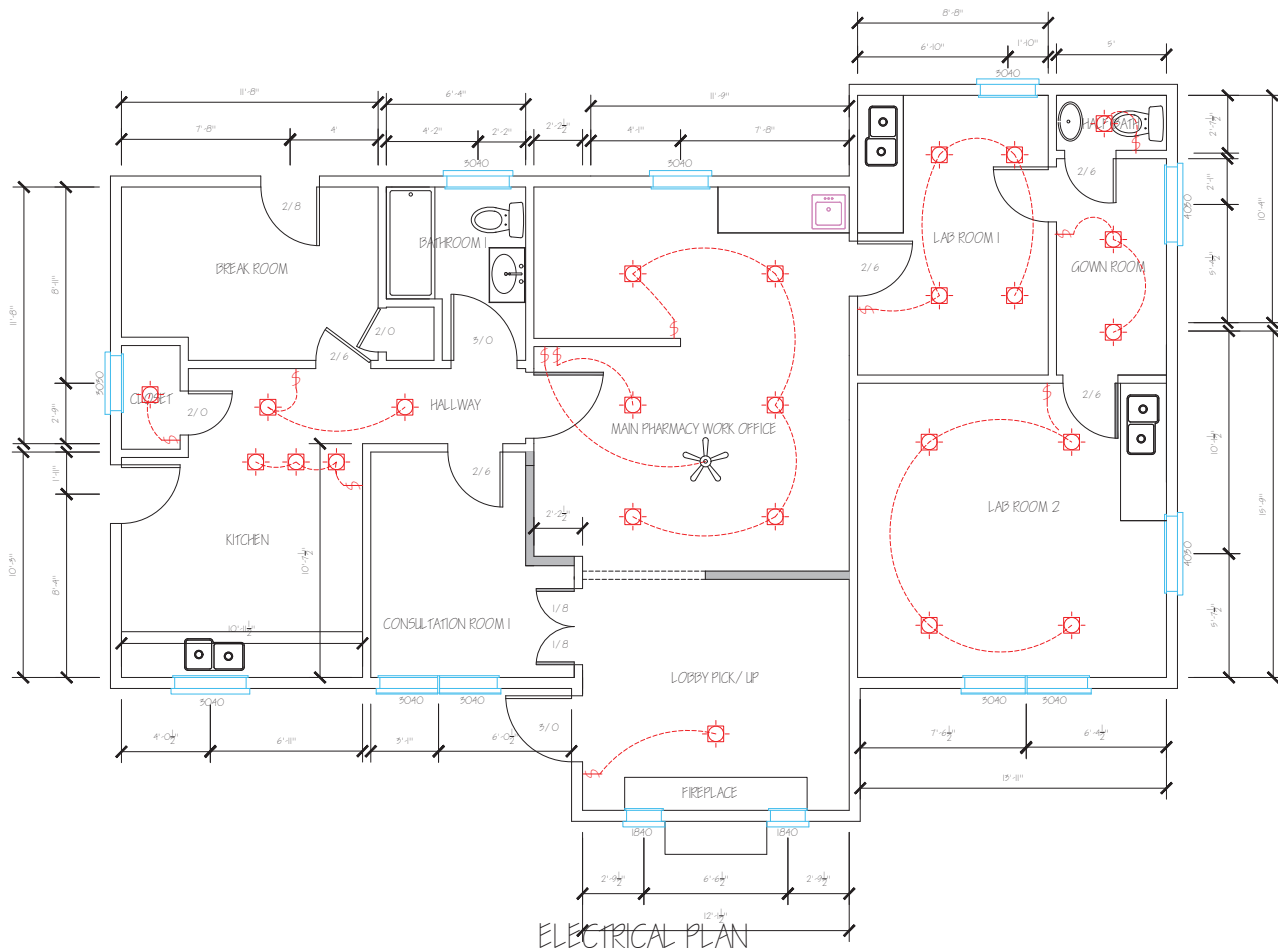
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Electric Lighting Symbols	
Symbol	Description
	RECESSED DOWN LIGHT
	LIGHT BOX
	RESTROOM VANITY FIXTURE
	DUPLEX RECEPTACLE OUTLET
	GFCI PROTECTED OUTLET
	220 RECEPT
	SWITCH
	SMOKE DETECTOR
	SMOKE/CARBON MONO. DETECTOR
	CEILING FANS



**ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

- HVAC AND WATER HEATER LOCATED IN CRAWL SPACE.
- ELECTRIC PLANS ARE FOR LAYOUT PURPOSES ONLY, CONSULT WITH A LICENSED ELECTRICIAN FOR EXACT SPEC'S TO MEET LOCAL CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTER'S PER LOCAL CODES. -KIT, COUNTERS, WET BAR, GARAGE AND EXT. OF HOUSE TO HAVE G.F.I.'S
- PROVIDE AND INSTALL SMOKE AND CARBON MONOXIDE DETECTORS PER LOCAL CODE.
- NO POINT ALONG COUNTERTOP TO BE MORE THAN 24" FROM AN OUTLET (48" BETWEEN OUTLETS)
- AT LEAST 1 RECEPTACLE TO BE INSTALLED AT ISLAND COUNTER SPACE
- ALL WALL SWITCHES, CONTROLLING DEVICES AND RECEPT. SHALL BE LOCATED IN AN AREA BETWEEN 15"-48" ABOVE FINISHED FLOOR.
- ELECTRICAL PANELS SHALL BE LOCATED SO THAT IND. CIRCUIT BREAKERS ARE LOCATED BETWEEN 15"-54" ABOVE FINISHED FLOOR.

- LOCATE ELEC. PANEL AS PER ELECTRICIAN
- PROVIDE POWER AS REQUIRED FOR FURNACE, WATER HEATER, SUMP PUMP, ETC.
- PROVIDE ELECTRICAL OUTLETS AS REQUIRED BY CODE

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ELECTRICAL PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

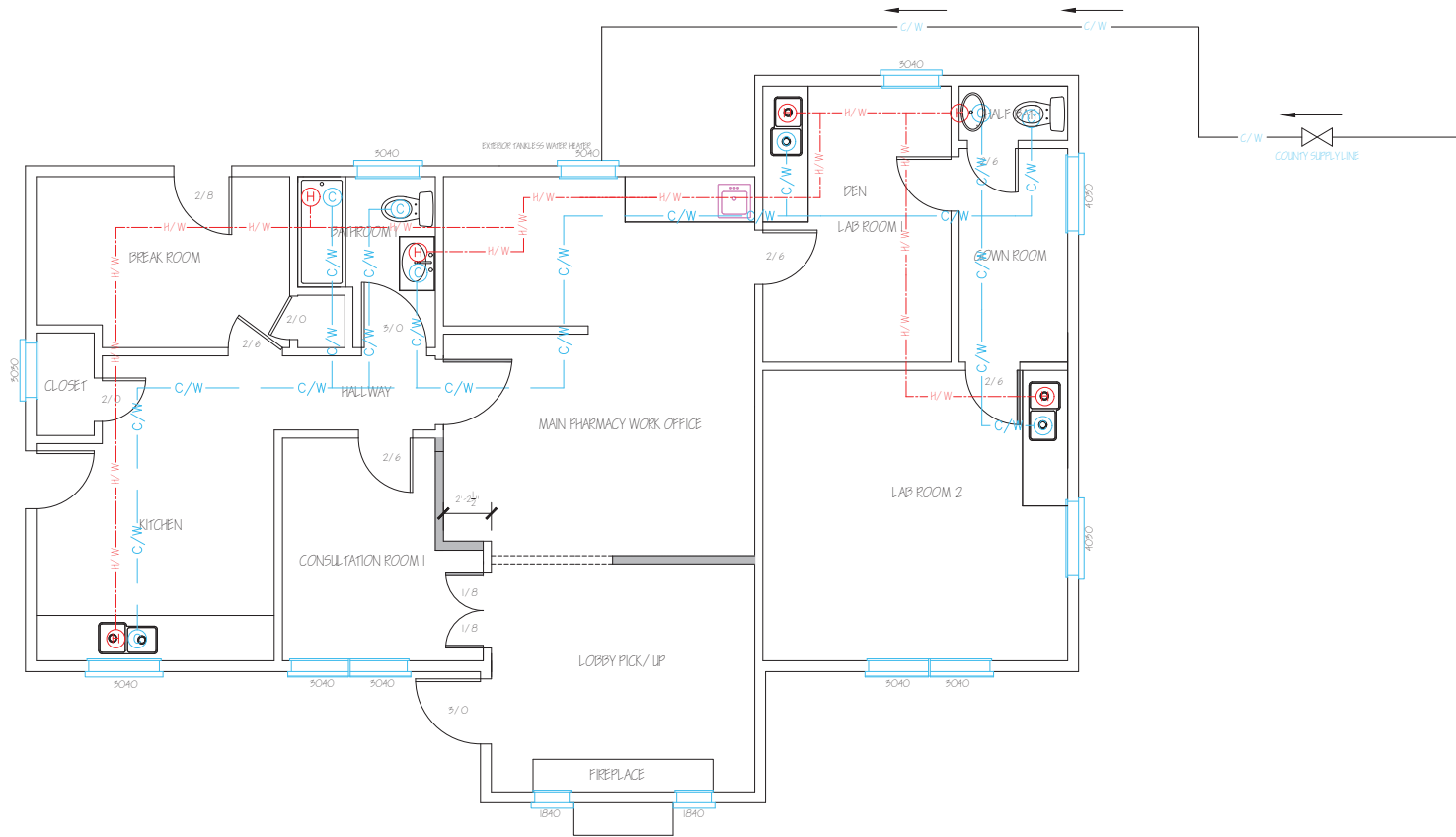
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Plumbing Symbols	
Symbol	Description
 C/W	COLD WATER LINE (1/2 INCH)
 H/W	HOT WATER LINE (1/2 INCH)
	MAIN LINE N
	REGULATOR/WATER METER
	WATER METER



**PLUMBING GENERAL NOTES**

- ALL PLUMBING WORK SHALL BE PREPARED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND WITH THE CURRENTLY ADOPTED EDITION OF THE PREVAILING STATE CODE AS WELL AS ALL LOCAL REGULATIONS THAT MAY APPLY. IN CASE OF CONFLICT BETWEEN THE CONTRACT DOCUMENTS AND A GOVERNING CODE OR ORDINANCE THE MORE STRINGENT STANDARD SHALL APPLY.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO ACCOMPLISH A SAFE AND COMPLETE INSTALLATION OF THE SYSTEMS INDICATED ON THE DRAWINGS. ALL MATERIALS AND METHODS SHALL BE IN STRICT ACCORDANCE WITH ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS. WORK SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, LICENSES, AND CERTIFICATES REQUIRED BY THE AUTHORITY HAVING JURISDICTION. THIS SHALL INCLUDE, BUT IS NOT LIMITED TO ALL REQUIRED BUILDING DEPARTMENT FILING, INSPECTIONS, AND FINAL CLOSEOUT OF PERMITS.
- THE SCOPE OF WORK AS OUTLINED IN THESE DOCUMENTS ENDS AT A DISTANCE OF 5 FEET OUTSIDE THE BUILDING WALL. COORDINATE CONNECTION WITH CIVIL ENGINEER AND LOCAL UTILITY PROVIDER.
- THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO REPLACE OR REPAIR PROMPTLY AND ASSUME RESPONSIBILITY FOR ALL EXPENSES INCURRED FOR ANY WORKMANSHIP AND EQUIPMENT IN WHICH DEFECTS DEVELOP WITHIN ONE YEAR FROM THE DATE OF ACCEPTANCE BY OWNER. THIS WORK SHALL BE DONE AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL INCLUR ALL EXPENSES THAT RESULT FROM SUCH WORK.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID TO VERIFY EXISTING CONDITIONS AND CONFIRMATION AND LOCATIONS OF EXISTING SERVICES.
- PROVIDE ALL AS BUILT DRAWINGS TO GC TO VERIFY COMPLETION OF WORK AND FOR OWNERS'S RECORD.

**PLUMBING PLAN**

SCALE: 1/4" = 1'-0"

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PLUMBING PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

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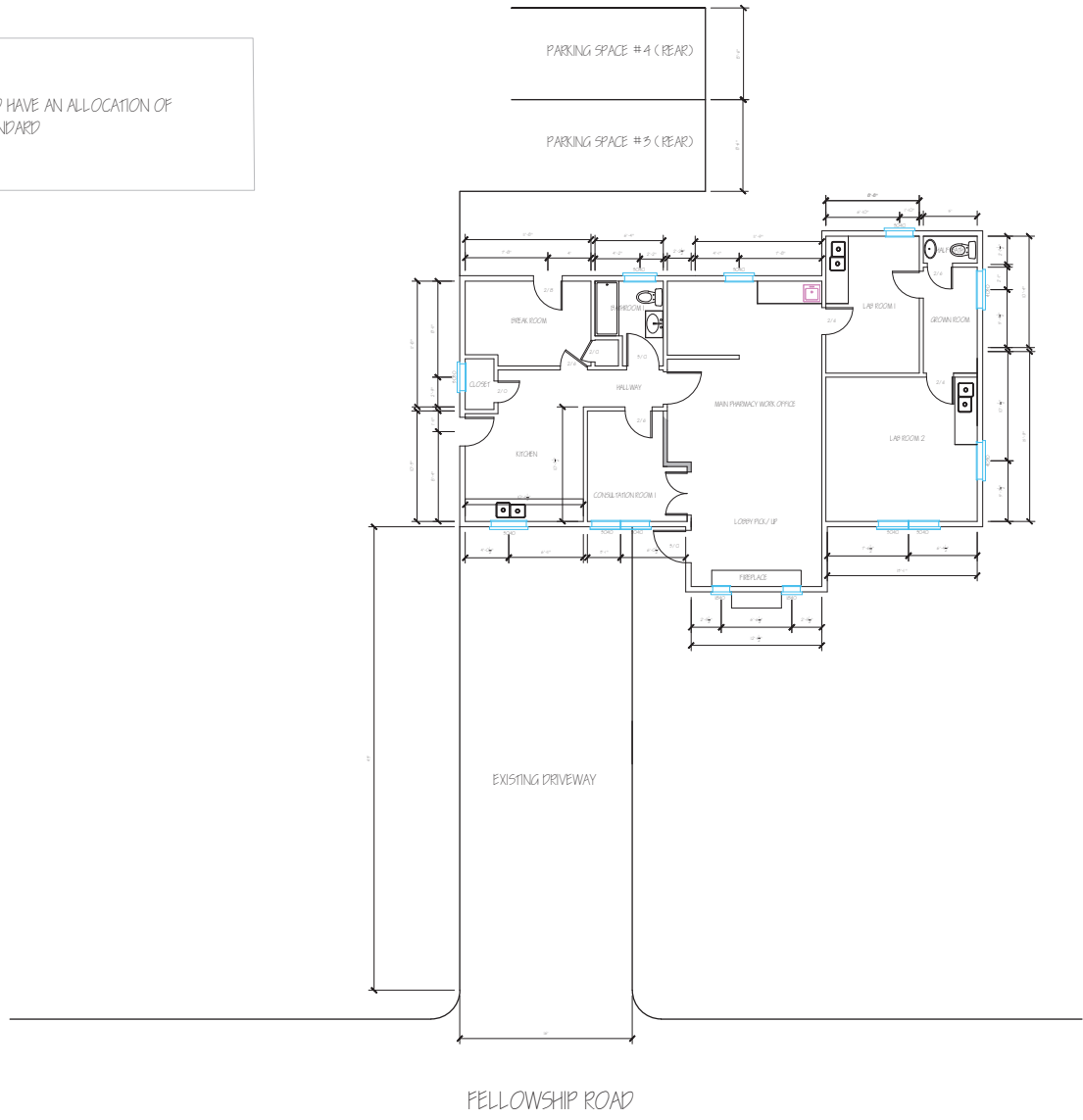
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GENERAL NOTES:

- 1. PARKING SPACES ARE STRIPPED AND HAVE AN ALLOCATION OF 18 FEET LONG AND 8' 6" WIDE PER STANDARD



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PARKING PLAN  
SCALE: 1/8" = 1'-0"

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SMYRNA GA 30080



PARKING PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

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## Environment Site Analysis

### CONFORMANCE WITH THE COMPREHENSIVE PLAN.

1. Using the existing building on 2212 Fellowship Rd Tucker, GA 30084 as a compounding pharmacy. The building is located in the Downtown character area of the Future Land Use (FLU) Map in the Tucker Tomorrow Comprehensive Plan. The primary land uses will be service commercial which is in line with the Tucker Comprehensive Plan. Having a compounding pharmacy at the location would encourage walkability since the building is located next to the Town Square Center shopping mall. There are retail, restaurants, and shopping stores located to the right and rear of the existing building. There is a Dollar General store located across the street from the building. To the left of the building is a rental property and following that house is a church that is undergoing a major renovation. To keep the size and style of Tucker's old buildings, there is no alteration to the exterior building.

### ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT

- A. Wetlands: Absent or or no wetlands
- B. Floodplain: Absent or no floodplain
- C. Streams/Stream Buffers: Absent or no Streams/ stream buffers
- D. Slopes exceeds 25% percent over a 10-foot rise in elevation: Absent or none
- E. Vegetation: No alteration or impact on vegetation. We are keeping the existing plants, trees, and shrubs.
- F. Wildlife Species (including fish): There will be no impact on the wildlife species
- G. Archeological/ Historical Sites: Absent or no impact to archeological sites/ Historical Sites.

### PROJECT IMPLEMENTATION MEASURES:

- a. Protection of environmentally sensitive areas, i.e., floodplain, slopes exceeding 25 percent, river corridors.
  - i. The existing building is not in any sensitive areas such as floodplain, slopes exceeding 25% percent, river corridors, etc.
- b. Protection of water quality
  - i. The existing building is not in any sensitive areas such as floodplain, slopes exceeding 25% percent, river corridors, etc.
- c. Minimization of negative impacts on existing infrastructure
  - i. There is no alteration to the existing exterior building
- d. Minimization on archeological/historically significant areas
  - i. The existing building is not on archeological/ historically significant areas
- e. Minimization of negative impacts on environmentally stressed communities where environmentally stressed communities are defined as communities exposed to a minimum of two environmentally adverse conditions resulting from public and private municipal (e.g., solid waste and wastewater treatment facilities, utilities, airports, and railroads) and industrial (e.g., landfills, quarries and manufacturing facilities) uses.

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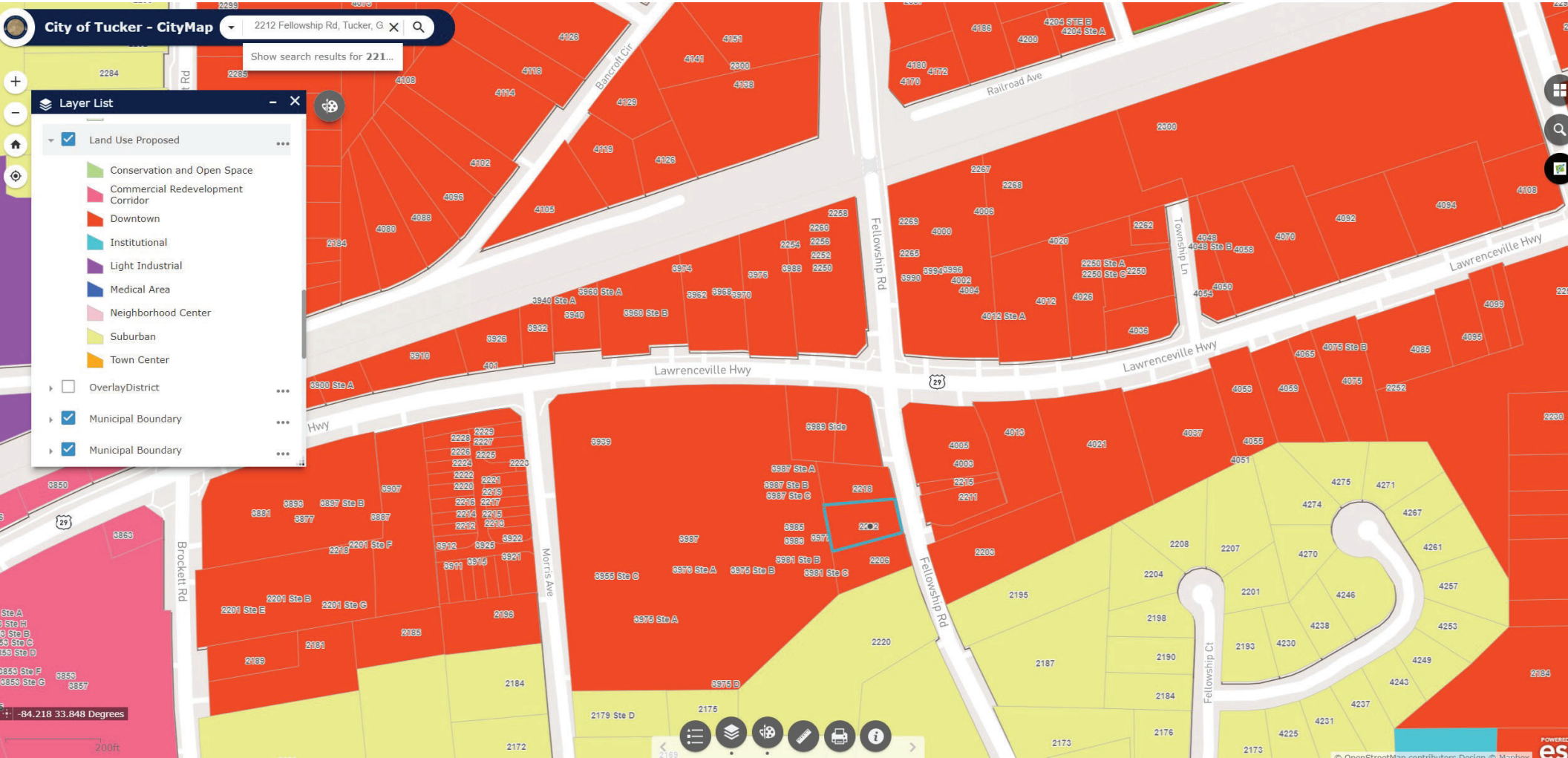


- i. There are no negative impacts on environmentally stressed communities. We are doing an interior renovation to the existing building to accommodate the pharmacy workflow.
- f. Creation and preservation of green space and open space
  - i. We are keeping the existing trees, plants, and shrubs.
- g. Protection of citizens from the negative impacts of noise and lighting
  - i. There will be no impacts of noise and lighting as the existing building isn't altered. No additional exterior lighting will be added. The pharmacy will plan on getting a permit for new signage. The pharmacy does not generate noise that will impact the neighborhood.
- h. Protection of parks and recreational green space
  - i. The existing building isn't by any park or recreational green space
- i. Minimization of impacts to wildlife habitats
  - i. There will be no impact to wildlife habitats. We are keeping the existing building and landscaping.

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## MEMORANDUM

To: Thy Pham, Atlanta Compounding Pharmacy RX

From: Jin Seo, P.E., Kimley-Horn and Associates, Inc.

Date: November 20, 2023

RE: **2212 Fellowship Road - Trip Generation Memorandum**

Kimley-Horn is pleased to provide this memorandum summarizing the trip generation for the proposed repurposing of an existing 1,728 SF residential property at 2212 Fellowship Road in the City of Tucker, Georgia.

### PROJECT OVERVIEW

The site is located at 2212 Fellowship Road in the City of Tucker, Georgia. As currently envisioned, the existing 1,728 SF residential property will be repurposed into a compounding pharmacy site, with no drive-through window. Access to the site will be via the existing full-movement driveway along Fellowship Road.

This memorandum provides density and trip generation for the proposed 2212 Fellowship Road site. Additionally, the site layout for the proposed use is provided.

Figure 1 provides a location map. Figure 2 provides an aerial imagery of the project site.

### TRIP GENERATION

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the development and the distribution and assignment of that traffic through the study roadway network.

Anticipated trip generation for the proposed site was calculated using rates and equations contained in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 11<sup>th</sup> Edition.

The density and the project trip generation for the proposed development are summarized in **Table 1**.

Table 1: Trip Generation											
Land Use	ITE Code	Density	Daily Traffic			AM Peak			PM Peak Hour		
			Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit
Pharmacy/Drugstore without Drive-Through Window	880	1,728 SF	156	78	78	5	3	2	15	7	8
<b>Total</b>			<b>156</b>	<b>78</b>	<b>78</b>	<b>5</b>	<b>3</b>	<b>2</b>	<b>15</b>	<b>7</b>	<b>8</b>

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Based on the trip generation shown in **Table 1**, the proposed compounding pharmacy site is projected to generate approximately 156 daily trips (78 in, 78 out), 5 AM peak hour trips, and 15 PM peak hour trips.

## SUMMARY

The development site is located at 2212 Fellowship Road in the City of Tucker, Georgia. As currently envisioned, the existing 1,728 SF residential property will be repurposed into a compounding pharmacy site, with no drive-through window. Vehicular access to the site will be via the existing full-movement driveway along Fellowship Road.

Based on the trip generation, the proposed compounding pharmacy site is projected to generate approximately 156 daily trips (78 in, 78 out), 5 AM peak hour trips, and 15 PM peak hour trips.

We hope this information is helpful. Please contact me if you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Jin Seo, P.E.  
Project Engineer

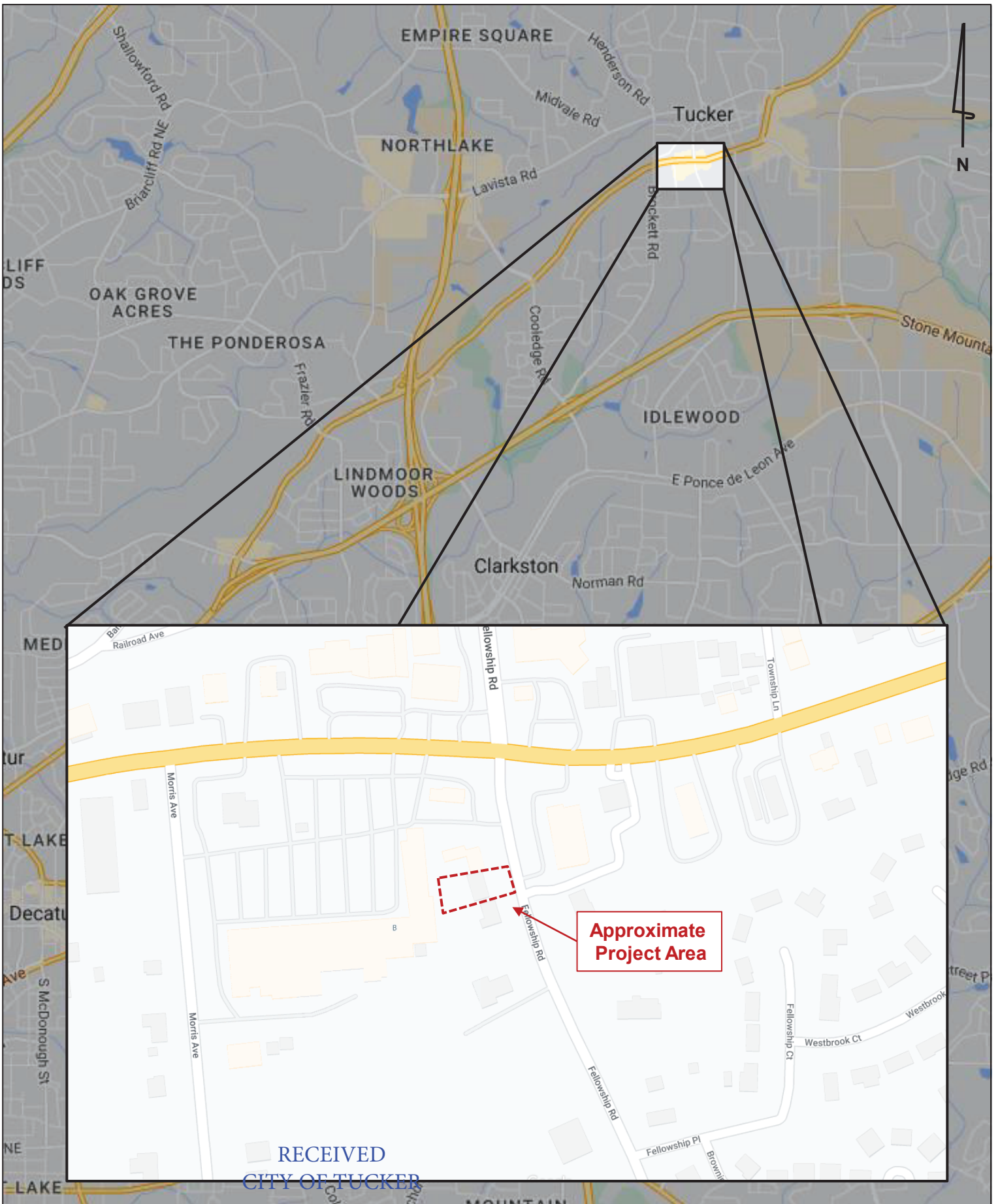
### Attachments:

- Figures 1-2
- Trip Generation Analysis
- *2212 Fellowship Road* Site Layouts

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PLANNING & ZONING  
DEPARTMENT



01/04/2024

**Kimley»Horn**

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DEPARTMENT

**2212 Fellowship Road**  
**Trip Generation Memorandum**

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**Site  
Location  
Map**

**Figure  
1**

RZ-24-0001



Approximate Project Area

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2212 Fellowship Road  
Trip Generation Memorandum

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Site Aerial

Figure  
2

Trip Generation Analysis (11th Ed.) 2212 Fellowship Road City of Tucker, Georgia								
Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
880 Pharmacy/Drugstore without Drive-Through Window	1,728 s.f.	156	5	3	2	15	7	8
<b>Total</b>	<b>1,728 s.f.</b>	<b>156</b>	<b>5</b>	<b>3</b>	<b>2</b>	<b>15</b>	<b>7</b>	<b>8</b>

k:\atl\_tpto\017620000\_acp - trip gen memo - city of tucker - 2023\analysis\2023-11-16\_2212\_fellowship\_road\_analysis.xls\trip generation

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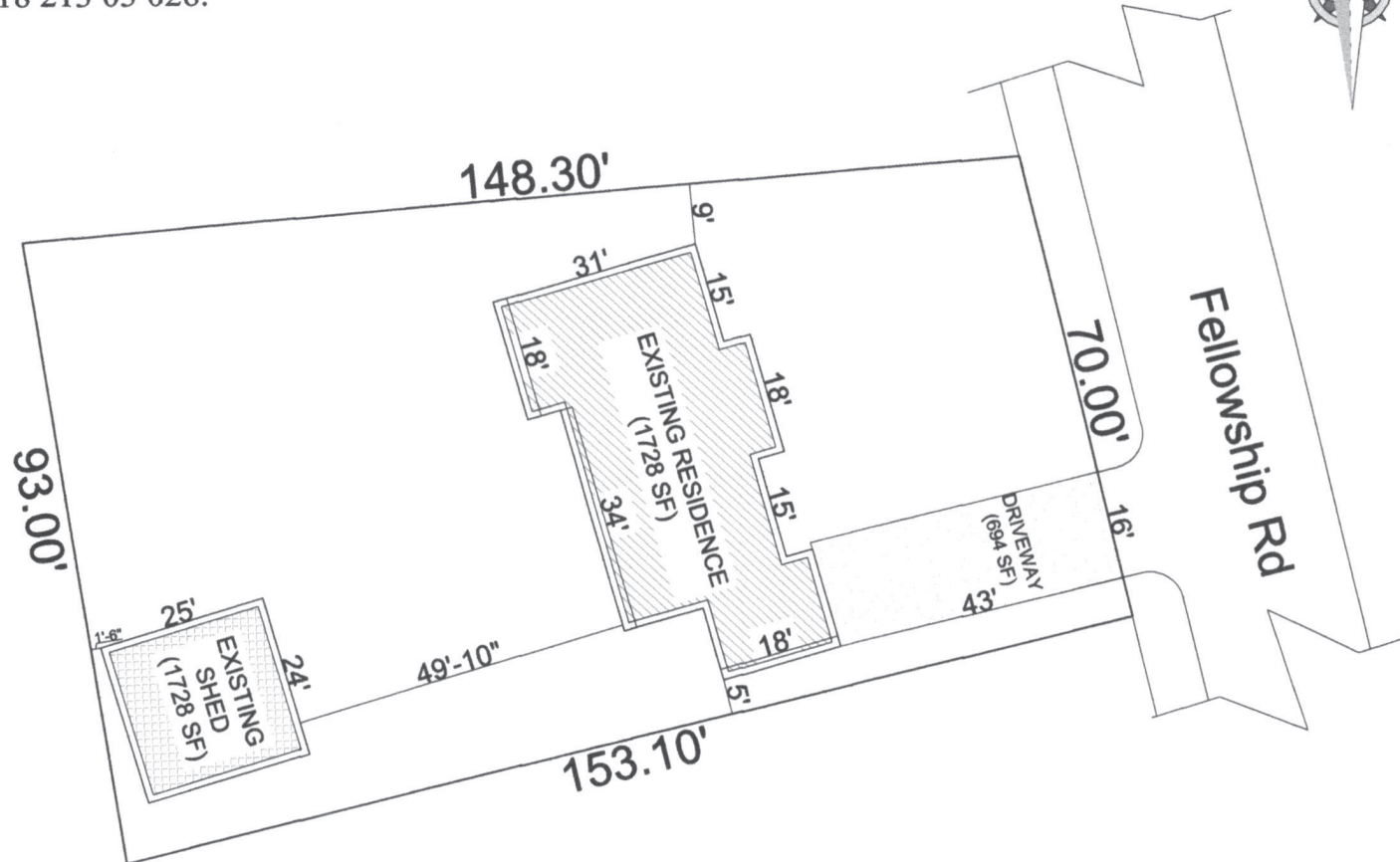
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**SITE PLAN**

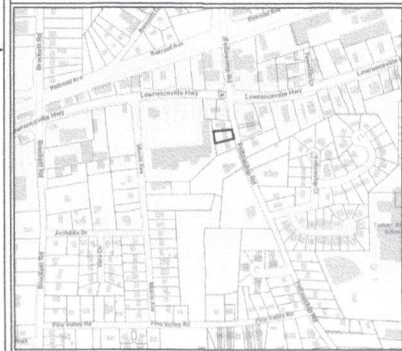
**LOCATION:** 2212 Fellowship Rd, Tucker, GA 30084, USA

**SITE CITY:** TUCKER

**PARCEL ID:** 18 213 03 028.



**VICINITY MAP**



**SCOPE OF WORK**

-SITE PLAN OF THE PROPERTY UNDER REVIEW SHOWING THE EXISTING RESIDENTIAL DEVELOPMENT.

**LOT SIZE**

**0.28 Acres**

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SHEET TITLE  
**SITE PLAN**

LOT OWNER:  
**PHAM THY MINH  
PHAM DIEM MINH,  
NGUYEN QUAN  
TRAN PHAM CHINH  
K**

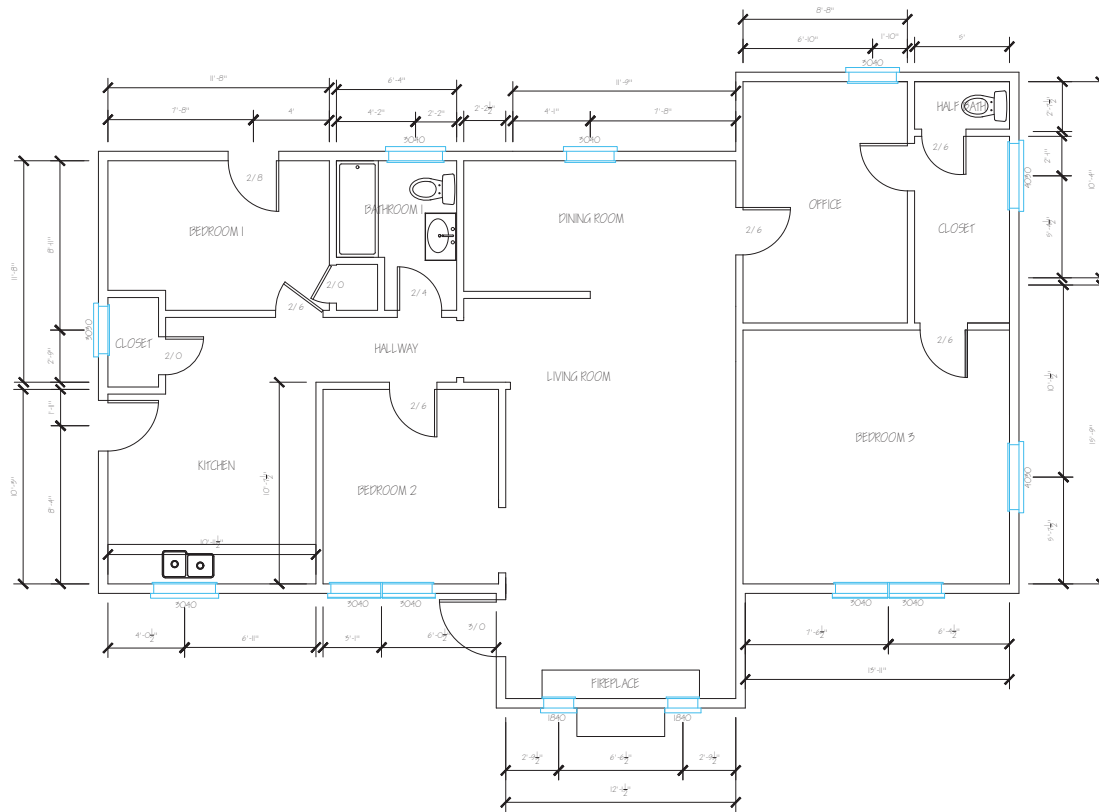
**DEEN'S CONSULTS**  
Architects, Planners & Project Managers  
PLANNING & ZONING  
DEPARTMENT  
ISM.AILAOTU@GMAIL.COM

ARCHITECT *Deen's consult*  
DRAWN *Deen's consult*  
CHECKED BY *Deen's consult*  
SCALE 1"=30' DATE 10-25-2022

SHEET NO.  
**01**

RZ-24-0001





EXISTING CONDITIONS - FLOOR PLAN

SCALE: 1/4" = 1'-0"

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LEGEND	
	EXISTING CONSTRUCTION TO REMAIN
	REMOVE EXISTING CONSTRUCTION
	NEW CONSTRUCTION 2 X 4 WD STDS @16" O.C. AND MATCH ADJACENT FINISHES
	NEW CONSTRUCTION
	REMOVE EXISTING CONSTRUCTION

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MFR. RECOMMENDATIONS.
- IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO PREVENT AGAINST THE BUILD-UP OF MOISTURE OR MOLD.
- INTERIOR WALL DIMENSIONS ARE TO CENTER OF STUDS.
- EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE OF STUDS.
- CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE PLANS, DETAILS, AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL BEAR RESPONSIBILITY FOR VERIFYING COMPLIANCE OF THE SHOP DRAWINGS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO ORDERING MATERIALS OR BEGINNING FABRICATION.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL MUNICIPAL BUILDING CODES & LOCAL ORDINANCES.
- ALL DIMENSIONS, UNLESS NOTED OTHERWISE ARE FROM FACE OF STUDS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

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SMYRNA GA 30080



EXISTING CONDITIONS - FLOOR PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

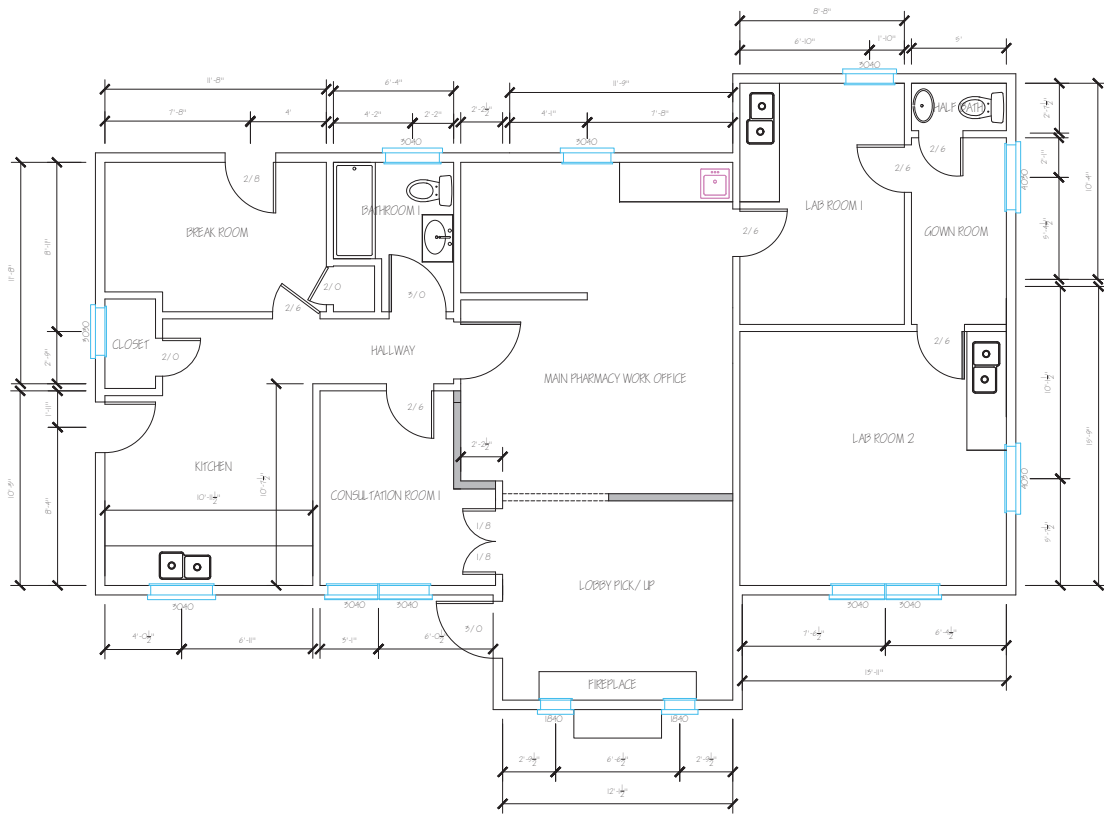
REVISION

NO.	DESCRIPTION	DATE

DATE:  
22SEP23

PAGE:  
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A-1



**PROPOSED - FLOOR PLAN**

SCALE: 1/4" = 1'-0"

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LEGEND	
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PROPOSED - FLOOR PLAN  
2212 FELLOWSHIP ROAD  
TUCKER, GEORGIA 30084

**REVISION**

NO.	DESCRIPTION	DATE

DATE: 22SEP23

PAGE: 3 of 6

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# City of Tucker

## Public Participation Plan Report Project Name:

Contact Name: *Thy Pham (404) 514-7802*

Meeting Date: *October 17, 2023*  
Meeting Location: *2212 Fellowship Rd Tucker, GA 30884*

Meeting Start Time: *7:10 pm*

Meeting End Time: *7:45 pm*

Number of people in attendance: *4*

### Date of Filing of Land Use Petition Application:

**General Introduction:** please include information about who you reached out to for the meeting, communication outreach methods (letters, facebook, emails, etc), what you were proposing at the time of the neighborhood meeting, the meeting format (ppt, q&a, display boards, etc), and who attended the meeting on behalf of the applicant (engineers, attorney, developer, property owner, etc). Additional information that you feel is important to include is welcomed.

**Summary of concerns and issues raised at the meeting:** (please list and respond to each one individually; include as many items that were discussed).

1. List question/concern/comment/request for changes to the proposed plans

Applicant Response:

2. List question/concern/comment/request for changes to the proposed plans

Applicant Response:

The following must be submitted at time of application submittal:

- Copy of the letter that was mailed to neighbors
- Copy of address list for mailing

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- Meeting sign-in sheet
- Meeting minutes
- Copy of the plan that was presented at the neighborhood meeting

I, the undersigned, as the applicant or an authorized representative of the applicant do solemnly swear and attest that the information provided is true and accurate. I have included a complete record of the neighborhood meeting, as well as an honest response regarding the intentions for development.

Jose Ulloa  
 Signature of Applicant or Authorized Representative \_\_\_\_\_ Date \_\_\_\_\_

Jose Ulloa  
 Type or Print Name of Applicant or Authorized Representative \_\_\_\_\_ Date \_\_\_\_\_

[Signature] 10-19-2023  
 Signature of Notary \_\_\_\_\_ Date \_\_\_\_\_



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RZ-24-0001

01/04/2024

Neighborhood Meeting Minutes  
October 17, 2023  
2212 Fellowship Rd Tucker, GA 30084

PLANNING & ZONING  
DEPARTMENT

RZ-24-0001

1. INTRODUCTION
  - a. Thy Pham called the meeting to order at 7:10 pm. Guests in attendance are Phillip Franco, Tofik Nuru, Rita Valladares.
2. LAND USE & PLANNING
  - a. Major modification to allow compounding pharmacy in existing building. Adding two additional parking spaces in the back and front of the existing building.
3. COMMENTS BY GUESTS
  - a. Rita Valladares cautions that there is homeless issue in the areas and to make sure to secure the building and having security cameras.
  - b. Phillip Franco had questions about the layout of the pharmacy and how guest pick up prescription medication.
4. OBJECTIONS TO THE LAND USE & PLANNING
  - a. None
5. TOUR OF EXISTING BUILDING
  - a. Guests toured the existing building and Thy Pham explained to the guests the proposed layout of the compounding pharmacy.
6. ADJOURNMENT
  - a. Thy Pham adjourned the meeting at 7:45 pm.



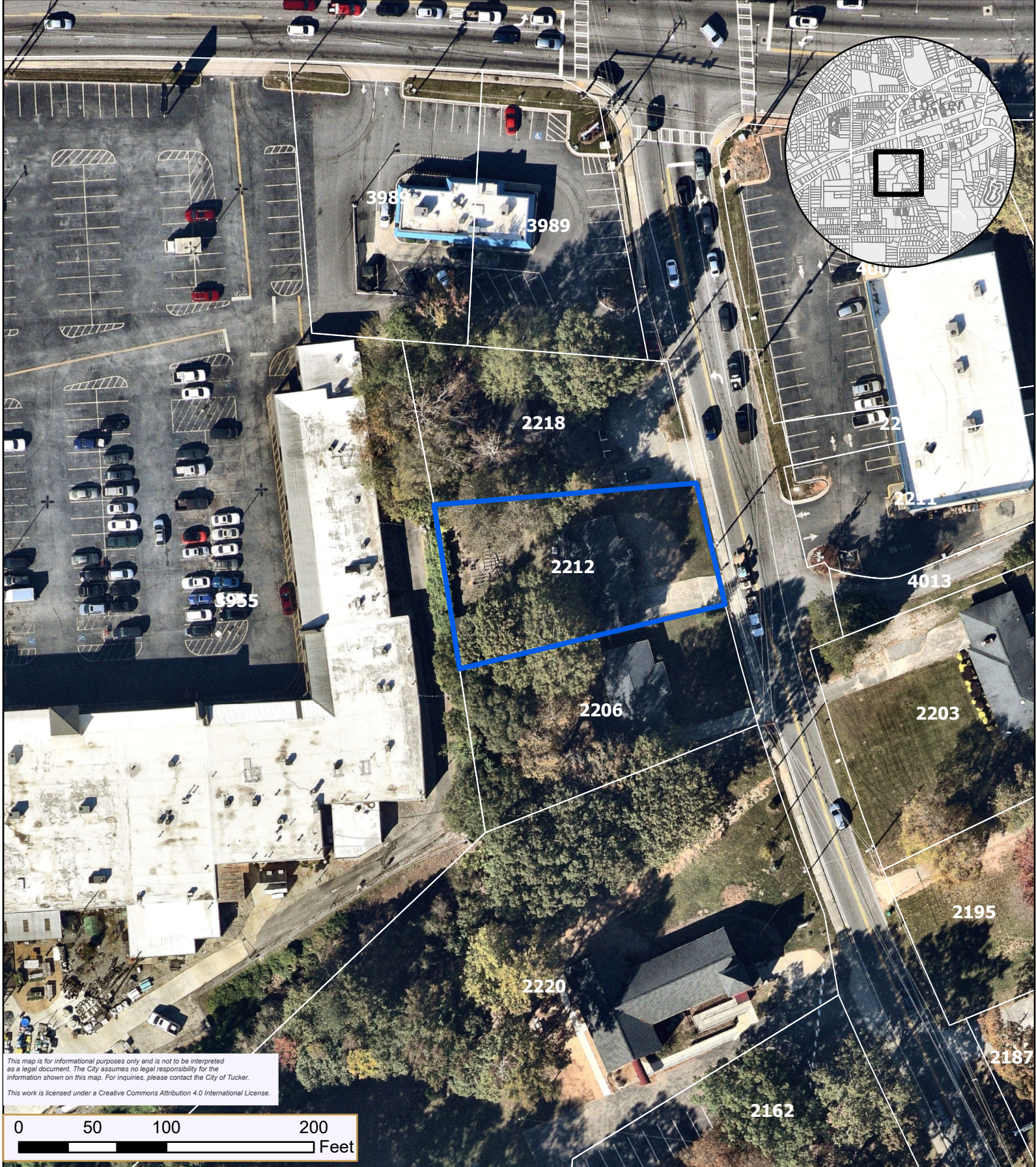
2212 Fellowship Road 500 foot list

3976 Lawrenceville Highway Tucker, GA 30084	TUCKERSHOPS LLC		PO BOX 1352	DECATUR	GA	30031
2195 Fellowship Road Tucker, GA 30084	MATTCO PROPERTIES LLC		2046 CHAMBORD WAY	SNELLVILLE	GA	30078
3984 Lawrenceville Highway Tucker, GA 30084	PARASMANI INVESTMENT LLC		1622 BARRINGTON VW	STONE MOUNTAIN	GA	30087
2220 Fellowship Road Tucker, GA 30084	MAKTAB TARIGHAT OVEYSSI SHAHMAGHSOUDI	SCHOOL OF ISLAMI SUFISM	7232 HESPERIA AVE	RESEDA	CA	91335
2212 Fellowship Road Tucker, GA 30084	PHAM THY MINH PHAM DIEM MINH	NGUYEN QUAN TRAN PHAM CHINH K	2459 ELIZABETH ANN LN NE	ATLANTA	GA	30324
2190 Fellowship Court Tucker, GA 30084	ARAGON CORTES ZUATH		2190 FELLOWSHIP CT	ATLANTA	GA	30360
4012 Lawrenceville Highway Tucker, GA 30084	DOSETAREH RAYON	DOSETAREH ISAAC	1268 ARBORVISTA DR	ATLANTA	GA	30329
3989 Lawrenceville Highway Tucker, GA 30084	3989 LAWRENCEVILLE LLC		3989 LAWRENCEVILLE HWY	TUCKER	GA	30084
2218 Fellowship Road Tucker, GA 30084	THOMAS ROBERT T	THOMAS MILINDA S	1837 WHISPERING PINES	HIAWASSEE	GA	30546
2175 Morris Avenue Tucker, GA 30084	MORRIS ESTELLE MRS EST		1493 IDLEHOUR WAY	TUCKER	GA	30084
2169 Morris Avenue Tucker, GA 30084	BELCHER DAVID M	BELCHER IRENE W	2161 MORRIS AVE	TUCKER	GA	30084
2162 Fellowship Road Tucker, GA 30084	APOSTOLES IGLESIA EVANGELICA &	PROFETAS EFESIOS 2:20 INC	2162 FELLOWSHIP RD	TUCKER	GA	30084
2211 Fellowship Road Tucker, GA 30084	ARC DBPPROP001 LLC		104 WILMOT RD	DEERFIELD	IL	60015
2173 Fellowship Road Tucker, GA 30084	MOORE STEVEN ANTHONY		2173 FELLOWSHIP RD	TUCKER	GA	30084
2204 Fellowship Court Tucker, GA 30084	RAMBO WILLIAM JOSHUA		2204 FELLOWSHIP CT	TUCKER	GA	30084
2208 Fellowship Court Tucker, GA 30084	ARMSTRONG J KAREN		1020 MOUNTAIN CREEK TRL	ATLANTA	GA	30328
4026 Lawrenceville Highway Tucker, GA 30084	LAM KHA	THUY TRAN TRANG	4026 LAWRENCEVILLE HWY	TUCKER	GA	30084
4021 Lawrenceville Highway Tucker, GA 30084	MCDONALDS CORP		P.O. BOX 182571	COLUMBUS	OH	43218
4003 Lawrenceville Highway Tucker, GA 30084	ARC DBPPROP001 LLC		104 WILMOT RD	DEERFIELD	IL	60015
3970 Lawrenceville Highway Tucker, GA 30084	SMV INVESTMENT LLC		1053 CASCADE AVE SW	ATLANTA	GA	30311
4138 Pine Valley Road Tucker, GA 30084	MORRIS ESTELLE MRS EST		1493 IDLEHOUR WAY	TUCKER	GA	30084
2206 Fellowship Road Tucker, GA 30084	TULIS MARTIN		1314 COUNCIL BLUFF DR	ATLANTA	GA	30345
4013 Lawrenceville Highway Tucker, GA 30084	DEKALB COUNTY		1300 COMMERCE DR	DECATUR	GA	30030
2215 Fellowship Road Tucker, GA 30084	ARC DBPPROP001 LLC		104 WILMOT RD	DEERFIELD	IL	60015
3950 Lawrenceville Highway Tucker, GA 30084	EUNHA INC		3950 LAWRENCEVILLE HWY	TUCKER	GA	30084
3990 Lawrenceville Highway Tucker, GA 30084	TUCKER PLAZA INVESTMENT LLC		P O BOX 871101	STONE MOUNTAIN	GA	30087
3955 Lawrenceville Highway Tucker, GA 30084	TUCKER TOWN SQUARE LLC		2881 WALLACE RD	BUFORD	GA	30519
2179 Morris Avenue Tucker, GA 30084	LEAK BEN C		1954 CASTLEWAY LN NE	ATLANTA	GA	30345
3989 Lawrenceville Highway Side Tucker, GA 30084	3989 LAWRENCEVILLE LLC		3989 LAWRENCEVILLE HWY	TUCKER	GA	30084
2203 Fellowship Road Tucker, GA 30084	PAGROG ENTERPRISES LLC		1227 ROCKBRIDGE RD STE 208 196	STONE MOUNTAIN	GA	30087
2187 Fellowship Road Tucker, GA 30084	MUNA CENTER OF GEORGIA INC		125 SUNSET CT	ROSWELL	GA	30075
2198 Fellowship Court Tucker, GA 30084	SMITH GREGORY J		2198 FELLOWSHIP CT	TUCKER	GA	30084

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
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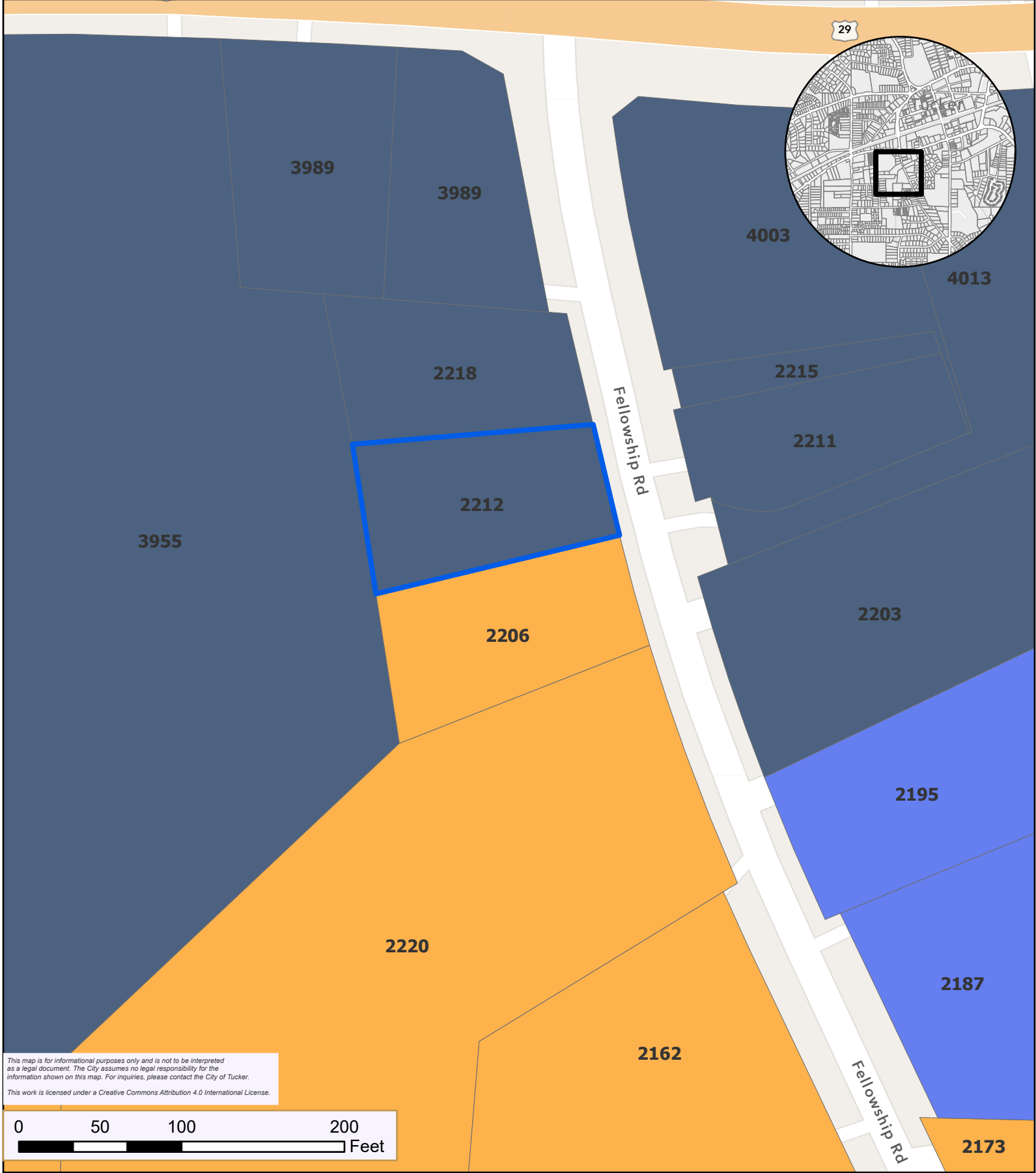
**City of**  
**Tucker**

**2212 Fellowship Road**  
**RZ-24-0001**

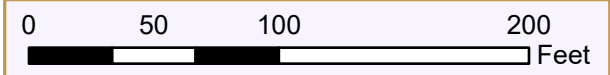
**Aerial**  
 Page 173 of 317

 Rezoning





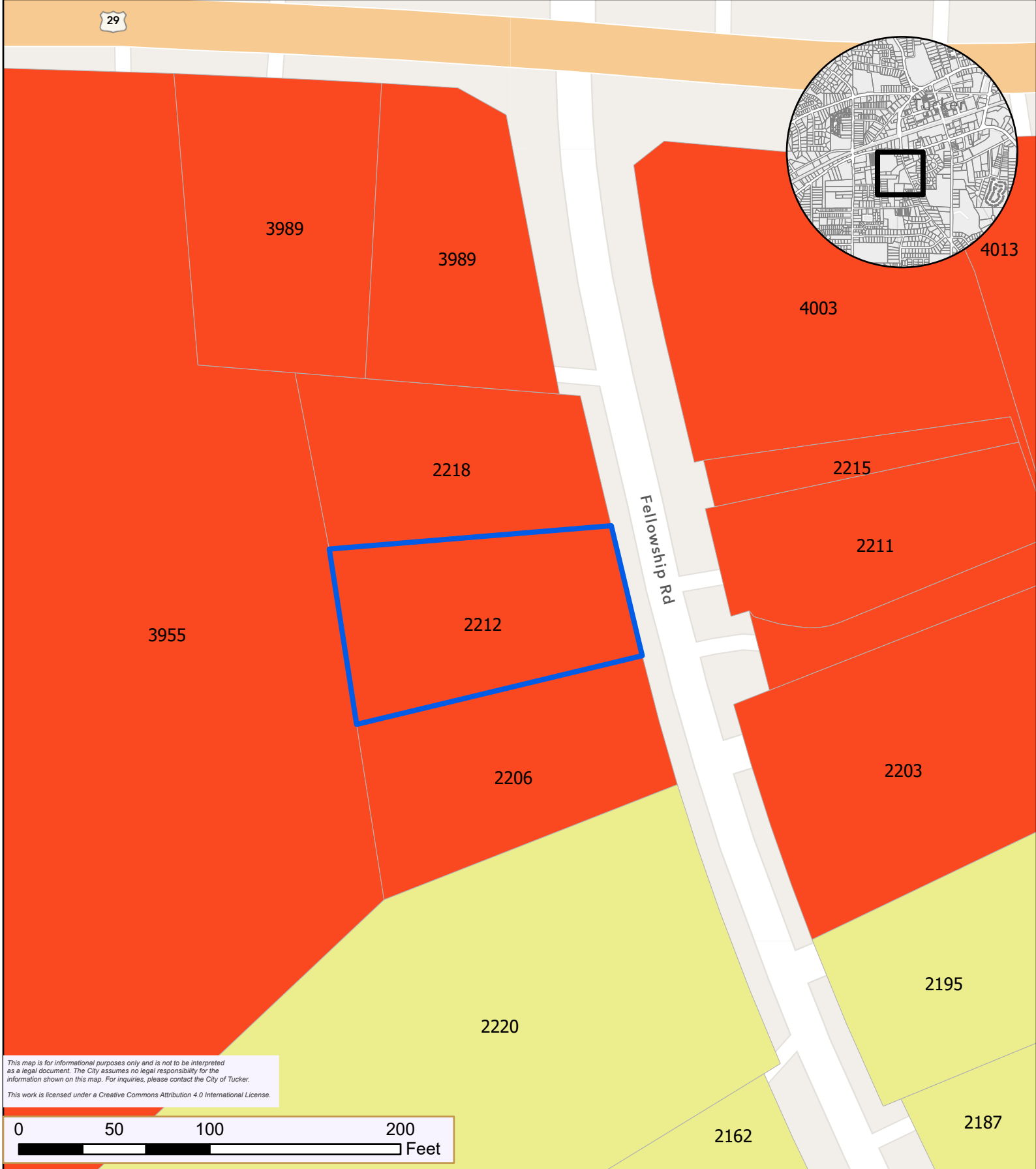
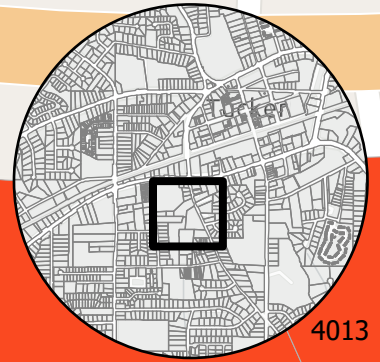
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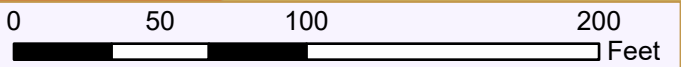
**2212 Fellowship Road**  
**RZ-24-0001**  
**Zoning**

- Rezoning
- DT-2 (Corridor Zone)
- O-I (Office-Institution)
- R-75 (Residential Medium Lot -75)
- TuckerParcels








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# City of Tucker

## 2212 Fellowship Road RZ-24-0001

**FLU**  
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-  Rezoning
-  Downtown
-  Suburban



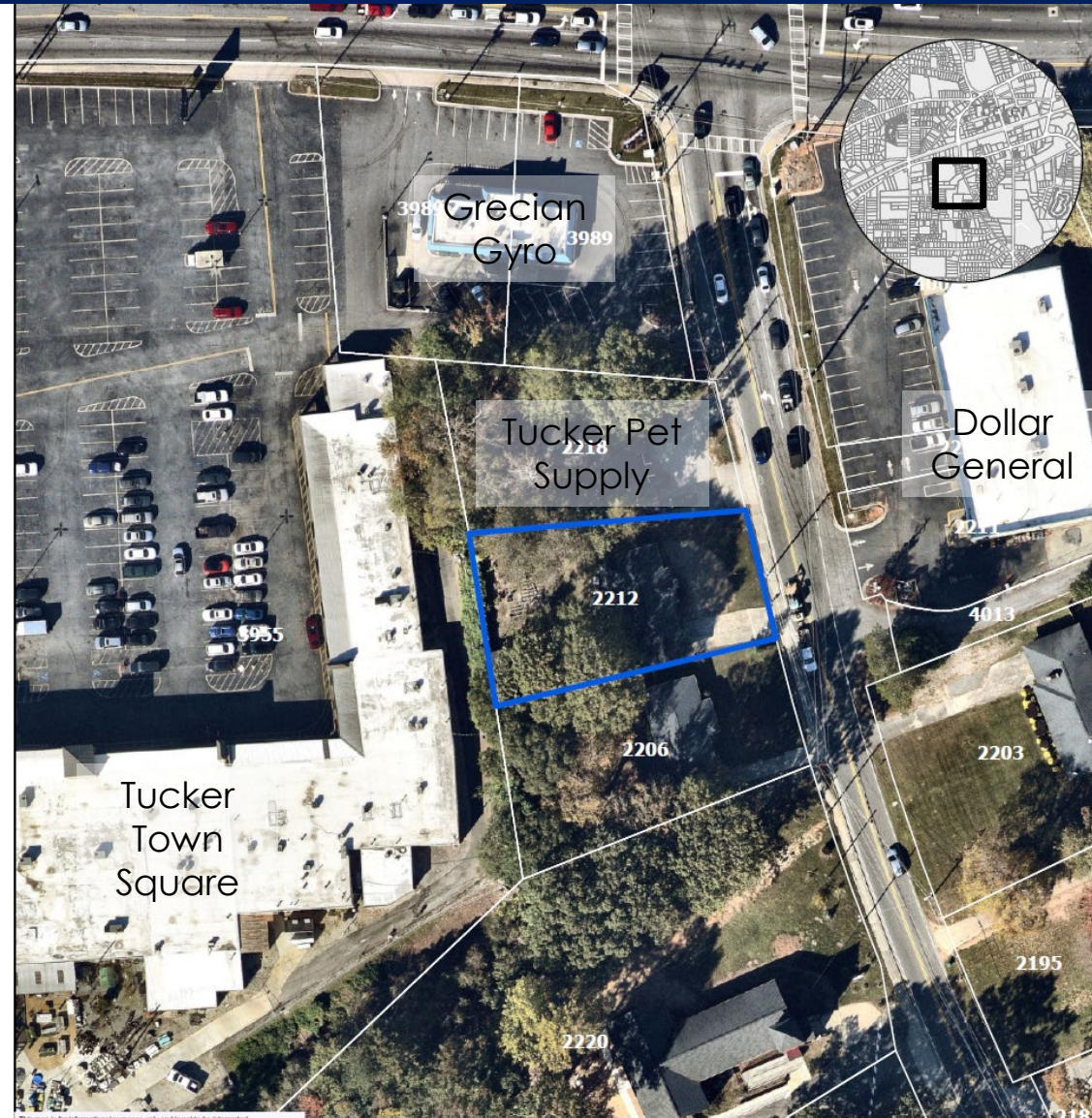
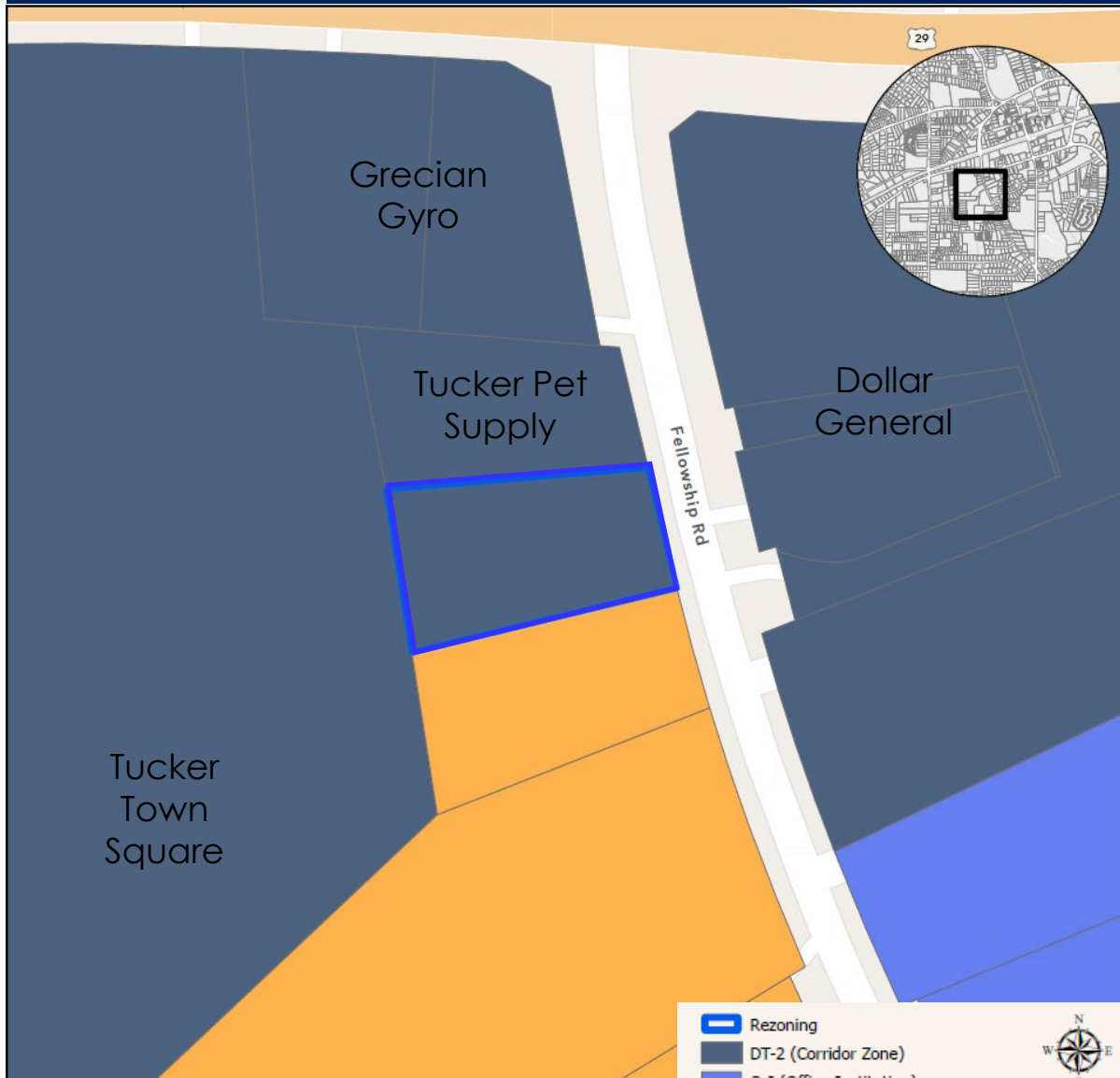
# RZ-24-0001








# RZ-24-0001

<b>PROPERTY LOCATION:</b>	2212 Fellowship Road
<b>LAND LOT/DISTRICT:</b>	Land Lot 213, Land District 18
<b>EXISTING ZONING:</b>	DT-2 (Downtown Corridor)
<b>CHARACTER AREA:</b>	Downtown
<b>PARCEL SIZE:</b>	0.28 acres
<b>PETITIONER:</b>	Thy Pham
<b>REQUEST:</b>	Major modification to approved conditions of zoning for CZ-80075

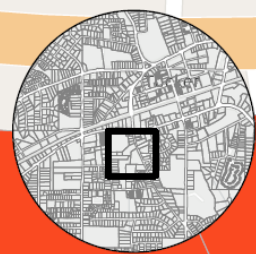
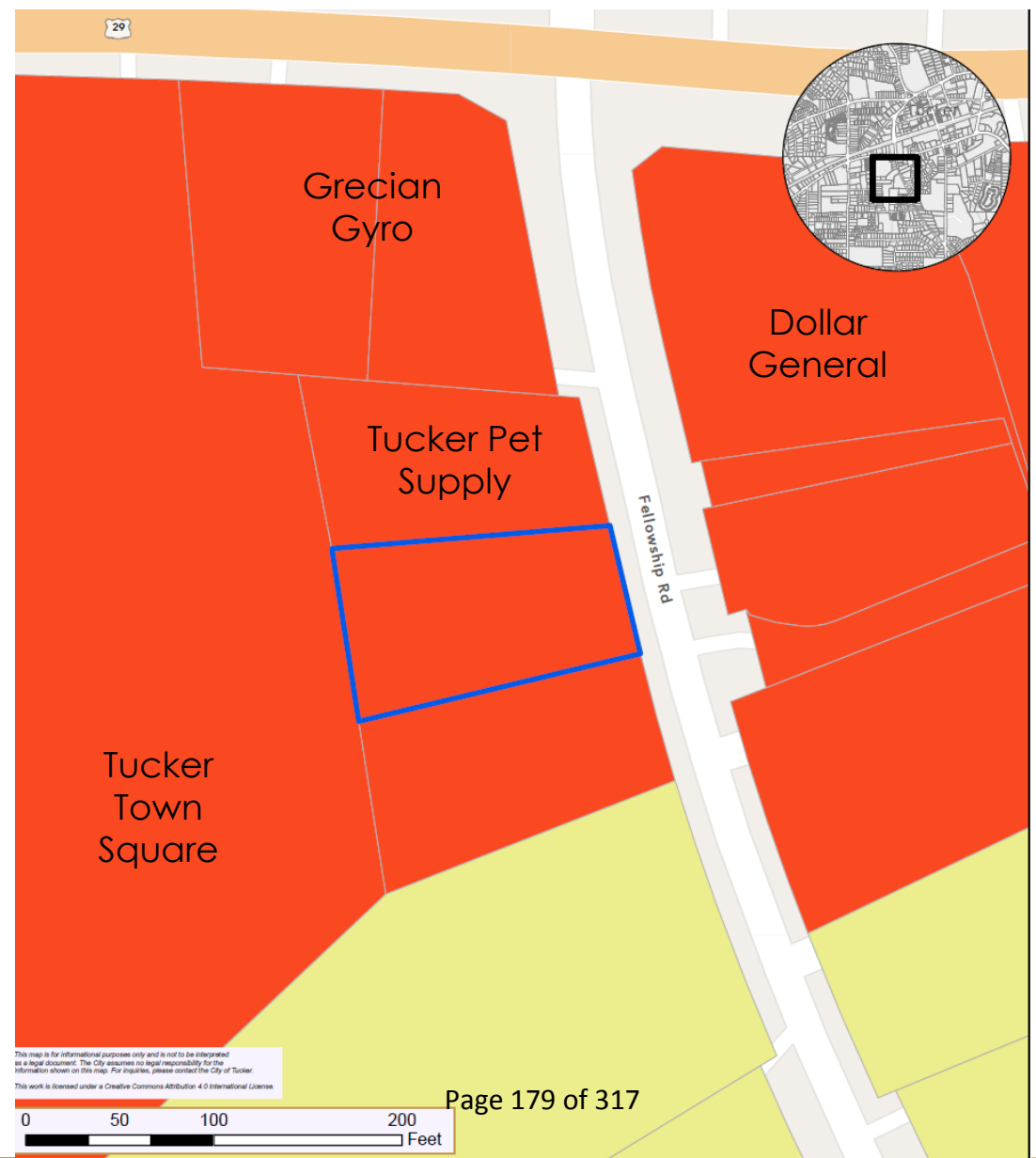
# Zoning & Aerial Maps



-  Rezoning
-  DT-2 (Corridor Zone)
-  O-I (Office-Institution)
-  R-75 (Residential Medium Lot -75)
- TuckerParcels




# Character Area Map (Future Land Use)



Legend:

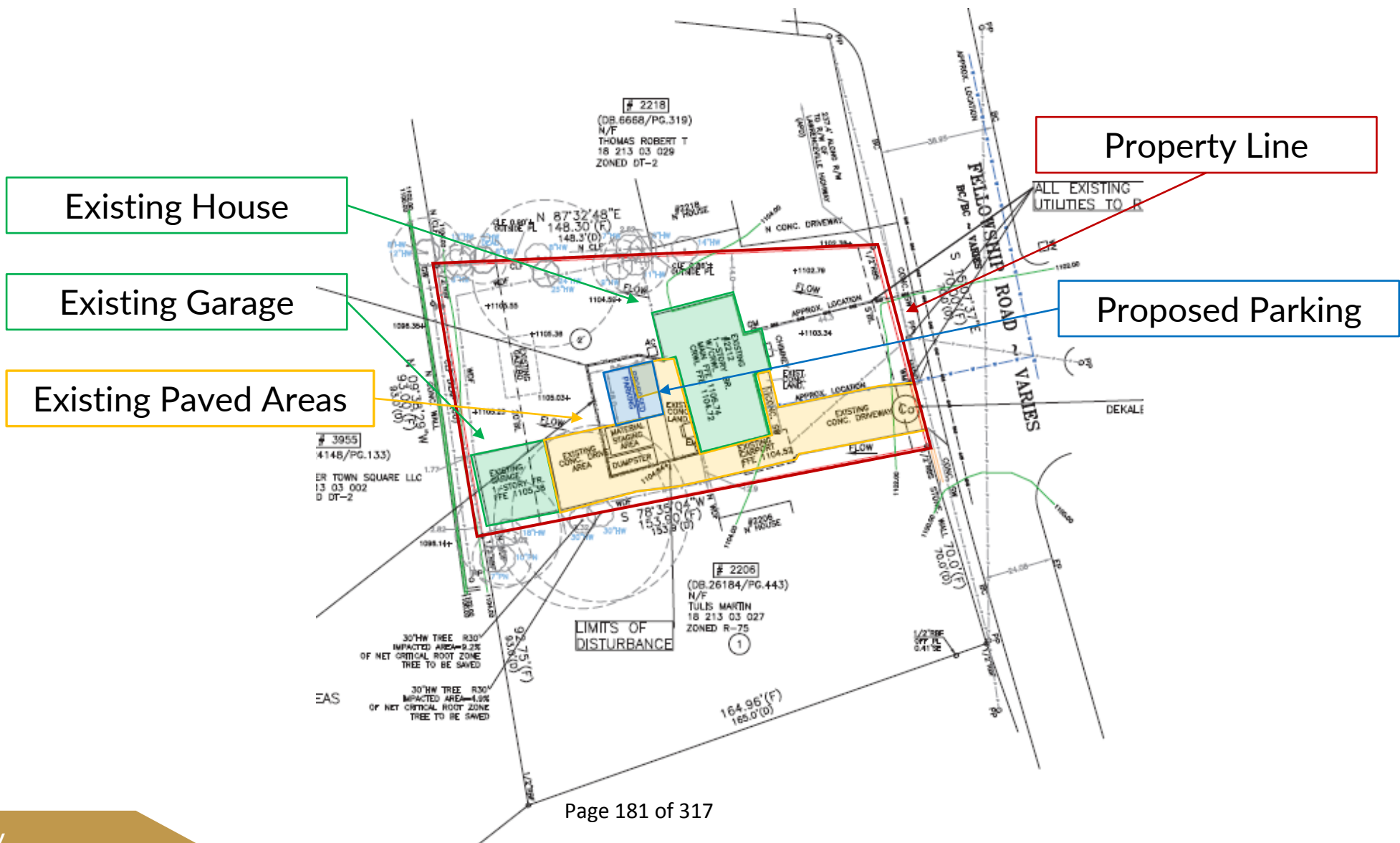
- Re zoning (blue outline)
- Downtown (orange)
- Suburban (yellow)



# Boundary Survey – existing conditions



# Site Plan



## Background

- In 1980, the property was rezoned from R-75 to OI with the condition that the existing buildings be used for business or professional office.
- In 2019, the property was included in the new Downtown special zoning districts, and was rezoned to DT-2 (Downtown Corridor). The zoning condition carried over on this property.
- Applicant would like to use the property for a compounding pharmacy, which is a retail use. Hours of business will be 9:30 – 4:00, Monday through Friday. The applicant expects ten customers per day, on average.
- Retail is a permitted use in the underlying DT-2 zoning and is compatible with the Downtown Character Area of the Comprehensive Plan.
- Adjacent properties to the north, west, and east include retail uses. The property to the south is used residentially.

## Zoning Analysis

- Staff recommends approval of the modification of the zoning condition.
  - Retail use (pharmacy) is a permitted use in the DT-2 (Downtown Corridor) zoning classification.
  - Retail use is compatible with the primary land uses and development strategies of the Downtown Character Area.
  - Compound pharmacy (retail) is compatible with the uses and development of adjacent and nearby properties.

## Staff Recommendation

- The existing condition of CZ-80075 states “rezoning conditioned upon use of the existing structures for business or professional offices”.
- The proposed conditions of RZ-24-0001 are:
  1. The use of the subject property shall be limited to **retail and office uses**.
  2. The new parking area at the rear shall be paved in a dust-free, all-weather material such as asphalt, concrete, or pervious pavers in accordance with Sec. 46-1459 of the Tucker Zoning Ordinance.
  3. One native hardwood tree shall be planted in the front yard to replace the 37” water oak that was removed per PT23-0010.
  4. No parking spaces shall be permitted between the building and Fellowship Rd.
  5. The property shall be limited to a single curb cut on Fellowship Road.
  6. Owner/Developer shall dedicate at no cost to the City of Tucker such additional right-of-way to have a minimum of 30’ from the centerline of Fellowship Road.



## Staff Recommendation

Based upon the findings and conclusions herein, staff recommends approval with conditions of RZ-24-0001.

## Planning Commission Recommendation

Based upon the findings and conclusions herein, Planning Commission recommends approval with staff recommended conditions of RZ-24-0001.

# RZ-24-0001 DATES

**Mayor & City Council, 1<sup>st</sup> Read**

**March 11, 2024**

**Mayor & City Council, 2<sup>nd</sup> Read**

**April 8, 2024**



City of Tucker  
1975 Lakeside Parkway  
Tucker, GA 30084



678-597-9040



Tuckerga.gov



info@tuckerga.gov  
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# City of Tucker

## MEMO

**To:** Honorable Mayor and City Council Members  
**From:** Courtney Smith, Community Development Director  
**CC:** John McHenry, City Manager  
**Date:** March 28, 2024  
**RE:** Memo for TA-24-0002 (Downtown Special Zoning Districts Text Amendment)

---

**Contract/Document Number:** O2024-03-06

### **Description for on the Agenda:**

- Public hearing and second read of an ordinance (O2024-03-06) to amend the City of Tucker City Code, Chapter 46, including but not limited to references to multifamily density and permitted building heights in the Downtown Special Zoning Districts.

### **Issue:**

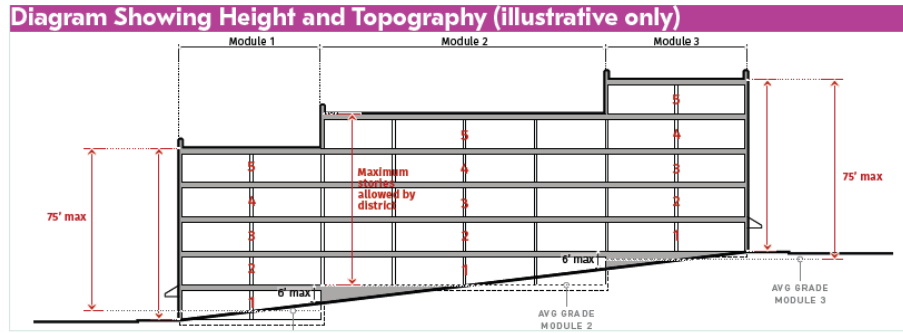
Staff has drafted code changes to Article III, Division 2 Downtown special zoning districts to allow for increased multifamily density and building height in DT-2 and DT-3, as well as reduced townhome width in DT-3. The proposed changes address the goals in the Tucker Tomorrow Comprehensive Plan and items G1-4 and G3-8 of the Community Work Program. They are also responsive to feedback that has been received from the community.

### **Recommendation:**

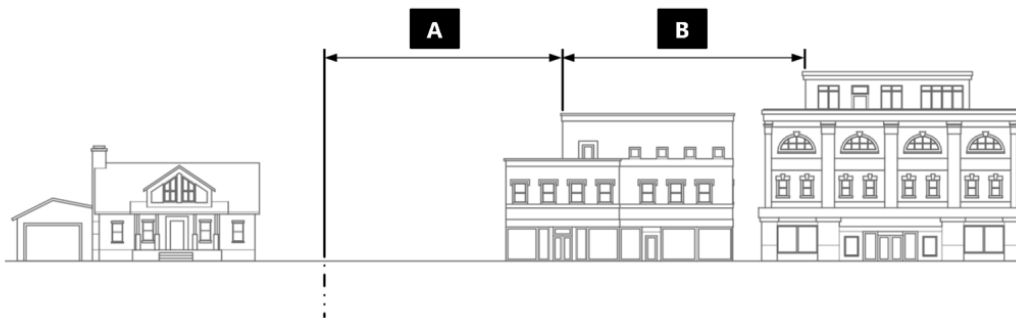
Staff recommends approval of TA-24-0002.  
Planning Commission recommends approval of TA-24-0002

### **Background:**

The proposed height regulations are designed to allow increased building heights for new development three stories or more while ensuring new construction is compatible with the existing small-scale development within Downtown Tucker. The following images represent the visual intent of the proposed code.



Figures 1 -3. Examples of topographical adjustments for slopes and setbacks. Visual representation only.



Figures 4-6. Examples of setbacks in building design

**Summary:**

The proposed changes include:

1. Permit a maximum of 35 units per acre by right in the DT-2 (Downtown Corridor) and DT-3 (Downtown Village) zoning classifications. Density over 35 units per acre would require a Special Land Use Permit (SLUP).
2. Reduce the minimum required townhome width in DT-3 from 20 feet to 18 feet.
3. Permit increased building height in DT-2 and DT-3, subject to height transitions and topographical adjustments.
4. Adjust the lot coverage in DT-3 to align with the open space requirements in DT-3.

**Financial Impact:** None

**AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF TUCKER, GEORGIA, FOR THE PURPOSE OF AMENDING ARTICLE III, DIVISION 2 OF THE CITY OF TUCKER CODE CHAPTER 46 ZONING REGARDING MULTIFAMILY DENSITY, TOWNHOME WIDTH, LOT COVERAGE, AND BUILDING HEIGHT.**

**WHEREAS**, the Mayor and City Council desires to promote the public health, safety, morals and general welfare of the residents of the city; and,

**WHEREAS**, the Mayor and City Council desires to facilitate the creation of a convenient, attractive and harmonious community; and

**WHEREAS**, the Mayor and City Council desires to encourage an aesthetically attractive environment, both built and natural, and to provide for regulations that protect and enhance these aesthetic considerations; and

**WHEREAS**, the Mayor and City Council desires to encourage economic development activities; and

**WHEREAS**, the Mayor and City Council desires to encourage the development of more rooftops in Downtown Tucker in order to support the commercial base and build a more walkable community; and

**WHEREAS**, the Mayor and City Council desires to achieve compliance with all applicable state and federal regulations; and

**WHEREAS**, the Mayor and City Council desires to provide for protection of the constitutional rights and obligations of all citizens within the city; and

**WHEREAS**, notice to the public regarding said amendment has been duly published in The Champion, the Official News Organ of Tucker; and

**WHEREAS**, a Public Hearing was held by the Mayor and City Council of Tucker on March 11, 2024 and April 8, 2024; and

**WHEREAS**, the Mayor and City Council is the governing authority for the City of Tucker, and;

**WHEREAS**, the Mayor and City Council wish to revise Table 3.1 in Sec. 46-985 to increase the number of multifamily units per acre that are permitted by right in the DT-2 and DT-3 zoning districts, as shown in Exhibit A; and

**WHEREAS**, the Mayor and City Council wish to revise Table 3.2 in Sec. 46-986 to reduce the townhome width in DT-3 from 20-feet to 18-feet, as shown in Exhibit A; and

**WHEREAS**, the Mayor and City Council wish to revise Table 3.2 in Sec. 46-986 to amend the lot coverage for townhouse dwellings and other residential uses in the DT-3 zoning district to 90% to reflect the established open space requirement of 10%, as shown in Exhibit A; and

**WHEREAS**, the Mayor and City Council wish to revise Table 3.2 in Sec. 46-986 to amend the building height regulations in the DT-1, DT-2, and DT-3 zoning districts, as shown in Exhibit A; and

**WHEREAS**, the Mayor and City Council desires to amend Sec. 46-986 (d) regarding height standards for buildings in the Downtown Special Zoning Districts, as shown in Exhibit A; and

**WHEREAS**, the Mayor and City Council desires to create Sec. 46-986 (e) regarding height transition requirements for all new buildings over three stories in the Downtown Special Zoning Districts, as shown in Exhibit A; and

**NOW THEREFORE**, the Mayor and City Council of the City of Tucker while in Regular Session on April 8, 2024 hereby ordains and approves the amendment of Chapter 46 Zoning Article III as shown in Exhibit A, which is attached to this ordinance.

**SO EFFECTIVE** this 8<sup>th</sup> day of April 2024.

Approved by:

\_\_\_\_\_  
Frank Auman, Mayor

Attest:

\_\_\_\_\_  
Bonnie Warne, City Clerk

SEAL



**Sec. 46-985. Use regulations.**

- (a) Table 3.1 indicates the permitted uses within DT districts.
- (b) The uses listed in table 3.1 are only permitted in the district identified, and no use may be established and no structure associated with such use may be erected, structurally altered or enlarged unless the use is permitted as:
  - (1) A permitted use (P);
  - (2) A special use (SP) subject to the special land use permit application procedures specified in article VII;
  - (3) An administratively approved use (SA) subject to the special administrative permit procedures specified in article VII;
  - (4) An accessory use (Pa) as regulated by article IV or the applicable DT district. Table 3.1 does not list all accessory uses but clarifies uses acceptable as accessory, though not typically considered principal uses for the zoning classification.
  - (5) Uses lawfully established prior to the effective date of this Division or this Zoning Ordinance, as applicable.
- (c) Multiple uses are allowed in a single building and on a single site.
- (d) Any use not listed in table 3.1 or interpreted to not be allowed by the community development director by section 46-1124 is not allowed. Any applicant denied a permit to allow a use of property in a DT district other than as provided in this section may file an appeal before the zoning board of appeals as provided in article VII.
- (e) Uses subject to additional regulations in article IV, division 2 of this chapter are indicated. Unless otherwise expressly stated, compliance with these regulations is required regardless of whether the use is permitted as-of-right, as an accessory use, by special administrative permit, or by special land use permit.

<b>Table 3.1 Downtown District Allowed Uses</b>				
Use	Downtown District			See Art. IV, Div. 2
	DT-1	DT-2	DT-3	
<b>RESIDENTIAL</b>				
<b>Dwellings</b>				
Dwelling, cottage home	P	P	P	✓
Dwelling, mobile home				
Dwelling, multi-family (24 35 units per acre or less)		P [4]	P [4]	
Dwelling, multi-family (over 24 35 units per acre)		SP	SP	
Dwelling, multi-family (supportive living)		P	P	✓
Dwelling, townhouse	P	P	P	✓
High-rise apartment				
Dwelling, single-family (attached)	P	P	P	
Dwelling, single-family (detached)	P	P	P	
Dwelling, three-family	P	P	P	
Dwelling, two-family	P	P	P	
Dwelling, single-family, accessory (guesthouse, in-law suite)	Pa	Pa	Pa	✓
Home occupation, no customer contact	P	P	P	✓

Home occupation, with customer contact	SP	SP	SP	✓
Live/work unit	P [3]	P	P	✓
Mobile home park				
Accessory uses or structures	Pa	Pa	Pa	✓

Table 3.1 Notes:

- [1] Only allowed on lots used for a single-family detached dwelling that meet the applicable minimum lot size requirements of article IV, division 2 of this chapter.
- [2] Not to exceed 5,000 square feet per use.
- [3] Permitted uses include all office uses, tutorial/educational services, retail, fine arts studios and/or galleries, and photographic studios. The minimum size of the live-work unit is 1,200 square feet with at least one-third of the unit must be designated for residential space.
- [4] A special land use permit is required when a multi-family use abuts a residential zoning district.
- [5] Uses along Main Street shall not exceed 10,000 square feet per use. Uses not along Main Street may not exceed 10,000 square feet per use unless approved by a special land use permit, however, special land use permits can only be requested for up to 15,000 square feet per use.
- [6] Telecommunications antennas must be incorporated in architectural features such as steeples, clock towers, water towers and attached to the top of high-rise buildings subject to the requirements of section 46-1194.

(Ord. No. O2019-04-15, exh. A(3.2.5), 6-26-2019; Ord. No. O2020-03-07 , exh. A, 3-23-2020; Ord. No. O2021-10-21 , Exh. A, 11-8-2021; Ord. No. O2022-06-45 , Exh. A, 7-11-2022; Ord. No. O2022-10-52 , Exh. A, 11-14-2022; Ord. No. O2023-09-16 , Exh. A, 10-10-2023)

**Sec. 46-986. Dimensional requirements.**

- (a) Dimensional requirements are as shown in table 3.2, Downtown District dimensional requirements.
- (b) Compatibility rules and transitional buffers per article V and section 46-993(b) also apply.

<b>Table 3.2 Downtown District Dimensional Requirements</b>			
Element	Downtown District		
	DT-1	DT-2	DT-3
<b>Overall Site Requirements</b>			
Dwelling units per acre:	Controlled by lot size	Controlled by lot size and use regulations	Controlled by lot size and use regulations
Open space: (development with	20% min.	20% min.	10% min.

more than 10% of floor area as residential):			
<b>Individual Lot Dimensions by use</b>			
<b>Non-Residential or Mixed-Use:</b>			
Lot area:	5,000 sq. ft. min.	5,000 sq. ft. min.	5,000 sq. ft. min.
Lot width:	50 ft. min.	50 ft. min.	50 ft. min.
Lot coverage:	80% max.	80% max.	90% max.
<b>Lot Dimensions: Townhouse dwellings</b>			
Lot area:	1,000 sq. ft. min.	1,000 sq. ft. min.	1,000 sq. ft. min.
Unit width:	20 ft. min.	20 ft. min.	<del>20</del> <u>18</u> ft. min.
Lot coverage:	80% max.	80% max.	<del>80</del> <u>90</u> % max.
<b>Lot Dimensions: Other residential uses</b>			
Lot area:	6,000 sq. ft. min.	6,000 sq. ft. min.	4,000 sq. ft. min.
Lot width:	40 ft. min. (alley), 50 ft. min. (no alley)	40 ft. min. (alley), 50 ft. min. (no alley)	40 ft. min. (alley), 50 ft. min. (no alley)
Lot coverage:	80% max.	80% max.	<del>80</del> <u>90</u> % max.
<b>Setbacks for All Uses</b> (See sec. 46-986(c) for additional setback requirements and setback averaging)			
Front:			
Lavista Rd. (west of Fellowship Rd.), Hugh Howell Rd., Lawrenceville Hwy	Setback averaging applies	5 ft. min. / No max.	5 ft. min. / 20 ft. max.
Lavista Rd. (east of Fellowship Rd.)	5 ft. min. / 20 ft. max.	5 ft. min. / No max.	5 ft. min. / 20 ft. max.
Main St. (block face with pre-1950 building)	Setback averaging applies	Setback averaging applies	Setback averaging applies
Main St. (block face without pre-1950 building)	0 ft. min. / 10 ft. max.	0 ft. min. / 10 ft. max.	0 ft. min. / 10 ft. max.
Other streets	Setback averaging applies	0 ft. min. / 20 ft. max.	0 ft. min. / 20 ft. max.
Side (interior):	5 ft. min.	0 ft. min.	0 ft. min.
Side (corner):	See front	See front	See front
Rear:	20 ft. min.	20 ft. min.	0 ft. min.
<b>Main and Accessory Building Height by Use (min. / max.)</b> (See sec. 46-986(d) for more restrictions)			

Single-family use:	No min. / 3 stories or 35 ft. max., whichever is less	No min. / 3 stories or 35 ft. max., whichever is less	No min. / 3 stories or 35 ft. max., whichever is less
Other uses (within <del>200</del> 40 ft. of Main St. ROW):	<del>No min. / 2 stories or 30 ft. max., whichever is less</del> N/A	No min. / <del>3</del> 2 stories or <del>28-45</del> ft. max., whichever is less, <u>subject to height provisions in sec. 46-986 (d)</u>	No min. / <del>2-3</del> stories or <del>28-45</del> ft. max., whichever is less, <u>subject to height provisions in sec. 46-986 (d)</u>
Other uses (other locations):	No min. / 3 stories or 45 ft. max., whichever is less	<del>5</del> 2 stories or <del>28-70</del> ft. min., whichever is less, <u>subject to height provisions in sec. 46-986 (d) / 4 stories or 60 ft. max., whichever is less</u>	<del>5</del> 2 stories or <del>28-70</del> ft. min., whichever is less, <u>subject to height provisions in / See sec. 46-986(d)(1)</u>

(c) *Additional setback requirements.*

- (1) *Street orientation.* If a lot is bound by more than one public street, the front of the lot along the primary street will be considered the front. When a building sits on a lot at the intersection of two primary streets, it must be located on the portion of the lot closest to such intersection.
- (2) *Increased setbacks.* When a maximum front setback applies it may be increased when an open space, such as a park or plaza, is provided between the respective building and the adjacent street.
- (3) *Setback averaging.* The following setback averaging applies as shown in table 3.2:
  - a. Along Lavista Road, Hugh Howell Road, Lawrenceville Highway, and other streets, the minimum front setback is the average front setback of the existing buildings along the same block face, except for those containing institutional/public uses. When no buildings exist on the block face, the minimum setback will be five feet.
  - b. Along Main Street, on block faces with one or more buildings built before 1950, the maximum front setback is the average setback of the buildings built before 1950 on the same block face.

(d) *Height.* ~~The following height standards apply in addition to those of table 3.2 or otherwise allowed in this zoning ordinance. Building height shall follow the natural topography of a site. The proposed building height shall be measured every fifty (50) linear feet to account for slopes.~~

- ~~(1) — DT-3 district maximum height. The following main and accessory building height standards apply in the DT-3 district:
 
  - a. — North of Railroad Avenue and west of Burns Avenue (when both are met): max. three stories or 52 feet, whichever is less.
  - b. — All other areas: max. four stories or 60 feet, whichever is less.~~
- ~~(2) — Relief limitations. Special land use permits and variances may not be used to increase the number of stories allowed.~~

(e) Height Transitions. New buildings shall be designed to incorporate a stepped approach to transition from adjacent lower scale buildings along the same block face or city greenspaces.

(1) Within 200 feet of Main Street, the maximum building height at the front building line is 35 feet.

(2) Within all other portions of the DT-2 and DT-3 zoning districts, the maximum building height at the front building line is 56 feet.

(Ord. No. O2019-04-15, exh. A(3.2.6), 6-26-2019; Ord. No. O2020-03-07 , exh. A, 3-23-2020)

# TA-24-0002

## TA-24-0002

The proposed changes include:

- Increase the permitted density in DT-2 and DT-3 from 24 u/a to 35 u/a
- Increase building height in DT-2 and DT-3
  - Subject to height transitions and topographical adjustments.
- Reducing the minimum required townhome width from 20 feet to 18 feet.
- Adjust the lot coverage in DT-3 to align with open space requirements.

Focusing text amendment in DT Districts due to the need for more rooftops to support a vibrant downtown.

## Tucker Tomorrow Comp Plan – Goal 1 Enhance Downtown

# 4

### Encourage Greater Mixed-Use Development

The intent of this policy is to encourage a greater mix of uses in downtown, including retail, restaurants, entertainment and housing. In doing so, it is important to the community that the historic character of downtown be preserved and enhanced—mainly the 2-story building height on Main Street, the pedestrian-oriented streetscape, and the look and feel of the historic architectural character. Opportunities for new land use—such as multi-family housing or entertainment—are most viable on properties along the perimeter of downtown, where a larger building typology is more appropriate. It is recommended for the city to identify viable properties for mixed-use, higher density development and amend the Downtown Special Zoning District (DT-3) to allow for increased building heights and densities on these properties. Transitional height requirements should be considered to step new building heights down to Main Street and surrounding residential districts.



# Tucker Tomorrow Comp Plan – Goal 3 Preserve & Improve Neighborhoods

## 3

### Direct New Housing Development to Major Activity Areas

This policy aims to identify appropriate locations for new and more diverse housing types in an effort to maintain the character of existing single-family neighborhoods. Specifically, the intent is to direct new, higher density housing and mixed-use development to downtown, Northlake Mall, and along key corridors such as Lawrenceville Highway and Hugh Howell Road where higher density housing can make redevelopment of underutilized large parcels more economically viable.

Further study of Northlake Mall and surrounding properties is recommended to determine viable opportunities for redevelopment into mixed-use developments that support a variety of housing types.

Building height and density allowances will be key to attracting higher density, mixed-use development to these areas. Zoning text amendments are recommended to appropriately provide these allowances. Consider a text amendment to increase density for mixed-use development and, as listed in Goal 1, update maximum building heights in the properties surrounding downtown.

Additionally, it is recommended to incorporate identified sites and findings from the downtown and Northlake studies into marketing efforts to attract brokers and developers to these desirable redevelopment sites.

# Density

## Multifamily Density – Downtown

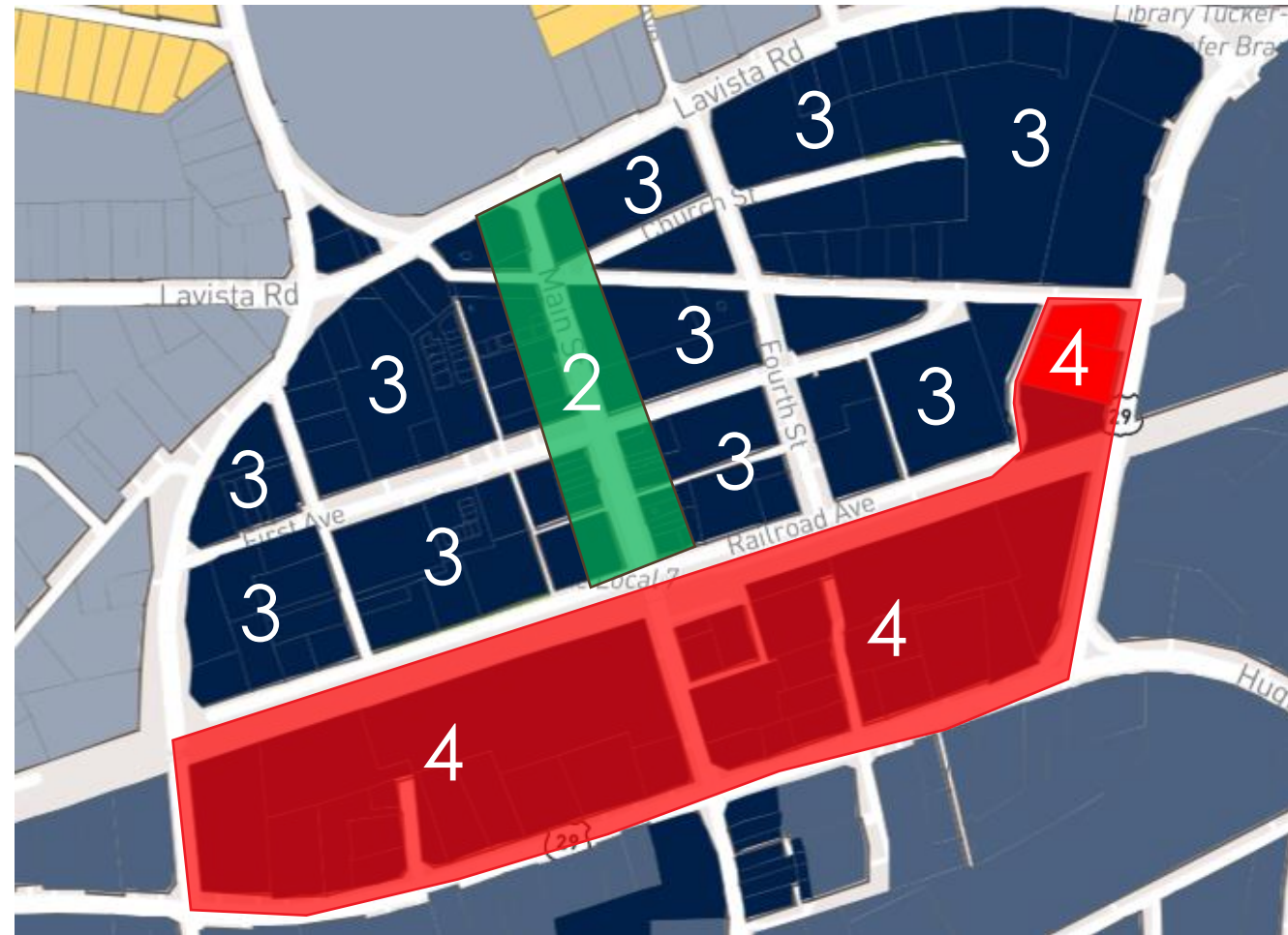
- No new multifamily has occurred in Downtown since incorporation.
- Increased density encourages more housing development.
- 2023 Tucker Tomorrow Comprehensive Plan calls for text amendment to address height and density in Downtown Tucker.
- Density over 35 units per acre would still require a Special Land Use Permit (SLUP).

Use	Downtown District			See Art. IV, Div. 2
	DT-1	DT-2	DT-3	
<b>RESIDENTIAL</b>				
<b>Dwellings</b>				
Dwelling, cottage home	P	P	P	✓
Dwelling, mobile home				
Dwelling, multi-family (24 35 units per acre or less)		P [4]	P [4]	
Dwelling, multi-family (over 24 35 units per acre)		SP	SP	

# Permitted Height

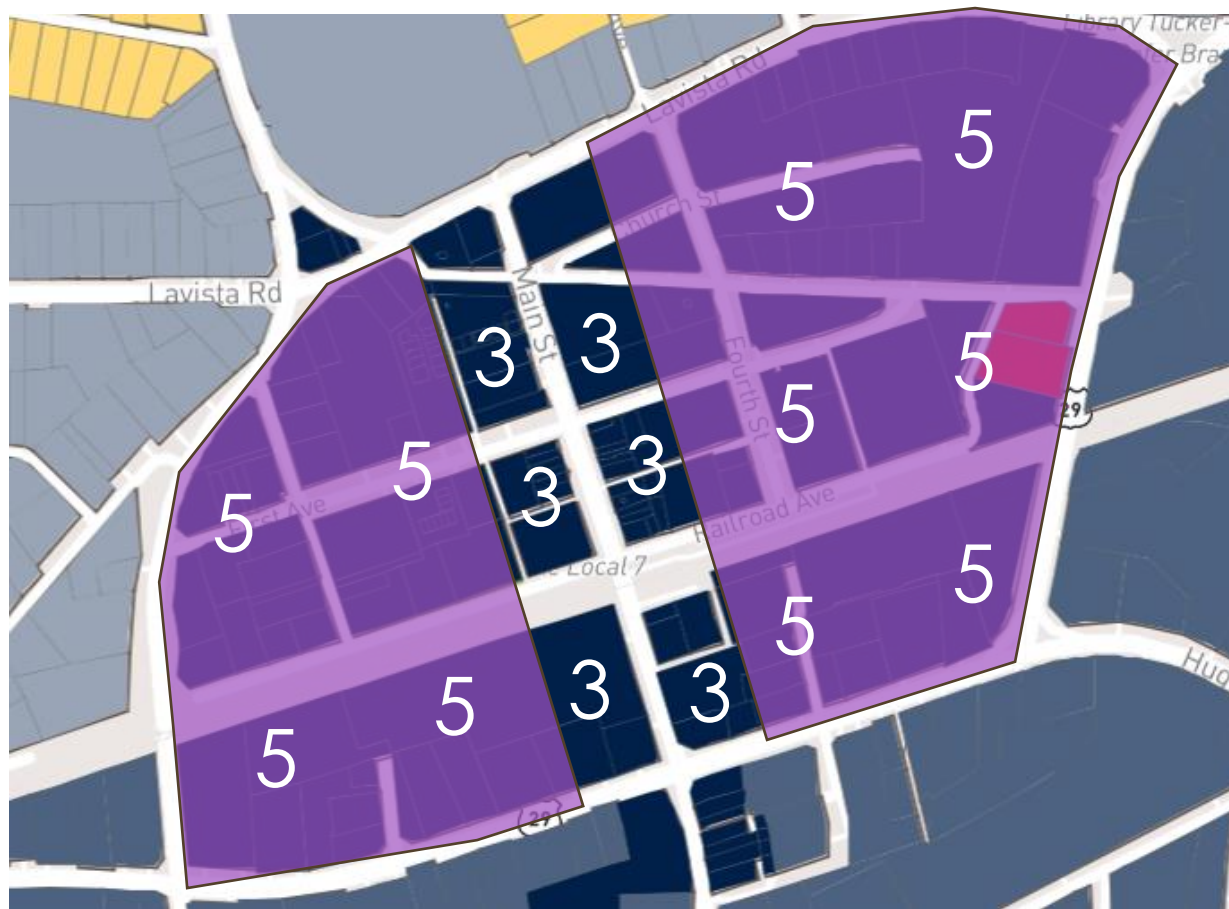
## Downtown Building Height

- **Current DT-3 height restrictions include:**
  - Max. 2 stories or 28' within 40' of Main Street (green).
  - Max. 3 stories or 52' (dark blue)
  - Max. 4 stories or 60' south of Railroad, east of Burns Ave (red)



# Downtown Building Height

- Staff **proposes** the following height changes for DT-3:
  - Max. 3 stories or 45' if within 200' of Main Street (navy).
  - All other areas could be up to 5 stories (purple).



# Downtown Building Height

## CURRENT



## PROPOSED



# Height Transitions



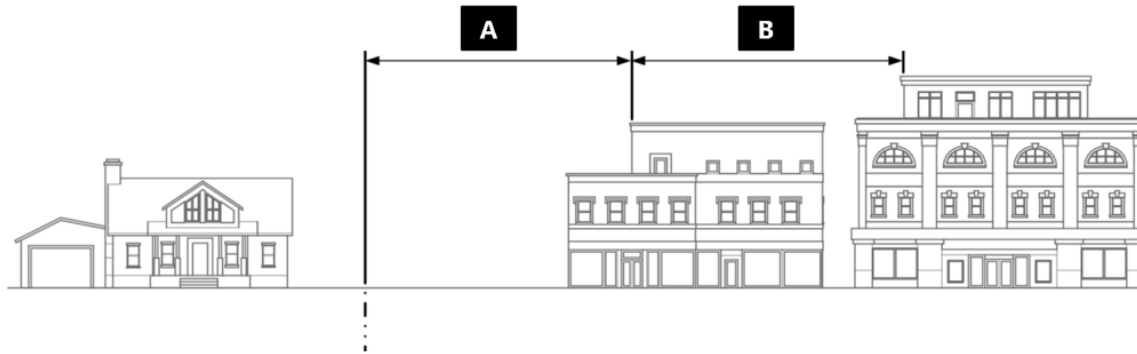
# Downtown Building Height

What we're trying to avoid!



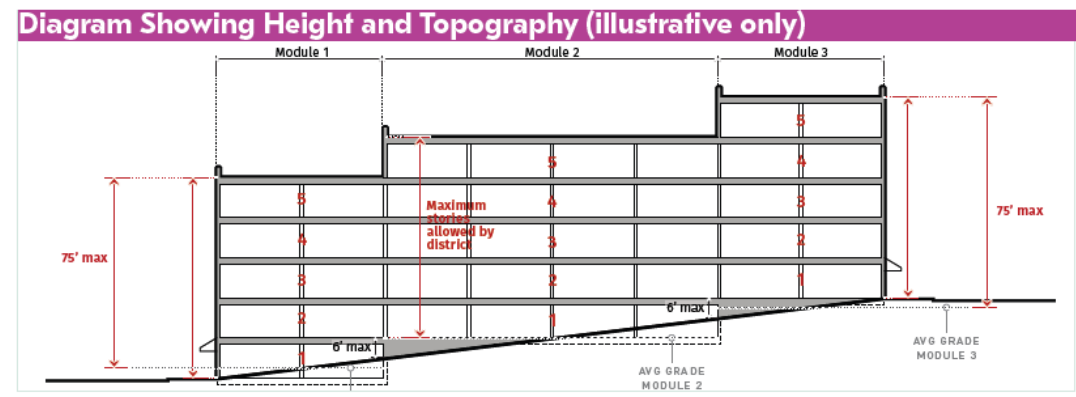
# Downtown Building Height – Height Transitions

Height Transitions. New buildings shall be designed to incorporate a stepped approach to transition from adjacent lower scale buildings along the same block face or city greenspaces.



# Downtown Building Height - Topography

Building height shall follow the natural topography of a site. The proposed building height shall be measured every fifty (50) linear feet to account for slopes.



## Downtown Building Height - Topography

- Height and Height Transitions
  - All new buildings 3 stories or more would require height transitions
  - Building height shall follow natural topography which will provide more height variations
- Will help ensure appropriate massing and scale; respect the historic character of Main Street.

# Townhome Width in DT-3

## Downtown (DT-3) Townhome widths

- Currently the minimum required width is 20'
- Reduction to 18' will encourage more variety of housing options in the Downtown core, as well as reflect the more urban environment.



## Downtown (DT-3) Lot Coverage

- Open space in DT-3 is set at 10%, but lot coverage set at 80%
- Staff proposes changing the maximum lot coverage to 90% for consistency
- Increased lot coverage would be appropriate in DT-3
- Also reflects the current as built conditions of many lots in DT-3

## Staff Recommendation

Staff recommends approval of TA-24-0002.

## Planning Commission Recommendation

Planning Commission recommends approval of TA-24-0002.





City of Tucker  
1975 Lakeside Parkway  
Tucker, GA 30084



678-597-9040



Tuckerga.gov



info@tuckerga.gov



# City of Tucker

## MEMO

**To:** Honorable Mayor and City Council Members  
**From:** Courtney Smith, Community Development Director  
**CC:** John McHenry, City Manager  
**Date:** March 28, 2024  
**RE:** Memo for Resolution to Accept Property from GDOT

---

**Contract/Document Number:** R2024-04-12

### Description for on the Agenda:

- A resolution of the Mayor and City Council of the City of Tucker, Georgia for the purpose of accepting 0.41 acres of land in Land Lot 144 of the 18th District.

**Issue:** Staff has been working to acquire the land at 2949 Lawrenceville Highway since January of 2023 in order to complete a beautification project and install City of Tucker Gateway signage. Both improvements will occur after the completion of the City Standard Guidebook process that is anticipated to conclude in the Fall of 2024.

### Recommendation:

Acceptance of land per the quitclaim deed from the Georgia Department of Transportation (GDOT).

### Background:

While working to address ongoing illegal 18-wheeler parking in right-of-way by the gas station at 2929 Lawrenceville Highway, staff identified the vacant land owned by GDOT at 2949 Lawrenceville Highway as an ideal location for a beautification project with gateway signage as it is at the front door of the City and in an area in need of revitalization.

The City is very invested in the future of the Lawrenceville Highway Corridor as it is an important gateway into the City and one of the main arteries through our community. Accordingly, we have made the following investments and initiatives in the area:

- Investing over half a million dollars in landscaping improvements at the 285/Lawrenceville Highway intersection, via the GDOT process.
- Creation of a new special zoning district for the portion of Lawrenceville Highway between Cooledge Road and Brockett Road to help spur redevelopment in the right direction and improve the corridor as a whole.
- Creation of a City Standard Guidebook which will create a design for City of Tucker gateway signage, as well as landscaping standards for the area around the signs.

**Summary:** The final step in this process is for Mayor and City Council to accept the land by resolution. We believe the acquisition of this land and subsequent improvements will help create a sense of place for the Tucker community and drive more improvements in the area.

**Financial Impact:** None. The land is being given to the City of Tucker at no cost with the requirement that the land be used for

public use. Should the property fail to be publicly owned and maintained as a public use, ownership of the property shall revert back to GDOT. The estimated value of the property is \$231,700.00.

**A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE CITY OF TUCKER,  
GEORGIA FOR THE PURPOSE OF ACCEPTING 0.41 ACRES OF LAND IN LAND LOT  
144 OF THE 18TH DISTRICT.**

---

**WHEREAS**, the Georgia Department of Transportation (GDOT) conveyed 0.41 acres of land to the City of Tucker per a quitclaim deed dated February 13, 2024 and recorded on February 21, 2024 in DEED BOOK 31298 PG 547, which is attached hereto as R2024-04-12 Exhibit “A” and incorporated herein; and,

**WHEREAS**, the area of land conveyed is more particularly described in Exhibit A and shown in Exhibit B of the quitclaim deed; and

**WHEREAS**, the Mayor and City Council of the City of Tucker hereby accepts the conditions of the conveyance per 23 CFR § 710.409 (b) and (d) that the land be used for public ownership and public use and that the grantor retains a reversionary right to the land should the property fail to be publicly owned and maintained as a public use; and,

**WHEREAS**, the Mayor and City Council of the City of Tucker have determined that the area of conveyance shall be used for beautification purposes and gateway signage for the City of Tucker; and

**NOW THEREFORE**, the Mayor and City Council of the City of Tucker while in Regular Session on April 8, 2024, hereby ordains and approves this resolution, per the documentation referenced herein as R2024-04-12 Exhibit “A”.

**SO EFFECTIVE** this 8<sup>th</sup> day of April 2024.

Approved by:

---

Frank Auman, Mayor  
City of Tucker, Georgia

ATTEST:

---

Bonnie Warne, City Clerk

(SEAL)

**R2024-04-12 Exhibit "A"**

HARRIS & JAMES, LLP  
POST OFFICE BOX 4866  
MACON, GA 31208-4866

GEORGIA DEPARTMENT OF TRANSPORTATION  
QUITCLAIM DEED

Tax Map No. 18 144 11 006  
STATE OF GEORGIA  
COUNTY OF FULTON

PROJECT: U-003-2(19)  
P.I. n/a GEP# n/a  
PARCEL: 1A PM # 4194

THIS INDENTURE made this 13<sup>th</sup> day of February, 2024, between the GEORGIA DEPARTMENT OF TRANSPORTATION, an agency of the State of Georgia (herein called "Grantor") and CITY OF TUCKER (herein called "Grantee").

WITNESSETH: that the Grantor for and in consideration of the sum of ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION, cash in hand paid, the receipt of which is hereby acknowledged, has bargained, sold, and does by these presents bargain, sell, remise, release, and forever QuitClaim to Grantee all the right, title, interest, claim or demand which Grantor has or may have had to all that parcel of land described in Exhibit "A", shown on the plat marked Exhibit "B".

THIS CONVEYANCE IS MADE PURSUANT TO 23 CFR § 710.409 (b) and (d) for continued Public Ownership and for Public Use. Therefore GRANTOR hereby retains a reversionary right to the above described property. Should the property fail to be publicly owned and maintain the specified public use, or use for a public transportation related purpose, ownership of the property shall revert to the Grantor at no cost to the Grantor, free and clear of any and all liens or encumbrances. Grantee further agrees that upon acceptance and recording of this deed to maintain the above described property for public purposes.

THIS CONVEYANCE IS MADE SUBJECT TO any existing easement, recorded or unrecorded, and any utility facilities existing or permitted by the Department of Transportation, over, under or upon this property at the time of this sale.

TO HAVE AND TO HOLD the said described premises, together with all and singular the rights, privileges and appurtenances thereto, or in anywise appertaining, to the only proper use, benefit and behoof of the Grantee, his heirs and assigns, forever.

PM QCD with Reversion 09/21/2020

STATE OF GEORGIA  
COUNTY OF FULTON

PROJECT: U-003-2(19)  
P.I. n/a GEP# n/a  
PARCEL 1A  
PM # 4194

IN WITNESS WHEREOF, the Grantor, acting by and through the Commissioner of the Department of Transportation, has hereunto caused the hand and seal of the Department of Transportation to be set to these presents the day and year first above written.

Signed, Sealed, and Delivered this  
the 13 day of February, 2024  
in the Presence of

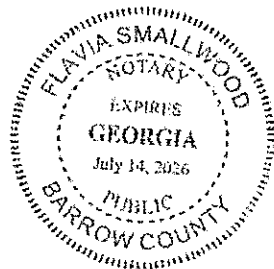
[Signature]  
Witness

[Signature]  
Notary Public

DEPARTMENT OF TRANSPORTATION  
An agency of the State of Georgia

BY [Signature] (Seal)  
Russell R. McMurry, P.E.  
Commissioner

ATTEST: [Signature] (Seal)  
Angela O. Whitworth  
Treasurer



PM QCD with Reversion 09/21/2020

**EXHIBIT "A"**

Page 1 of 2

PROJECT NO.: U-003-2(19)  
 P.I. NO.: n/a  
 PM NO.: 4194  
 COUNTY: DeKalb  
 Parcel: 1A  
 Parcel Size: 0.41 Acres

All that tract or parcel of land lying and being in Land Lot 144, Land District 18, G.M.D 1327, Dekalb County, Georgia being more particularly described as follows:

Beginning at an iron pin set being in the corner of the southern variable width right of way of Lawrenceville Highway and the eastern variable width right of way of Honea Road, and being the northwest corner of a parcel of land owned now or formerly by Georgia Department of Transportation as recorded in Deed Book 9024, Page 71, DeKalb County, Georgia Clerk of Court's Office, having Georgia State Plane West Zone 83(2011) coordinates of Northing=1,392,499.194 feet, Easting= 2,271,186.871 feet and being the point and place of beginning; Thence run along the new boundary an arc 95.860 feet to the right, having a radius of 3380.840 feet, the chord bearing of which is N50°50'43"E for a distance of 95.857 feet to an iron pin set being the new northeast corner of the new parcel of land; Thence run along the new property line S78°13'50"E a distance of 38.125 feet to an iron pin set; Thence run along an arc 189.610 feet to the right, having a radius of 365.470 feet, the chord bearing of which is S10°20'05"E for a distance of 187.491 feet to an iron pin set; Thence run along the new property line N79°24'33"W a distance of 72.80 feet to an iron pin set; Thence run along the western right of way of Honea Road an arc distance of 41.630 feet to the left, having a radius of 1051.496 feet, the chord bearing of which is N30°24'29"W for a distance of 41.628 feet to an iron pin set; Thence run along the western right of way of Honea Road N32°34'29"W a distance of 97.803 feet to the point of beginning.

Containing 17,816.07 square feet (0.41 acres) more or less and being shown on that certain plat entitled "Boundary Survey for: Georgia Department of Transportation, GDOT Site ID: PM4194, DeKalb County, Georgia, dated September 05, 2023, performed by GPI Geospatial, INC., under the supervision of a. Cory Williams, PLS No. 3474.

**THIS CONVEYANCE IS MADE SUBJECT TO** any existing easement, recorded or unrecorded, and any surface, subsurface and/or above ground utility facilities, existing or permitted by the Department of Transportation, and existing over, under or upon the property at the time of this sale.



**EXHIBIT "A"**

Page 2 of 2

PROJECT NO.: U-003-2(19)  
 P.I. NO.: n/a  
 PM NO.: 4194  
 COUNTY: DeKalb  
 Parcel: 1A  
 Parcel Size: 0.41 Acres

**Limited Access Rights Retained by Georgia Department of Transportation:**

All that tract or parcel of land lying and being in Land Lot 144, Land District 18, G.M.D 1327, Dekalb County, Georgia being more particularly described as follows:

Beginning at an iron pin set being in the corner of the southern variable width right of way of Lawrenceville Highway and the eastern variable width right of way of Honea Road, and being the northwest corner of a parcel of land owned now or formerly by Georgia Department of Transportation as recorded in Deed Book 9024, Page 71, DeKalb County, Georgia Clerk of Court's Office, having Georgia State Plane West Zone 83(2011) coordinates of Northing=1,392,499.194 feet, Easting= 2,271,186.871 feet and being the point and place of beginning; Thence run along the new boundary an arc 95.860 feet to the right, having a radius of 3380.840 feet, the chord bearing of which is N50°50'43"E for a distance of 95.857 feet to an iron pin set. Containing 95.860 LF of Limited Access Rights.

**THIS CONVEYANCE IS MADE SUBJECT TO** any existing easement, recorded or unrecorded, and any surface, subsurface and/or above ground utility facilities, existing or permitted by the Department of Transportation, and existing over, under or upon the property at the time of this sale.



SECTION A – SELLER'S INFORMATION (Do not use agent's information)				SECTION C – TAX COMPUTATION	
SELLER'S BUSINESS / ORGANIZATION / OTHER NAME Department of Transportation				Exempt Code If no exempt code enter NONE	
MAILING ADDRESS (STREET & NUMBER) 600 W. Peachtree Street, NW				1. Actual Value of consideration received by seller Complete Line 1A if actual value unknown	
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Atlanta, GA 30308 USA		DATE OF SALE 2/13/2024		1A. Estimated fair market value of Real and Personal property	
SECTION B – BUYER'S INFORMATION (Do not use agent's information)				2. Fair market value of Personal Property only	
BUYERS'S BUSINESS / ORGANIZATION / OTHER NAME City of Tucker				3. Amount of liens and encumbrances not removed by transfer	
MAILING ADDRESS (Must use buyer's address for tax billing & notice purposes) 1975 Lakeside Parkway, Suite 350				4. Net Taxable Value (Line 1 or 1A less Lines 2 and 3)	
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY Tucker, GA 30084 USA		Check Buyers Intended Use <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Agricultural <input type="checkbox"/> Industrial		5. TAX DUE at .10 per \$100 or fraction thereof (Minimum \$1.00)	
SECTION D – PROPERTY INFORMATION (Location of Property (Street, Route, Hwy, etc))					
HOUSE NUMBER & EXTENSION (ex 265A)		PRE-DIRECTION, STREET NAME AND TYPE, POST DIRECTION Honea Road			SUITE NUMBER
COUNTY DEKALB		CITY (IF APPLICABLE)		MAP & PARCEL NUMBER 18 144 11 006	ACCOUNT NUMBER
TAX DISTRICT	GMD	LAND DISTRICT	ACRES	LAND LOT	SUB LOT & BLOCK
SECTION E – RECORDING INFORMATION (Official Use Only)					
DATE		DEED BOOK	DEED PAGE	PLAT BOOK	PLAT PAGE

ADDITIONAL BUYERS  
None

## R2024-04-12 Background



- 2003 Aerial
- What is currently known as 2949 Lawrenceville Highway shown in red.
- Aerial shows former configuration of Montreal Road East – immediately adjacent to Citgo.

## R2024-04-12 Background



- 2022 Aerial
- 2949 Lawrenceville Highway shown in red.
- Aerial shows how Montreal Road East was shifted.

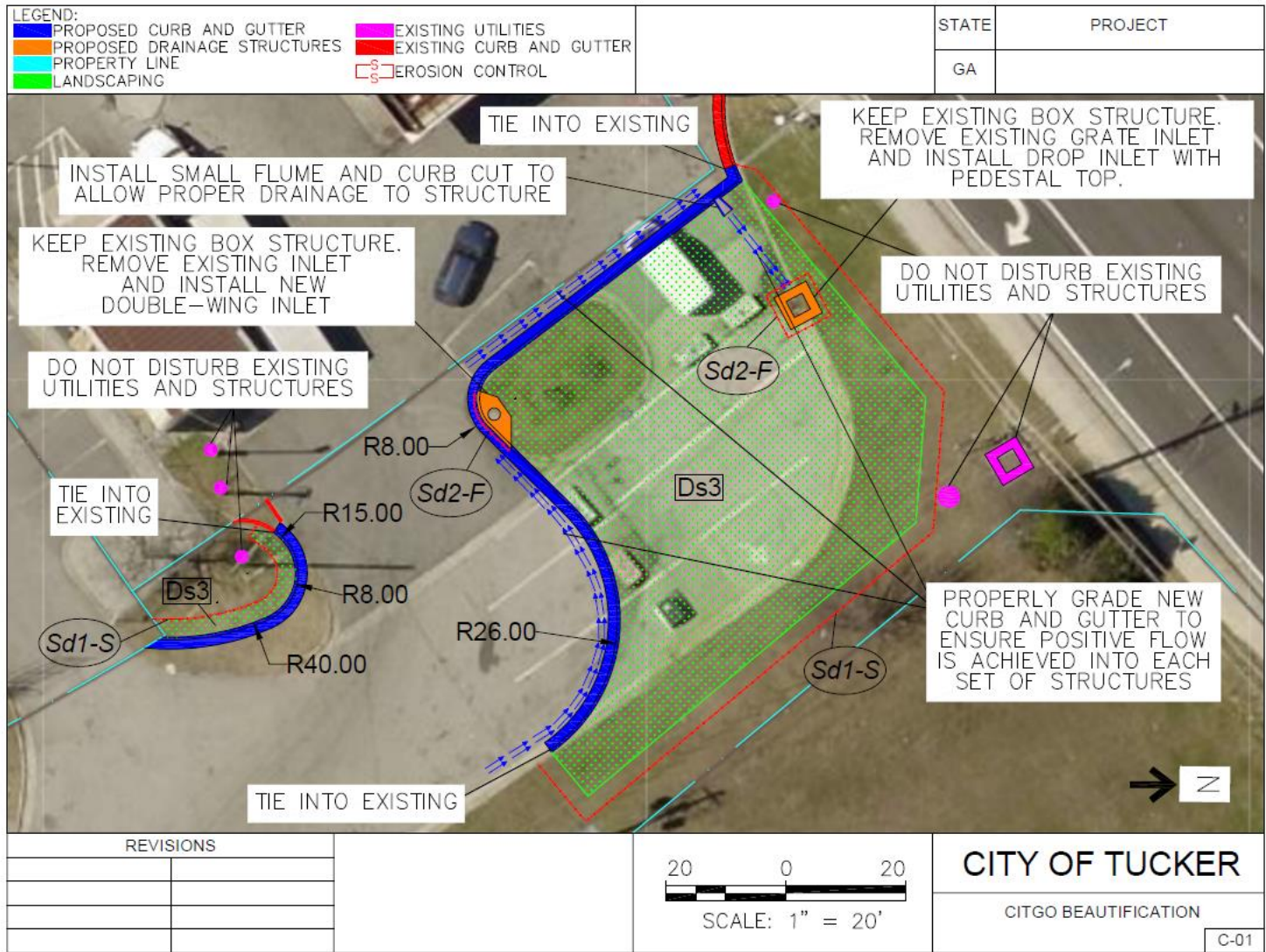
# R2024-04-12 Background



# R2024-04-12 Background



# R2024-04-12 Background



- 2023 project to remove excess pavement from previous road configuration, address illegal parking, and beautify the area.
- Approximate area of new grassing: 4,100 sq ft.

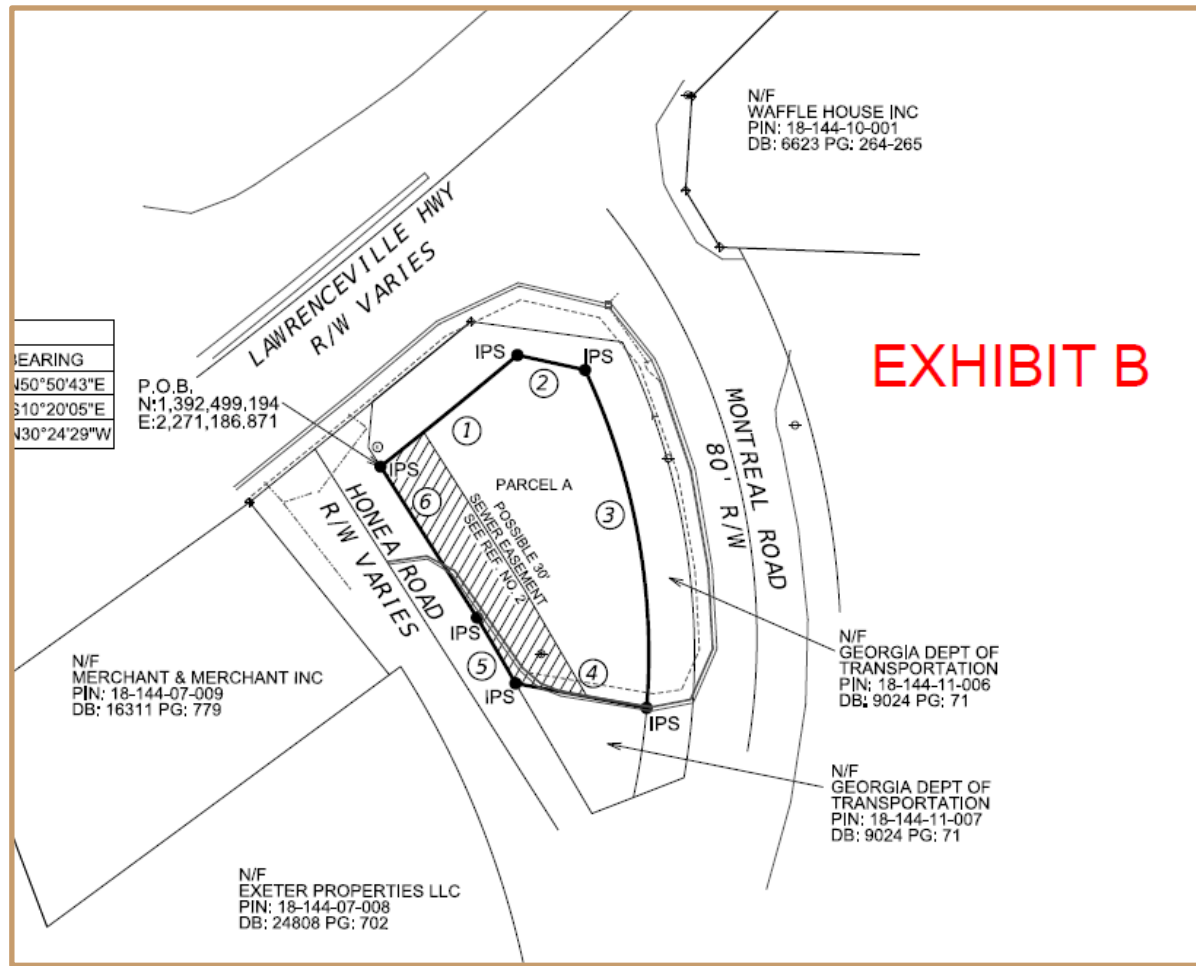




# R2024-04-12 Background



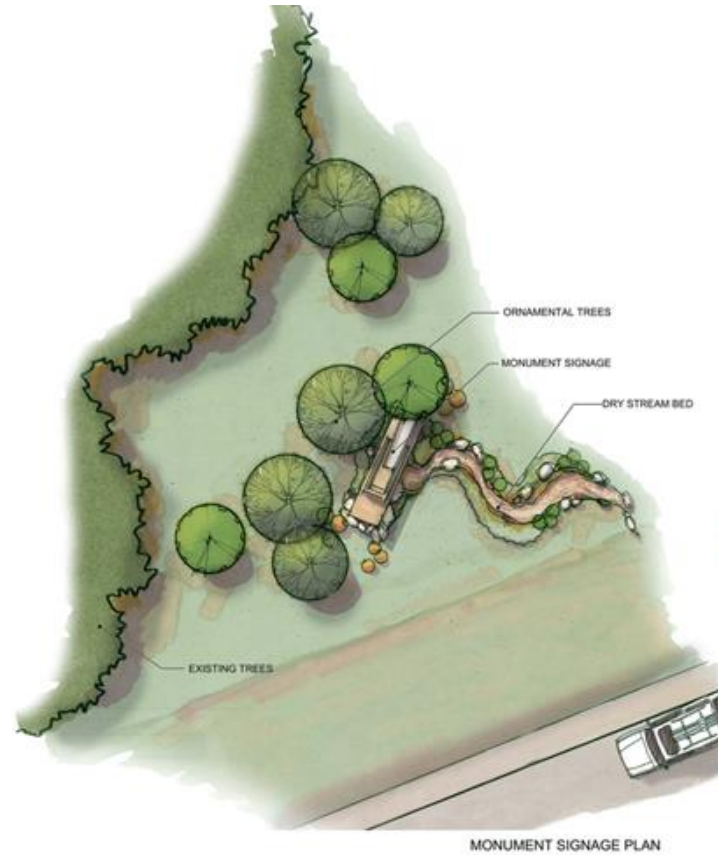
0.55 Acres



0.41 Acres



# Next Steps?



0.50 Acres of Landscaping and Gateway Signage



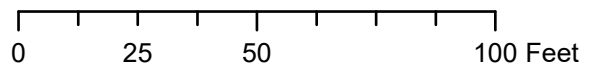
This map is for informational purposes only and is not to be interpreted as a legal document. The City assumes no legal responsibility for the information shown on this map. For inquiries, please contact the City of Tucker.  
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2949 Lawrenceville Hwy

  Project Parcels

  Tucker Parcels





# City of Tucker

## MEMO

**To:** Honorable Mayor and City Council Members  
**From:** Courtney Smith, Community Development Director  
**CC:** John McHenry, City Manager  
**Date:** March 28, 2024  
**RE:** Memo for Contract Award for City Standard Guidebook

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**Contract/Document Number:** Contract C2024-002-PO24-707

### Description for on the Agenda:

- Consideration of a Contract Award for the City Standard Guidebook

### Issue:

The city would like to hire a consultant to establish a standard for signage, landscaping, and other elements to be used consistently throughout the city.

### Recommendation:

Staff recommends awarding the contract to TSW for a total of \$77,900.00

### Background:

The City of Tucker released an RFP in January of 2024 for the creation of a City Standards Guidebook which will identify a set of required products and design standards for city projects, including gateway signage, landscaping standards, streetscape standards, etc. Staff from several departments reviewed the bid submittals and are recommending that the contract be awarded to TSW.

### Summary:

By designing and creating a set of standards unique to Tucker, public projects across the city will have consistency that will create a unique sense of place and add character to the city as a whole. The guidebook will convey the aesthetics and feel of the city's built-environment and provide a framework for decision makers to use in planning future improvements.

The process will include research on existing conditions, community engagement, visioning and design, and the creation of the final guidebook. Once complete, TSW will also prepare bid documents for the implementation of the first gateway sign and landscaping. Community engagement will include an in-person meeting at City Hall with the community, a pop-up event (likely First Friday or Tucker Day), and an online visual preference survey. We expect TSW to attend three city council meetings throughout the process.

The guidebook will identify the following elements:

- Signage Family - Include draft graphics for a signage family and a map showcasing the
  - Gateway, including gateway arch for Downtown Trail

- Wayfinding
  - Plaques
  - Street signposts
  - Street name signs and street name sign toppers
  - City limit signs
  - Park signage, such as kiosk, park rules, etc. that coordinate with existing monument and pillar park signage
  - Banner support structure that can be used to display banners for city events
  - Trail signage
  - Artistic signage, and/or "selfie art"
  - Panels
- Landscape Patterns - Develop guidelines for
    - Memorial benches, trees and plaques
    - Sanitation amenities – trash cans, recycling bins, dumpster enclosures, pet waste disposal
    - Lighting – vehicular lighting, pedestrian lighting, decorative lighting
    - Streetscape design & elements – street trees, street planters, seating (benches, other forms), curbing, bike racks
    - Bollards (material, colors, etc.)
    - Center island design for roundabouts (materials, landscaping, art, etc)
    - Crosswalks and ADA ramps standards
    - Manhole cover designs
    - MARTA bus shelters
    - Landscaping – trees, shrubs, ground cover (includes landscaping used for screening purposes)
    - Retaining wall materials and fence materials
    - Mast arms and other utility support structures

We anticipate the project will take approximately 6 months to complete.

**Financial Impact:**

\$56,900 for the City Standard Guidebook and \$21,000 for the creation of bid documents for landscaping and gateway signage for one site. Both will be funded using 300-7000-52.12000-CD2402.



**CONTRACT AGREEMENT  
RFP 2024-002 CITY STANDARDS GUIDEBOOK**

This Agreement made and entered into this \_\_\_\_\_ day of \_\_\_\_\_, in the year 2024, by and between The City of Tucker, Georgia, having its principal place of business at 1975 Lakeside Parkway, Suite 350, Tucker, Georgia and **Tunnell-Spangler-Walsh & Associates, Inc.** (“Consultant”) located at 1447 Peachtree Street NE, Suite 840, Atlanta, GA 30309.

WHEREAS, the City of Tucker is charged with the responsibility for the establishment of contracts for the acquisition of goods, materials, supplies and equipment, and services by the various departments of the City of Tucker; and

WHEREAS, the City of Tucker has caused **Request for Proposal 2024-002** to be issued soliciting proposals from qualified Consultants to furnish all items, labor services, materials and appurtenances called for by them in accordance with this proposal. Selected ("Consultant") is required to provide the services as called for in the specifications; and

WHEREAS, the Consultant submitted a response to the **RFP 2024-002**; and

WHEREAS, the Consultant’s submittal was deemed by the City of Tucker to be the most responsible and responsive per the scope of work; and

NOW THEREFORE, in consideration of the mutual covenant and promises contained herein, the parties agree as follows:

## **1.0 Scope of Work**

That the Consultant has agreed and by these present does agree with the City to furnish all equipment, tools, materials, skill, labor of every description, and all things necessary to carry out as delineated in "**Exhibit A**" (**Scope of Work**) and complete in a good, firm, substantial and workmanlike manner, the Work in strict conformity with the specifications which shall form an essential part of this agreement. In addition to the foregoing, and notwithstanding anything to the contrary stated herein, the following terms and conditions, amendments, and other documents are incorporated by reference and made a part of the terms and conditions of this Agreement as is fully set out herein:

- EXHIBIT A - SCOPE OF SERVICE**
- EXHIBIT B - COST PROPOSAL**
- EXHIBIT C - W-9**
- EXHIBIT D - CERTIFICATE OF INSURANCE**
- EXHIBIT E - E-VERIFY AFFIDAVIT**

**EXHIBIT F - CONTACT INFORMATION**  
**EXHIBIT G - ADDENDUMS**

**2.0 Key Personnel**

The City of Tucker enters into this Agreement having relied upon Consultant's providing the services of the Key Personnel, if any, identified as such in the body of the Agreement. No Key Personnel may be replaced or transferred without the prior approval of the City's authorized representative. Any Consultant personnel to whom the City objects shall be removed from City work immediately. The City maintains the right to approve in its sole discretion all personnel assigned to the work under this Agreement.

**3.0 Compensation**

**3.1 Pricing.** The Consultant will be paid for the services sold pursuant to the Contract in accordance with the RFP and final pricing documents as incorporated into the terms of the Contract. All prices are firm and fixed and are not subject to variation. The prices quoted and listed on the attached Cost Proposal, a copy of which is attached hereto as "**Exhibit B**" (**Cost Proposal**) and incorporated herein, shall be firm throughout the term of this Contract. The maximum costs owed by the City, unless otherwise agreed to in writing, shall not exceed **\$77,900.00**.

**3.2 Billings.** If applicable, the Consultant shall submit, on a regular basis, an invoice for services supplied to the City under the Contract at the billing address specified in the Purchase Instrument or Contract. The invoice shall comply with all applicable rules concerning payment of such claims. The City shall pay all approved invoices in arrears and in accordance with applicable provisions of City law. Unless otherwise agreed in writing by the parties, the Consultant shall not be entitled to receive any other payment or compensation from the City for any services provided by or on behalf of the Consultant under the Contract. The Consultant shall be solely responsible for paying all costs, expenses and charges it incurs in connection with its performance under the Contract.

Invoices are to be emailed to [invoice@tuckerga.gov](mailto:invoice@tuckerga.gov) and must reference the PO# (see top of contract). A W-9 Request for Taxpayer Identification Number and Certification Form must be submitted "**Exhibit C**" (**W-9**).

**3.3 Delay of Payment Due to Consultant's Failure.** If the City in good faith determines that the Consultant has failed to perform or deliver any service or product as required by the Contract, the Consultant shall not be entitled to any compensation under the Contract until such service or product is performed or delivered. In this event, the City may withhold that portion of the Consultant's compensation which represents payment for services or products that were not performed or delivered. To the extent that the Consultant's failure to perform or deliver in a timely manner causes the City to incur costs, the City may deduct the amount of such incurred costs from any amounts payable to Consultant. The City's authority to deduct such incurred costs shall not in any way affect the City's authority to terminate the Contract.

**3.4 Set-Off Against Sums Owed by the Consultant.** In the event that the Consultant owes the

City any sum under the terms of the Contract, pursuant to any judgment, or pursuant to any law, the City may set off the sum owed to the City against any sum owed by the City to the Consultant in the City's sole discretion.

#### **4.0 Duration of Contract**

**Contract Term.** The Contract between the City and the Consultant shall begin and end upon the completion of the work, unless terminated earlier in accordance with the applicable terms and conditions. Pursuant to O.C.G.A. Section 36-60-13, this Contract shall not be deemed to create a debt of the City for the payment of any sum beyond the fiscal year of execution or, in the event of a renewal, beyond the fiscal year of such renewal. The term of this contract shall align with the City's fiscal year from July 1 to June 30 and shall be from commencement of services and until all services are rendered. All invoices postmarked by the City during said term shall be filled at the contract price.

If not set forth in the Consultant's submittal, the City will determine the basic period of performance for the completion of any of Consultant's actions contemplated within the scope of this Agreement and notify Consultant of the same via written notice. If no specific period for the completion of Consultant's required actions pursuant to this Agreement is set out in writing, such period shall be a reasonable period of time based upon the nature of the activity. If the completion of this Contract is delayed by actions of the City, then and in such event the time of completion of this Contract shall be extended for such additional time within which to complete the performance of the Contract as is required by such delay.

This Contract may be extended by mutual consent of both the City and the Consultant for reasons of additional time, additional services and/or additional areas of work.

#### **5.0 Independent Consultant**

**5.1** The Consultant shall be an independent Consultant. The Consultant is not an employee, agent or representative of the City of Tucker. The successful Consultant shall obtain and maintain, at the Consultant's expense, all permits, license or approvals that may be necessary for the performance of the services. The Consultant shall furnish copies of all such permits, licenses or approvals to the City of Tucker Representative within ten (10) day after issuance.

**5.2** Inasmuch as the City of Tucker and the Consultant are independent of one another neither has the authority to bind the other to any third person or otherwise to act in any way as the representative of the other, unless otherwise expressly agreed to in writing signed by both parties hereto. The Consultant agrees not to represent itself as the City's agent for any purpose to any party or to allow any employee of the Consultant to do so, unless specifically authorized, in advance and in writing, to do so, and then only for the limited purpose stated in such authorization. The Consultant shall assume full liability for any contracts or agreements the Consultant enters into on behalf of the City of Tucker without the express knowledge and prior written consent of the City.



## **6.0 Indemnification**

- 6.1** The Consultant agrees to indemnify, hold harmless and defend the City, its public officials, officers, employees, and agents from and against any and all liabilities, suits, actions, legal proceedings, claims, demands, damages, costs and expenses (including reasonable attorney's fees) to the extent rising out of any act or omission of the Consultant, its agents, subconsultants, consultants or employees in the performance of this Contract except for such claims that arise from the City's sole negligence or willful misconduct.
- 6.2** Notwithstanding the foregoing indemnification clause, the City may join in the defense of any claims raised against it in the sole discretion of the City. Additionally, if any claim is raised against the City, said claim(s) cannot be settled or compromised without the City's written consent, which shall not be unreasonably withheld.

## **7.0 Performance**

Performance will be evaluated on a monthly basis. If requirements are not met, City of Tucker Procurement will notify the Consultant in writing stating deficiencies, substitutions, delivery schedule, and/or poor workmanship.

A written response from the Consultant detailing how correction(s) will be made is required to be delivered to the City. Consultant will have thirty (30) days to remedy the situation.

If requirements are not remedied City of Tucker has the right to cancel this Agreement with no additional obligation to Consultant.

### **7.1 Final Completion, Acceptance, and Payment**

- (a) Final Completion shall be achieved when the work is fully and finally complete in accordance with the Contract Documents. The City shall notify Consultant once the date of final completion has been achieved in writing.
- (b) Final Acceptance is the formal action of City acknowledging Final Completion. Acceptance shall be final and conclusive except for latent defects, fraud, gross mistakes amounting to fraud, or the City's right under any warranty or guarantee. Prior to Final Acceptance, Consultant shall, in addition to all other requirements in the Contract Documents submit to City a Notice of any outstanding disputes or claims between Consultant and any of its subconsultants, including the amounts and other details thereof. Neither Final Acceptance, nor final payment shall release Consultant or its sureties from any obligations of these Contract Documents or the bond, or constitute a waiver of any claims by City arising Consultant's failure to perform the work in accordance with the Contract Documents.
- (c) Acceptance of final payment by Consultant, or any subconsultant, shall constitute a waiver and release to City of all claims by Consultant, or any such subconsultant for an increase in the Contract Sum or the Contract Time, and for every act or omission of City relating to or arising out of the work, except for those Claims made in accordance with the procedures, including the time limits, set forth in section 8.

## 8.0 Changes

The City, within the general scope of the Agreement, may, by written notice to Consultant, issue additional instructions, require additional services or direct the omission of services covered by this Agreement. In such event, there will be made an equitable adjustment in price, but any claim for such an adjustment must be made within thirty (30) days of the receipt of said written notice.

## 9.0 Change Order Defined

Change order shall mean a written order to the Consultant executed by the City issued after the execution of this Agreement, authorizing and directing a change in services. The Price and Time may be changed only by a Change Order.

## 10.0 Insurance

**10.1** The Consultant shall, at its own cost and expense, obtain and maintain worker's compensation and commercial general liability insurance coverage covering the period of this Agreement, such insurance to be obtained from a responsible insurance company legally licensed and authorized to transact business in the State of Georgia. The minimum limit for Worker's Compensation Insurance shall be the statutory limit for such insurance. The minimum limits for commercial general liability insurance, which must include personal liability coverage will be \$1,000,000 per person and \$1,000,000 per occurrence for bodily injury and \$500,000 per occurrence for property damage.

**10.2** Consultant shall provide certificates of insurance evidencing the coverage requested herein before the execution of this agreement, and at any time during the term of this Agreement, upon the request of the City, Consultant shall provide proof sufficient to the satisfaction of the City that such insurance continues in force and effect. **"Exhibit D" (Certificate of Insurance).**

## 11.0 Termination

**11.1** Immediate Termination. Pursuant to O.C.G.A. Section 36-60-13, this Contract will terminate immediately and absolutely if the City determines that adequate funds are not appropriated or granted or funds are de-appropriated such that the City cannot fulfill its obligations under the Contract, which determination is at the City's sole discretion and shall be conclusive. Further, the City may terminate the Contract for any one or more of the following reasons effective immediately without advance notice:

- (a) In the event the Consultant is required to be certified or licensed as a condition precedent to providing goods and services, the revocation or loss of such license or certification may result in immediate termination of the Contract effective as of the date on which the license or certification is no longer in effect;
- (b) The City determines that the actions, or failure to act, of the Consultant, its agents,

employees or subconsultants have caused, or reasonably could cause, life, health or safety to be jeopardized;

- (c) The Consultant fails to comply with confidentiality laws or provisions; and/or
- (d) The Consultant furnished any statement, representation or certification which is materially false, deceptive, incorrect or incomplete.

**11.2 Termination for Cause.** The occurrence of any one or more of the following events shall constitute cause or the City to declare the Consultant in default of its obligations under the Contract:

- (a) The Consultant fails to deliver or has delivered nonconforming goods or services or fails to perform to the City's satisfaction, any material requirement of the Contract or is in violation of a material provision of the Contract, including, but without limitation, the express warranties made by the Consultant;
- (b) The City determines that satisfactory performance of the Contract is substantially endangered or that a default is likely to occur;
- (c) The Consultant fails to make substantial and timely progress toward performance of the contract;
- (d) The Consultant becomes subject to any bankruptcy or insolvency proceeding under federal or state law to the extent allowed by applicable federal or state law including bankruptcy laws; the Consultant terminates or suspends its business; or the City reasonably believes that the Consultant has become insolvent or unable to pay its obligations as they accrue consistent with applicable federal or state law;
- (e) The Consultant has failed to comply with applicable federal, state and local laws, rules, ordinances, regulations and orders when performing within the scope of the Contract;
- (f) The Consultant has engaged in conduct that has or may expose the City to liability, as determined in the City's sole discretion; or
- (g) The Consultant has infringed any patent, trademark, copyright, trade dress or any other intellectual property rights of the State, the City, or a third party.

**11.3 Notice of Default.** If there is a default event caused by the Consultant, the City shall provide written notice to the Consultant requesting that the breach or noncompliance be remedied within the period of time specified in the City's written notice to the Consultant. If the breach or noncompliance is not remedied by the date of the written notice, the City may:

- (a) Immediately terminate the Contract without additional written notice; and/or
- (b) Procure substitute goods or services from another source and charge the difference between the Contract and the substitute contract to the defaulting Consultant; and/or,

- (c) Enforce the terms and conditions of the Contract and seek any legal or equitable remedies.

**11.4 Termination for Convenience.** The City may terminate this Agreement for convenience at any time upon thirty (30) day written notice to the Consultant. In the event of a termination for convenience, Consultant shall take immediate steps to terminate work as quickly and effectively as possible and shall terminate all commitments to third-parties unless otherwise instructed by the City. Provided that no damages are due to the City for Consultant's failure to perform in accordance with this Agreement, the City shall pay Consultant for work performed to date in accordance with Section herein. The City shall have no further liability to Consultant for such termination.

**11.5 Payment Limitation in the event of Termination.** In the event termination of the Contract for any reason by the City, the City shall pay only those amounts, if any, due and owing to the Consultant goods and services actually rendered up to and including the date of termination of the Contract and for which the City is obligated to pay pursuant to the Contract or Purchase Instrument. Payment will be made only upon submission of invoices and proper proof of the Consultant's claim. This provision in no way limits the remedies available to the City under the Contract in the event of termination. The City shall not be liable for any costs incurred by the Consultant in its performance of the Contract, including, but not limited to, startup costs, overhead or other costs associated with the performance of the Contract.

**11.6 The Consultant's Termination Duties.** Upon receipt of notice of termination or upon request of the City, the Consultant shall:

- (a) Cease work under the Contract and take all necessary or appropriate steps to limit disbursements and minimize costs, and furnish a report within thirty (30) days of the date of notice of termination, describing the status of all work under the Contract, including, without limitation, results accomplished, conclusions resulting therefrom, and any other matters the City may require;
- (b) Immediately cease using and return to the City, any personal property or materials, whether tangible or intangible, provided by the City to the Consultant;
- (c) Comply with the City's instructions for the timely transfer of any active files and work product produced by the Consultant under the Contract;
- (d) Cooperate in good faith with the City, its employees, agents and Consultants during the transition period between the notification of termination and the substitution of any replacement Consultant; and
- (e) Immediately return to the City any payments made by the City for goods and services that were not delivered or rendered by the Consultant.

## 12.0 Claims and Dispute Resolution

### 12.1 Claims Procedure.

- (a) If the parties fail to reach agreement regarding any dispute arising from the Contract Documents, including a failure to reach agreement on the terms of any Change Order for City- directed work as provided in section 8, or on the resolution of any request for an equitable adjustment in the Contract Sum or the Contract Time, Consultant's only remedy shall be to file a Claim with City as provided in this section.
- (b) Consultant shall file its Claim within the earlier of: 120 Days from City's final instructions in accordance with section 8; or the date of Final Acceptance,
- (c) The Claim shall be deemed to cover all changes in cost and time (including direct, indirect) impact, and consequential) to which Consultant may be entitled. It shall be fully substantiated and documented. The Claim shall contain a detailed factual statement of the Claim for additional compensation and time, if any, providing all necessary dates, locations, and items of work affected by the Claim.
- (d) If an adjustment in the Contract Time is sought: the specific Days and dates for which it is sought; the specific reasons Consultant believes an extension in the Contract Time should be granted; and Consultant's analysis of its Progress Schedule to demonstrate the reason for the extension in Contract Time.
- (e) If any adjustment in the Contract Sum is sought: the exact amount sought and a breakdown of that amount into the categories; and a statement certifying, under penalty of perjury, that the Claim is made in good faith, that the supporting cost and pricing data are true and accurate to the best of Consultant's knowledge and belief, that the Claim is fully supported by the accompanying data, and that the amount requested accurately reflects the adjustment in the Contract Sum or Contract Time for which Consultant believes City is liable.
- (f) After Consultant has submitted a fully-documented Claim, the City shall respond, in writing, to Consultant with a decision within sixty (60) days of the date the Claim is received, or with notice to Consultant of the date by which it will render its decision.

### 12.2 Arbitration.

- (a) If Consultant disagrees with City's decision rendered in accordance with section 12. If, Consultant shall provide City with a written demand for arbitration. No demand for arbitration of any such Claim shall be made later than thirty (30) Days after the date of City's decision on such Claim, failure to demand arbitration with said thirty (30) Day period shall result in City's decision being final and binding upon Consultant and its subconsultants.
- (b) Notice of the demand for arbitration shall be filed with the American Arbitration Association (AAA), with a copy provide to City. The parties shall negotiate or mediate under the Voluntary Construction Mediation Rules of the AAA, or mutually acceptable

service, before seeking arbitration in accordance with the Construction Industry Arbitration Rules of AAA as follows:

- (1) Disputes involving \$30,000 or less shall be conducted in accordance with the Southeast Region Expedited Commercial Arbitration Rules; or
- (2) Disputes over \$30,000 shall be conducted in accordance with the Construction Industry Arbitration Rules of the AAA, unless the parties agree to use the expedited rules.
  - a. All Claims arising out of the work shall be resolved by arbitration. The judgment upon the arbitration award may be entered, or review of the award may occur, in the Superior Court of DeKalb County.
  - b. If the parties resolve the Claim prior to arbitration judgment, the terms of the resolution shall be incorporated in a Change Order. The Change Order shall constitute full payment and final settlement of the Claim, including all claims for time and for direct, indirect, or consequential costs, including costs of delays, inconvenience, disruption of schedule, or loss of efficiency or productivity.
  - c. Choice of Law and Forum. The laws of the State of Georgia shall govern and determine all matters arising out of or in connection with this Contract without regard to the choice of law provisions of State law. The Superior Court of DeKalb County, Georgia shall have exclusive jurisdiction to try disputes arising under or by virtue of this contract. In the event any proceeding of a quasi-judicial or judicial nature is commenced in connection with this Contract, such proceeding shall solely be brought in a court or other forum of competent jurisdiction within DeKalb County, Georgia. This provision shall not be construed as waiving any immunity to suit or liability, including without limitation sovereign immunity, which may be available to the City.
  - d. All Claims filed against City shall be subject to audit at any time following the filing of the Claim. Failure of Consultant, or subconsultant of any tier, to maintain and retain sufficient records to allow City to verify all or a portion of the Claim or to permit City access to the books and records of Consultant, or subconsultants of any tier, shall constitute a waiver of the Claim and shall bar any recovery.

## **13.0 Confidential Information**

- 13.1** Access to Confidential Data. The Consultant's employees, agents and subconsultants may have access to confidential data maintained by the City to the extent necessary to carry out the Consultant's responsibilities under the Contract. The Consultant shall presume that all information received pursuant to the Contract is confidential unless otherwise designated by the City. If it is reasonably likely the Consultant will have access to the City's confidential information, then:

- (a) The Consultant shall provide to the City a written description of the Consultant's policies and procedures to safeguard confidential information;
- (b) Policies of confidentiality shall address, as appropriate, information conveyed in verbal, written, and electronic formats;
- (c) The Consultant must designate one individual who shall remain the responsible authority in charge of all data collected, used, or disseminated by the Consultant in connection with the performance of the Contract; and
- (d) The Consultant shall provide adequate supervision and training to its agents, employees and subconsultants to ensure compliance with the terms of the Contract. The private or confidential data shall remain the property of the City at all times. Some services performed for the City may require the Consultant to sign a nondisclosure agreement. Consultant understands and agrees that refusal or failure to sign such a nondisclosure agreement, if required, may result in termination of the Contract.

**13.2** No Dissemination of Confidential Data. No confidential data collected, maintained, or used in the course of performance of the Contract shall be disseminated except as authorized by law and with the written consent of the City, either during the period of the Contract or thereafter. Any data supplied to or created by the Consultant shall be considered the property of the City. The Consultant must return any and all data collected, maintained, created or used in the course of the performance of the Contract, in whatever form it is maintained, promptly at the request of the City.

**13.3** Subpoena. In the event that a subpoena or other legal process is served upon the Consultant for records containing confidential information, the Consultant shall promptly notify the City and cooperate with the City in any lawful effort to protect the confidential information.

**13.4** Reporting of Unauthorized Disclosure. The Consultant shall immediately report to the City any unauthorized disclosure of confidential information.

**13.5** Survives Termination. The Consultant's confidentiality obligation under the Contract shall survive termination of the Contract.

#### **14.0 Inclusion of Documents**

Consultant's response submitted in response thereto, including any best and final offer, are incorporated in this Agreement by reference and form an integral part of this agreement. In the event of a conflict in language between this Agreement and the foregoing documents incorporated herein, the provisions and requirements set forth in this Agreement shall govern. In the event of a conflict between the language of the RFP, as amended, and the Consultant's submittal, the language in the former shall govern.

**14.1** Counterparts: This Agreement may be executed in any number of counterparts, each of which shall be an original, but all of which together shall constitute one and the same

instrument.

## **15.0 Compliance with All Laws and Licenses**

The Consultant must obtain all necessary licenses and comply with local, state and federal requirements. The Consultant shall comply with all laws, rules and regulations of any governmental entity pertaining to its performance under this Agreement.

### **15.1 Federal Requirements.**

#### **(a) Federal Compliance Regulations.**

Federal regulations apply to all City of Tucker contracts using Federal funds as a source for the solicitation of goods and services. Successful bidders must comply with the following Federal requirement as they apply to:

- (1) Equal Employment Opportunity - The Consultant shall not discriminate against any employee or applicant or employment because of race, color, religion, sex, or national origin. The Consultant shall take affirmative action to ensure that applicants are employed, and that employees are treated during employment without regard to their race, color, religion, sex, or national origin. Such action shall include, but not be limited to: employment, upgrading, demotion, transfer, recruitment or recruitment advertising, layoff or termination, rates of pay or other forms of compensation, and selection for training, including apprenticeship. The Consultant shall comply with Executive Order 1 1246, as amended, and the rules, regulations, and orders of the Secretary of Labor.
- (2) Reports - The submission of reports to the City on behalf of the U.S. Department of Housing and Urban Development as may be determined necessary for the activities covered by this contract, which is federally funded.
- (3) Patents - The U.S. Department of Housing and Urban Development reserves a royalty-free, nonexclusive, and irrevocable right to use, and to authorize others to use, for Federal Government purposes:
  - a. Any patent that shall result under this contract; and
  - b. Any patent rights to which the Consultant purchases ownership with grant support
- (4) Copyrights - The U.S. Department of Housing and Urban Development reserves a royalty- free, nonexclusive and irrevocable license to reproduce, publish or otherwise use, and to authorize others to use, for Federal Government purposes:
  - a. The copyright in any work developed under this contract; and



- b. Any rights of copyright to which the Consultant purchases ownership with grant support.
- (5) Access to books, documents, papers and records of the Consultant which are directly pertinent to the specific contract for the purposes of making audit, examination, excerpts and transcriptions by Federal agencies, the Comptroller General of the United States, or any of their duly authorized representatives; and
- (6) Retention of all required records for three years after the City makes final payment and all other pending matters are closed.

## 15.2 Georgia Security and Immigration Compliance Act

- (a) The parties certify that Consultant has executed an affidavit verifying that Consultant has registered and participates in the federal work authorization program to verify information of all new employees, per O.C.G.A. 13-10-90, et. seq., and Georgia Department of Labor Regulations Rule 300-10-1-02. The appropriate affidavit is attached hereto as "**Exhibit E**" (**E-Verify Form**) and incorporated herein by reference and made a part of this contract.
- (b) The Consultant further certifies that any subconsultants employed by Consultant for the performance of this agreement has executed an appropriate subconsultant affidavit verifying its registration and participation in the federal work authorization program and compliance with O.C.G.A. 13-10-90, et. seq., and Georgia Department of Labor Regulations Rule 300-10-1-02, and that all such affidavits are incorporated into and made a part of every contract between the Consultant and each subconsultant.
- (c) Consultant's compliance with O.C.G.A. 13-10-90, et. seq., and Georgia Department of Labor Regulations Rule 300-10-1-02 is a material condition of this agreement and Consultant's failure to comply with said provisions shall constitute a material breach of this agreement.

## 16.0 Assignment

The Consultant shall not assign or subcontract the whole or any part of this Agreement without the City of Tucker's prior written consent.

## 17.0 Amendments in Writing

No amendments to this Agreement shall be effective unless it is in writing and signed by duly authorized representatives of the parties.

## 18.0 Drug-Free and Smoke-Free Workplace

**18.1** A drug-free and smoke-free workplace will be provided for the Consultant's employees during the performance of this Agreement; and

**18.2** The Consultant will secure from any sub-Consultant hired to work in a drug-free and smoke-free work place a written certification so stating and in accordance with Paragraph 7, subsection B of the Official Code of Georgia Annotated Section 50-24-3.

**18.3** The Consultant may be suspended, terminated, or debarred if it is determined that:

- (a) The Consultant has made false certification herein; or
- (b) The Consultant has violated such certification by failure to carry out the requirements of Official Code of Georgia Annotated Section 50-24-3.

## **19.0 Additional Terms**

Neither the City nor any Department shall be bound by any terms and conditions included in any Consultant packaging, Invoice, catalog, brochure, technical data sheet, or other document which attempts to impose any condition in variance with or in addition to the terms and conditions contained herein.

## **20.0 Antitrust Actions**

For good cause and as consideration for executing this Contract or placing this order, Consultant acting herein by and through its duly authorized agent hereby conveys, sells, assigns, and transfers to the City of Tucker all rights, title, and interest to and to all causes of action it may now or hereafter acquire under the antitrust laws of the United States and the State of Georgia relating to the particular goods or services purchased or acquired by the City of Tucker pursuant hereto.

## **21.0 Reporting Requirement**

Reports shall be submitted to the Project Manager on a quarterly basis providing, as a minimum, data regarding the number of items purchased as well as the total dollar volume of purchases made from this contract.

## **22.0 Governing Law**

This Agreement shall be governed in all respects by the laws of the State of Georgia. The Superior Court of DeKalb County, Georgia shall have exclusive jurisdiction to try disputes arising under or by virtue of this contract.

## **23.0 Entire Agreement**

This Agreement constitutes the entire Agreement between the parties with respect to the subject matter contained herein; all prior agreements, representations, statement, negotiations, and undertakings are suspended hereby. Neither party has relied on any representation, promise, or inducement not contained herein.

**24.0 Special Terms and Conditions**

**24.1** Consultant shall comply with copyright law and bear all responsibility for doing so.

**24.2** All written work products designed for the City shall be jointly owned by both parties.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed by their duly authorized officers as of the day and year set forth next to each signature.

CITY OF TUCKER:

CONSULTANT: TUNNELL-SPANGLER-WALSH & ASSOCIATES, INC.

By: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Attest:

\_\_\_\_\_  
Bonnie Warne, City Clerk

(Seal)

Approved as to form:

\_\_\_\_\_  
Ted Baggett, City Attorney

RFP#2024-002

EXHIBIT A

DUE: FEBRUARY 29, 2024

REVISED: MARCH 20, 2024



# City of Tucker City Standards Guidebook RFP #2024-002

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**Contact: Adam Williamson, Principal**  
1447 Peachtree Street NE, Suite 850  
Atlanta, GA 30309  
Main: 404.873.6730  
Direct: 470.751.2366  
Email: [awilliamson@tsw-design.com](mailto:awilliamson@tsw-design.com)  
Web: [tsw-design.com](http://tsw-design.com)



February 29, 2024

City of Tucker  
1975 Lakeside Parkway, Suite 350  
Tucker, Georgia 30084

Dear Selection Committee:

On behalf of the **TSW Team**, it is my pleasure to submit the enclosed proposal to the City of Tucker to develop the City Standards Guidebook. **TSW** understands the importance of design standards in a community and believes that our team has the proven experience to execute this project in a successful and thoughtful manner. We are proud of our experience in planning and designing thriving spaces and our previous work in Tucker, including the Downtown Master Plan & Sign Ordinance. We have enjoyed working with City staff and the Tucker community and hope to continue to build those relationships.

The TSW Team has a multi-discipline team of planners, landscape architects, architects, and engineers which takes a community led and systems approach to design standards development that considers site context, community needs, cultural resources, existing development, and user experience. Our solutions are community based, creative, cost realistic, and informed by the uniqueness of the place we are working in.

After reviewing the enclosed materials, we hope you will agree that the TSW Team's unique qualifications in every facet of this assignment make us the ideal partner to the City of Tucker on this effort. Please do not hesitate to contact me if you have any questions.

Sincerely,

Adam Williamson, Principal  
Office: 470.751.2366  
Email: [awilliamson@tsw-design.com](mailto:awilliamson@tsw-design.com)

# TSW Introduction



## Overview

Founded in 1990, TSW is a full-service planning, architecture, and landscape architecture firm focusing on innovative plans and designs for communities, buildings, and greenspaces. With approximately 40 full-time employees in our Atlanta, Georgia, headquarters and satellite offices in Chattanooga, Tennessee, Lexington, Kentucky, and Tulsa, Oklahoma, our boutique-sized office allows our principals to be hands-on in every aspect of a project and enables more multidisciplinary collaboration.

For more than 30 years, we have been proud to create award-winning designs that embody the principles of livable communities: walkability, sense of place, compelling public spaces, human-scaled buildings, and connectivity. We are involved in all stages of placemaking, including outreach, visioning, coding, public and private planning, architecture, and streetscape design, and are gratified to see many of our projects move from concept to completion in a range of diverse locations throughout the Southeast.

As a multidisciplinary firm of designers, TSW offers our clients the cumulative experience of our diverse studios' knowledge and skillsets, which results in a unique, holistic approach to design. We believe in creating context-sensitive, livable, and sustainable

communities, and incorporating our real-world knowledge of environmental issues, user experience, development and retail economics, and feasibility into every project design. Because we generate ideas through a fluid, multidisciplinary and collaborative process, our team is able to provide unique design solutions that go beyond the typical approach to conventional design methodologies. In addition, our commitment to creating meaningful public engagement allows us to incorporate the aspirations of community stakeholders and build on local and regional identity.

TSW's personnel includes approximately 40 full-time employees, several of whom work in multiple studios. Our staff members include:

- 19 planners (12 with AICP accreditation)
- 8 registered landscape architects
- 7 landscape designers
- 4 registered architects
- 6 architectural designers
- 2 administrative employees

## TSW Contact Information

### Adam Williamson, Principal

1447 Peachtree Street NE, Suite 850  
Atlanta, GA 30309

Main: 404.873.6730 / Direct: 470.751.2366

Email: [awilliamson@tsw-design.com](mailto:awilliamson@tsw-design.com)

Web: [www.tsw-design.com](http://www.tsw-design.com)

SECTION 1: **TSW INTRODUCTION**

## TSW Team Organizational Chart

**TSW TEAM PROJECT MANAGEMENT:**  
 Principal-in-Charge: Adam Williamson  
 Project Manager: Allison Sinyard

**COMMUNITY ENGAGEMENT**

Adam Williamson  
 Allison Sinyard  
 Ryan Snodgrass  
 Alanna Fairburn  
 + Support Staff

**DESIGN GUIDELINES**

Adam Williamson  
 Allison Sinyard  
 Ryan Snodgrass  
 Alanna Fairburn  
 Nathan Brown  
 + Support Staff

**LANDSCAPE ARCHITECTURE**

Adam Williamson  
 Chris Morphis  
 + Support Staff

**TRANSPORTATION**

Bert Kuyrkendall  
 + Support Staff

## TSW Team Dedication to the Project

TSW has a stringent policy about only pursuing work that we have available staff for to ensure a detailed, implementation-based planning process that stays on time and on budget. At the conclusion of contract negotiations, our team is committed and ready to commence work immediately. The staff members who are included in this proposal will be assigned to the project, if awarded, and will remain on the project throughout its duration. If a staff member does need to be replaced because of unforeseen circumstances, the City will be notified immediately, and that staff person will be replaced by another staff member with equal or greater qualifications and experience. Below are estimated percentages of time that key personnel will dedicate to this project.

STAFF MEMBER	ESTIMATED PERCENTAGE OF TIME DEDICATED
Adam Williamson	30%
Allison Sinyard	50%
Ryan Snodgrass	30%
Alanna Fairburn	40%
Nathan Brown	20%
Bert Kuyrkendall	10%
Chris Morphis	20%

## SECTION 1: TSW INTRODUCTION



### Adam Williamson, AICP, PLA, LEED AP Principal-in-Charge

Adam, a Principal at TSW with more than 25 years of experience, is a planner and landscape architect who specializes in planning and revitalization of traditional neighborhood developments, activity centers, downtowns, and corridors. He has worked on a variety of implemented projects, including rural to urban master plans, coding efforts, streetscape revitalization projects, and parks and open spaces. Adam has extensive experience leading public charrettes and workshops to develop realistic community vision plans.

#### Education:

1997 Bachelor of Landscape Architecture  
University of Georgia

#### Professional Status:

- Registered Landscape Architect: GA (#1089), NC (#1769), and SC (#1064)
- American Institute of Certified Planners
- LEED Accredited Professional

#### Professional Affiliations:

- APA / GPA
- Urban Land Institute
- CNU

#### Awards:

- 2013 GPA Outstanding Planning Document: Augusta Sustainable Development Implementation Program
- 2019 APA Small Town and Rural Planning Division – Vernon Deines Award: Downtown Kingsport Master Plan



#### Representative Projects:

##### **City of Austell Downtown Master Plan Update LCI & Design Guidelines**

(Austell, GA) – Principal-in-Charge for the LCI update and development of Design Guidelines for the City of Austell. The project is still underway, but when completed, the final plan will include a framework plan of design to guide new development and redevelopment within the City.

##### **City of Dawsonville Downtown Strategic Plan & Design Guidelines**

(Dawsonville, GA) – Principal-in-Charge for developing a Strategic Plan for the downtown area in Dawsonville. This included a Design Guidelines chapter that recommended architectural, landscape, and site standards for downtown.

##### **Lumpkin County Design Guidelines & Overlay District**

(Lumpkin County, GA) – Principal-in-Charge for the development of the Design Guidelines for Lumpkin County. The Guidelines included single design standards to guide the County and its private partners to develop new areas in a uniform manner.

**City of Newnan Design Guidelines** (Newnan, GA) – Principal-in-Charge for an update to the City of Newnan’s existing downtown design guidelines that condensed a large number of codes, refined recommendations, and expanded the guidelines city-wide.

**Lytle Farm Parks** (Londonderry, PA) – Project Manager for the planning and design standards for over 200 acres of parks in the new town of Lytle Farm. The parks included elements such as soccer fields, baseball fields, playgrounds, community gardens, ponds, basketball courts, tennis courts, volleyball courts, canoe launch, and amphitheater.

**Augusta Sustainable Development Implementation Program** (Augusta, GA) – Project Manager and Planner for HUD sponsored 4.5-mile corridor revitalization plan focused on multi-modal transportation, urban design, and affordable housing. The program also includes an extensive public outreach effort.

**Woodstock Downtown** (Woodstock, GA) – Project Manager for master plan and landscape architecture for a 32-acre downtown redevelopment that includes a commercial core and residential area. Included in this project was sustainable design of streetscapes, parks and plazas that created an award winning mixed-use downtown.



## SECTION 1: TSW INTRODUCTION



### Allison Sinyard, AICP

Project Manager / Associate Planner

Allison has been with TSW's Planning Studio since summer of 2016. She specializes in the development of comprehensive plans that not only create a unified, cohesive vision, but are implementable. In addition to comprehensive planning, she also has experience with small area planning, particularly downtowns. Allison has experience working in the nonprofit, public, and private sectors, which leads to her understanding of how each sector works together to achieve a common goal. She is passionate about fixing the messes caused by poor planning and leadership, equitable planning and design principles, and finding innovative solutions for complex and difficult problems. Prior to joining TSW in 2016, Allison worked in both the public and private sectors for Perez Planning + Design, Atlanta BeltLine, Inc., and the Atlanta Regional Commission.

#### Education:

2015 Master of City and Regional Planning  
Georgia Institute of Technology

2013 Bachelor of Arts in Architecture; Minor in Psychology  
Clemson University

#### Professional Status:

- American Institute of Certified Planners

#### Awards:

- 2020 GPA Outstanding Planning Process for One Chamblee Comprehensive Plan
- 2019 APA Small Town and Rural Planning Division - Vernon Deines Award: Downtown Kingsport Master Plan
- 2019 GPA Outstanding Planning Document: Gwinnett County 2040 Unified Plan

#### Representative Projects:

**City of Newnan Design Guidelines** (Newnan, GA) - Project Manager for an update to the City of Newnan's existing downtown design guidelines that condensed a large number of codes, refined recommendations, and expanded the guidelines city-wide.

**City of Austell Downtown Master Plan Update LCI & Design Guidelines** (Austell, GA) - Project Manager for a Livable Centers Initiative study and Design Guidelines patternbook that created an ambitious redevelopment plan that focused on enhancing housing choice, job creation, public spaces, placemaking, and connectivity and accessibility.

**Forsyth County Design Standards** (Forsyth County, GA) - Project Planner for an effort that developed mandatory design standards for both residential and commercial developments in the southeast portion of the county.

**Blueprint Jonesboro - Jonesboro LCI 10-Year Update** (Jonesboro, GA) - Project Planner for Livable Centers Initiative update focusing on creating a vision for the future of downtown that will grow the local economy, leverage Lee Street Park, encourage appropriate development, make walking and biking easier, and revitalize the Main Street corridor.

**Braselton Unified Development Code** (Braselton, GA) - Project Planner and Advisor to a unified development code update that built off the recommendations of the recently adopted Comprehensive Plan.

**City of Goose Creek Comprehensive Plan Update** (Goose Creek, SC) - Project Manager for comprehensive plan update to the existing 2030 Comprehensive Plan to develop a guide for policies and projects, mainly focusing on land and transportation elements.

**City of Rome/Floyd County/Cave Spring Comprehensive Plan** (Floyd County, GA) - Project Planner for unified plan for City of Rome and Floyd County that focuses on keeping the current comprehensive plan relevant while producing more modern recommendations.



## SECTION 1: TSW INTRODUCTION



### Ryan Snodgrass, CNU-A

Associate Planner

Ryan, an Associate at TSW, is a planner specializing in placemaking and redevelopment studies. With a combined background in landscape design, urban design, and historic preservation, Ryan provides a unique understanding of the built environment. His applied skills include community planning, infill development/strategies, heritage and historic preservation, design guidelines, community engagement, and research. In everything he does, Ryan seeks to understand a place's culture and develop implementation strategies that are grounded in best practices and community input.

#### Representative Projects:

**Blueprint Jonesboro - Supplemental Study** (Jonesboro, GA) - Project Manager for a supplemental Livable Centers Initiative plan focusing on furthering the vision of Blueprint Jonesboro to redevelop downtown, create a new municipal complex, and develop a system of multi-use trails.

**City of Pooler Main Street Master Plan** (Pooler, GA) - Project Manager for a strategic master plan for the city's historic Main Street, focusing on redevelopment and infill efforts to help grow and enhance the downtown area.

**Roswell Historic District Master Plan** (Roswell, GA) - Project Planner for a master plan and code changes for the Roswell Historic District, a 544-acre area that includes hundreds of historic buildings and key civic sites. The plan sought to develop a vision for the district's future that would allow future growth without compromising its beloved historic character.

**Auburn Town Center** (Auburn, GA) - Project Manager for a master plan study to explore development and phasing scenarios within historic downtown Auburn, including a new City Hall/Municipal Complex, residential units, and adaptive reuse of underutilized historic structures.

**City of Sandy Springs North End Design Redevelopment Concepts** (Sandy Springs, GA) - Project Manager for redevelopment concept plans for four underutilized redevelopment sites focusing on policies with key metrics, Opportunity Zones, potential for site re-zonings, code changes, and development incentives. Process included an extensive public participation effort to guide design direction.

**Downtown Main Street** (Alpharetta, GA) - Project Planner for 13-acre mixed-use development site in downtown Alpharetta. The site plan includes a 25,000 SF brewery, 64,500 SF of office, 25,800 SF of retail and restaurants, and a variety of residential. TSW developed a conceptual site plan that includes plaza areas, streetscapes, private courtyards and amenity areas, and a multi-use trail to connect to other parts of the city.

**Cuyler-Brownsville Historic District Study** (Savannah, GA) - Project Planner for study sponsored through a grant from the National Trust for Historic Preservation to document current preservation and urban conditions that included a two-day design charrette with both local and national stakeholders.

#### Education:

2012 Master of Urban Design, Savannah College of Art and Design

2009 Bachelor of Science in Environmental Design, Auburn University

#### Professional Status:

- Congress for the New Urbanism - Accredited

#### Professional Affiliations:

- Congress for the New Urbanism
- American Planning Association

#### Awards:

- 2020 GPA Outstanding Planning Process: One Chamblee Comprehensive Plan
- 2013 GPA Outstanding Planning Document: Augusta Sustainable Development Implementation Program



## SECTION 1: TSW INTRODUCTION



### Nathan Brown

Associate Planner

Nathan is an Associate at TSW in the Planning Studio. Nathan’s interest in planning began as a graduate student studying historic preservation and the history of the built environment at Georgia State University. With experience as a municipal planner at both the City of McDonough, Georgia, and the City of Atlanta, Nathan brings a diverse knowledge of urban, suburban and rural public policy. In addition to his professional experience, Nathan is also active in his neighborhood, serving as a member of the local Transportation Committee and as a volunteer soccer coach.

#### Education:

2015 Master of Historic Preservation  
Georgia State University

2011 Bachelor of Arts in Sociology  
University of Georgia

#### Professional Affiliations:

- American Planning Association
- Georgia Planning Association
- Urban Land Institute

#### Work Experience:

Prior to joining TSW in January 2023, Nathan was an Urban Planner at the City of Atlanta, a City Planner at the City of McDonough, and an intern at Gene Kansas Commercial Real Estate.

#### Representative Projects:

**City of Gainesville Unified Land Development Code** (Gainesville, GA) – Project Manager and Planner for the update of the city’s ULDC, including a diagnostic review, legal review, and drafting of new code and updates to existing code. Update focus areas include permitted and special uses for residential and nonresidential zoning districts; Planned Unit Development standards, Subdivisions and Land Development standards; access, parking, and loading requirements; sign ordinance; buffers, landscaping, and tree protection; and zoning applications and procedures. New code focus areas include creation of a short term rental ordinance.

**City of Atlanta Zoning Ordinance Rewrite** (Atlanta, GA) – Planner for zoning ordinance rewrite that includes developing alternatives for public consideration, developing content and collateral material for Focused Workshops, and presentation preparation for Idea Labs.

**Hall County Unified Development Code** (Hall County, GA) – Lead Planner for zoning ordinance rewrite that includes developing a unified development code, the creation of content and collateral material for Focused Workshops, and developing presentations for review of the draft code for the public and government representative.

**Henry County Comprehensive Development Plan Update** (Henry County, GA) – Planner for the 10 year comprehensive plan update that includes analysis of existing land use, transportation, and economic factors to develop public policy for future growth, developing content and collateral material for Focused Workshops, and presentation preparation for public engagement.

**City of Atlanta Zoning Ordinance Rewrite** (Atlanta, GA) – Community Planner for zoning ordinance rewrite that includes developing alternatives for public consideration, developing content and collateral material for Focused Workshops, and presentation preparation for Idea Labs.



## SECTION 1: TSW INTRODUCTION



### Alanna Fairburn

Community Planner / Designer

Alanna joined the TSW Planning Studio in 2021 as a community planner and designer. Alanna's background is in industrial design and has a passion for arts, culture, and placemaking. She is dedicated to creating culturally rich, harmonious environments through community planning and is the Arts & Culture Practice Area lead at TSW. Alanna was a 2023 cohort member in the Atlanta Regional Commission's Culture and Community Design program where she collaborated and supported a local community based organization to design future projects and planning initiatives. Alanna's other areas of focus include Environmental Graphics, Marketing, Graphic Design, and Community Outreach.

#### Education:

2018 Bachelor of Industrial Design  
Auburn University

#### Professional Affiliations:

- 2023 ARC Culture & Community Design Cohort Member

#### Awards:

- 2021 Georgia Planning Association – Outstanding Planning Process for City of Decatur's Destination 2030

#### Representative Projects:

**City of Dawsonville Downtown Strategic Plan & Design Guidelines** (Dawsonville, GA) – Principal-in-Charge for developing a Strategic Plan for the downtown area in Dawsonville. This included a Design Guidelines chapter that recommended architectural, landscape, and site standards for downtown.

**Newnan Design Guidelines** (Newnan, GA) – Planner for an update to the City of Newnan's existing downtown design guidelines that condensed a large number of codes, refined recommendations, and expanded the guidelines citywide.

**City of Austell Downtown Master Plan Update LCI & Design Guidelines** (Austell, GA) – Environmental and Wayfinding Designer for LCI Study to create an implementable vision for the City of Austell, driving economic development and focusing on creative placemaking. Responsible for identifying opportunities for public art, wayfinding, lighting, outdoor furniture, and streetscape enhancements. Detailed work included three different wayfinding themes that focused on color palette and materials, conceptual designs for city entrance monument, light post directional signage and banners.

**Town Center CID Creative Placemaking Plan** (Kennesaw, GA) – Planner for placemaking master plan to facilitate community connections and encourage economic development. The plan emphasizes public art and cultural arts programming developed through a community outreach strategy and provides recommendations that include costs, phasing, funding, and maintenance strategies.

**City of Statesboro Downtown Master Plan** (Statesboro, GA) – Planner and Graphic Designer for development of a Downtown Master Plan for Statesboro, focusing on market-driven redevelopment strategies, using the Downtown District as the city's gateway, review and recommendations for the Design Standards for the Downtown District, and detailed guide for implementation.

**Chason Park** (Bainbridge, GA) – Environmental and Wayfinding Designer for historic park re-envisioning along the Flint River. The upper park has active programming that supports the needs of a growing population with a splash pad, flexible lawn, small shade structure, ample seating, and overlook views of the river.

The logo for TSW (The Studio Workshop) features the letters 'TSW' in a bold, white, sans-serif font, centered within a white square outline. The background of the logo is a solid blue color.

## SECTION 1: TSW INTRODUCTION



### Chris Morphis, PLA, ASLA Landscape Architect

Chris joined TSW in 2019 as a landscape architect. He contributes an informed perspective of ecological processes and environmentally sustainable site design. He is proficient with all aspects of the design process and project management.

#### Work Experience:

During his four years of landscape design employment prior to TSW, Chris worked on diverse commercial projects, including mixed-use developments, multifamily residential, offices, and retail sites ranging from <1 to 150+ acres. Additional initiatives have included multiple neighborhood-scale watershed assessments for green infrastructure feasibility, planting designs for dense urban residential sites, residential and educational garden design, and pro bono design services for various socially- and environmentally-oriented nonprofit initiatives.

#### Representative Projects:

**Lenox Park Office Courtyard Renovation** (Brookhaven, GA) – Landscape Architect responsible for contract document production. Major new site elements included a sunken game lawn, elevated decks, enhanced paving, and abundant lighting. The project required complicated construction detailing owing to on-structure and waterproofing considerations and unknown subsurface conditions.

**The Works (SITE Solutions)** (Atlanta, GA) – Landscape designer responsible for producing illustrative graphics, 3d models, and contract documents for a 15 acre site. The project entailed the adaptive reuse conversion of former warehouse and manufacturing facilities into an aesthetically vibrant mix of food and beverage, retail, and office spaces.

**Center for Innovative Teaching (Sustainable Design Collaborative Atlanta)** (Winder, GA) – Volunteer organizer and site design team leader in a pro bono collaborative visioning process for the development of a novel magnet school, community amenity, and regional park. The initiative involved multi-phased engagement with community members, school board representatives, and municipal leaders to create detailed conceptual graphics and a master plan to assist in ongoing fundraising and site renovation.

**Green Infrastructure Implementation Study (American Rivers)** (Atlanta, GA) Conducted a watershed assessment and green infrastructure implementation feasibility analysis for an area encompassing five densely developed urban neighborhoods in Atlanta. Analyzed spatial data and created maps and graphics with ArcGIS. Modeled approximate impact of proposed green infrastructure practices using HydroCAD. Based on recommendations from the study, a demonstration bio-retention area was installed in a high-visibility location in the I-20/ Downtown Connector highway interchange.

#### Education:

2015 Master's in Landscape Architecture, Summa Cum Laude, University of Georgia

2010 Bachelor of Science in Ecology, University of Georgia

#### Professional Status:

- Professional Landscape Architect: GA (#1860)

#### Professional Affiliations:

- American Society for Landscape Architecture: member
- Sustainable Design Collaborative Atlanta (Board Member, Volunteer), 2017-present.
- Permaculture Design Certification (2016)

#### Awards:

- 2014: ASLA Student Honor Award



## SECTION 1: TSW INTRODUCTION



### Bert Kuyrkendall, AICP, PE

Senior Associate / Transportation Planner and Engineer

Bert, a Senior Associate at TSW, has more than 25 years of experience as a Transportation Planner and Engineer. Bert's planning work focuses on helping cities and towns become more sustainable, just, and livable places. He has led and collaborated on numerous comprehensive plans, corridor studies, multimodal network plans, and Complete Streets design projects. As an engineer and planner, Bert is able to bring a balanced approach to transportation planning and implementation. He has extensive experience in street and multimodal facility design, with a firm grasp on state and city/county design standards, including the ability to modify and draft new transportation standards. He has shepherded many projects from concept design and public input, to estimating and budgeting, grant application, schematic and engineering design, bidding, construction oversight, and maintenance.

#### Education:

1995 Bachelor of Science in Civil Engineering  
Mississippi State University

1993 Bachelor of Arts in Mathematics  
Belhaven University

#### Professional Status:

- Registered Engineer: AL, GA, MS, TN
- American Institute of Certified Planners

#### Professional Affiliations:

- Bike Walk Tennessee, Board Member
- APA
- CNU (Accredited)
- Association of Pedestrian and Bicycle Professionals

#### Work Experience:

Prior to joining TSW, Bert was a Transportation Planner and Engineer with Orion Planning + Design, MOD Transportation Consulting, Gresham Smith, and City of Chattanooga.

#### Representative Projects:

**City of Maryville Downtown Master Plan** (Maryville, TN) - Mobility Lead for Downtown Master Plan to help city and civic leaders activate streets, fill vacate store fronts, and create more vibrant and welcoming public spaces. The mobility sector of the plan contributes to this effort with the goal of creating a more walkable town center, recommending streetscapes which accent and serve existing and new development, facilitate walking and biking connections from neighborhoods, and proposed street sections which promote traffic calming, add on-street parking and provide multimodal facilities.

**City of Pigeon Forge Greenways and Bikeways Master Plan\*** (Pigeon Forge, TN) - Planning and Design Lead to develop a long-term blueprint for bicycle and pedestrian facilities, focusing on improving connectivity with the city via greenway and bikeway improvements, safe and comfortable bicycle and pedestrian crossings of key intersections, and regional connections to neighboring communities and recreational resources.

**Mississippi Main Street Envision-Connect\*** (Various Cities and Towns) - Mobility Lead to provide targeted planning and design resources to Mississippi Main Street communities. Specific projects focused primarily on public facility retrofit opportunities, and mobility/connectivity projects such as the Tanglefoot Trail extension in New Albany, and a rail trail to connect the Town of Water Valley to the City of Oxford.

**Diamondhead Drive Protected Bike Lanes\*** (Diamondhead, MS) - Project/Design Lead for protected bike lanes project that was one of the first projects pursued by the City as recommended in the Envision Diamondhead Comprehensive City Plan. Work on the project included providing construction plans/drawings, developing project estimates, and reviewing bidding documents.

\* Completed while with another firm



# Understanding & Approach

## Project Understanding

This project aims to create a comprehensive resource that provides guidance and standards for development and design within the City of Tucker. Each section of the Guidebook will reflect the unique character of Tucker and its residents.

## Phase 1: Initiate & Understand

**1.1: Initial consultation session** with City staff to finalize: study area boundary; available data resources; detailed schedule for meetings, review periods, and deliverables; community engagement strategies, and dates (City will be responsible for providing meeting spaces and outreach efforts not contained herein); and roles and responsibilities.

**1.2: Facilitate monthly project management meetings** (in-person and virtually) with City staff throughout the project's duration to review draft documents, presentations to boards and City Council, and community engagement activities and agendas.

**1.3: Collect available data and develop base mapping** from local, regional, state, and private resources as determined in the Initial Consultation Session. Note: City of Tucker to provide available GIS data.

**1.4: Conduct an on-site existing conditions assessment** to better understand and evaluate physical characteristics related to the site and its surroundings. The team will catalog existing materials, signage, and other elements within the area.

## Phase 2: Engagement

### 2.1: Public Kick-Off Meeting with Mayor and City Council

TSW will facilitate a public meeting with the Mayor and City Council to identify goals and gather feedback on the direction of the guidebook and wayfinding.

**2.2: Conduct Public Kick-off Meeting with the Community** to introduce the City Standards Guidebook project process and gather feedback. Potential meeting activities may include:

- Presentation of materials gathered in Phase 1
- Develop community visioning goals and priorities
- Interactive visual preference survey (VPS) focused on design elements and materials listed in 3.2. Images and styles shared will be based off of feedback from the previous meeting with Mayor and City Council (Task 2.1) The survey will be offered in-person and online.

### 2.3: Draft Plan Public Meeting with Mayor and City Council

TSW will facilitate a public meeting with the Mayor and City Council to share the draft plan and wayfinding designs and gather feedback.

**2.4: Conduct Final Plan Open House** focusing on presenting Guidebook recommendations to the community for review and comments. Participants will have the opportunity to submit feedback anonymously or talk one-on-one to TSW Team members.

### 2.5: Present Final Plan to Mayor and City Council

The TSW Team will present the final materials to the Mayor and City Council for final review and adoption.

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## SECTION 2: UNDERSTANDING & APPROACH

### Phase 3: Visioning

#### 3.1: Concept Signage Design Alternatives

Based on feedback from the public workshop and City staff, TSW will develop three (3) concept design alternatives for each signage type (park, plaques, street, city limits, wayfinding, and gateway). TSW will also develop a draft signage location map. These concepts will be presented to City staff, the Mayor, and City Council (Task 2.3) to gather feedback and design direction revisions.

#### 3.2: Draft City Standards Guidebook

TSW will create a Draft City Standards Guidebook. This report will include:

- **Signage Family** – Include draft graphics for a signage family and a map showcasing the recommended location for each. The signage family will include:
  - » Gateway, including gateway arch for Downtown Trail
  - » Wayfinding
  - » Plaques
  - » Street signposts
  - » Street name signs and street name sign toppers
  - » City limit signs
  - » Park signage, such as kiosk, park rules, etc. that coordinate with existing monument and pillar park signage
  - » Banner support structure that can be used to display banners for city events
  - » Trail signage
  - » Artistic signage, and/or "selfie art"
  - » Panels
- **Landscape Patterns** – Develop guidelines for:
  - » Memorial benches, trees and plaques
  - » Sanitation amenities – trash cans, recycling bins, dumpster enclosures, pet waste disposal
  - » Lighting – vehicular lighting, pedestrian lighting, decorative lighting
  - » Streetscape design & elements – street trees, street planters, seating (benches, other forms), curbing, bike racks
  - » Bollards (material, colors, etc.)
  - » Center island design for roundabouts (materials, landscaping, art, etc)
  - » Crosswalks and ADA ramps standards
  - » Manhole cover designs
  - » MARTA bus shelters
  - » Landscaping – trees, shrubs, ground cover (includes landscaping used for screening purposes)
  - » Retaining wall materials and fence materials
  - » Mast arms and other utility support structures
- **Sustainable Patterns** – Create options for sustainable development that illustrates potential initiatives. These initiatives could include land use, transportation, materials management, energy, water, and food.

### Phase 4: Deliverables

#### 4.1: Final City Standards Guidebook

Based on feedback, TSW will refine the Draft City Standards Guidebook and obtain cost estimates for the final Signage Family. The Final City Standards Guidebook will provide a single design resource for the City and its private partners to develop in a uniform, coordinated manner. The Guidebook will build on Public Engagement input and recommendations developed. It will provide a unified aesthetic to development that meets the needs of the community and its visitors.

The team will provide twenty (20) printed copies of the City Standards Guidebook, along with electronic files (original format and PDF, Excel spreadsheets, GIS shapefiles, and supporting graphics).



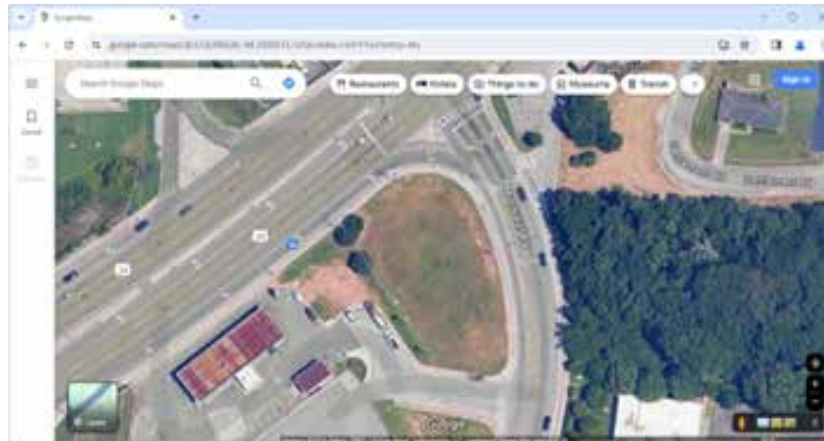
## SECTION 2: UNDERSTANDING & APPROACH

### Phase 5: Optional Services

#### 5.1: Pop up event

Conduct a Pop-up Event as a way to quickly engage a diverse demographic of residents, visitors, and business owners about the project. TSW has used a variety of techniques to gather feedback, including: paper surveys, visual preference boards, ball toss activities, etc.

#### 5.2: Bid Documents for a Gateway Sign (Site at Lawrenceville Highway and Montreal Road, approximately 0.44 acres)



#### Task A – Bid Documents

TSW will develop a set of construction plans and specifications based on the Owner-approved Wayfinding Package. TSW will produce an 80% set and a 100% set for review. Work will include up to 2 virtual meetings.

Deliverables:

- Demolition and Erosion Control Plans (less than 1 acre)
- Drawing Specifications/Notes
- Layout Plans with Plan Notes
- Grading and Drainage limited to light surface grading and supplemental observations.
- Landscape Plans
- Construction Details

#### Task B – Structural Adjustments

TSW will work with the structural engineer to modify the existing structural details as necessary to accommodate various unforeseen site conditions including, but not limited to sloped topography nearby and underground structures.

#### Task C – Permitting

TSW will submit plans for permitting to the appropriate authorities, respond to questions, and modify the drawings as necessary to permit the project. Work will include meetings as necessary.

Deliverables

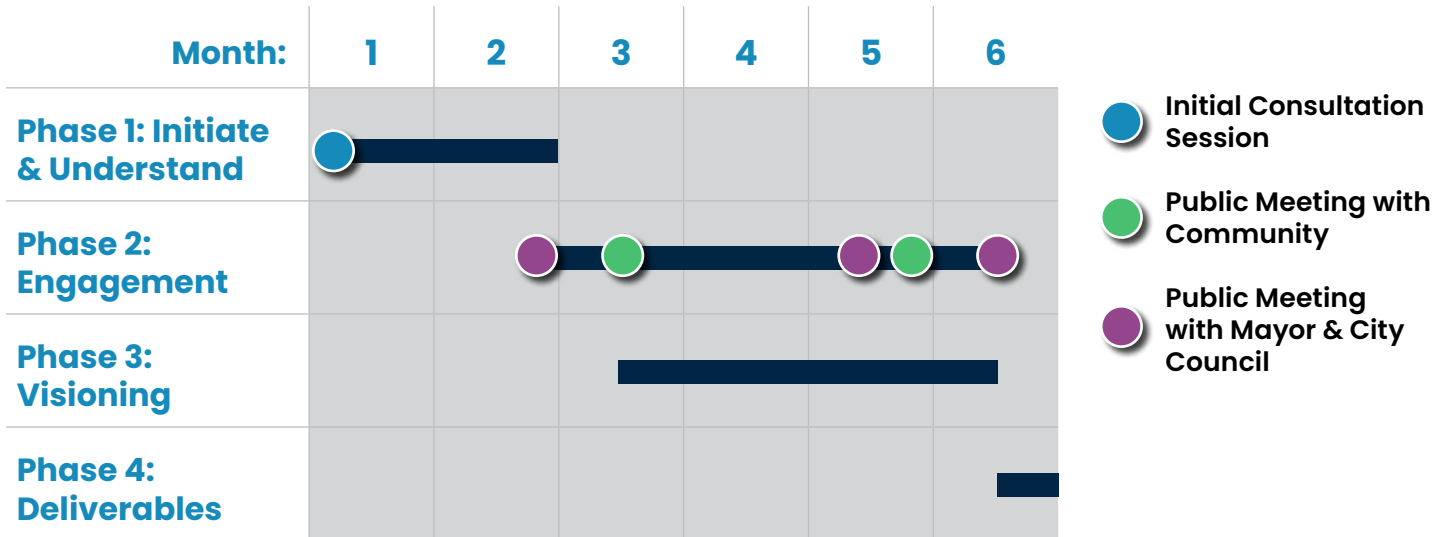
#### Task D – Construction Observation

TSW will provide, upon written request by the Owner, assistance during construction including construction observation visits, RFI responses, submittal reviews, and attendance at meetings. Meetings may include construction kick off meeting, mock-up reviews, construction progress reviews, final punch review, and a warranted review.

SECTION 2: **UNDERSTANDING & APPROACH**

**Estimated Schedule**

Based on previous experience with similar projects, we are estimating an approximate 6-month process with an estimated start date of April 8th (subject to change based on the City’s selection process timeline). If selected, a more detailed schedule will be developed that includes review periods, deliverable dates, and stakeholder and public engagement components and dates.



# Related Experience

## Experience Overview

TSW focuses on designing sustainable, healthy, and vibrant communities through a public engagement process that involves educating, listening, envisioning, and testing. TSW works closely with municipalities, private developers, and non-profit organizations to develop activity center, corridor, and downtown master plans that protect historic resources, encourage compatible infill development, complement surrounding neighborhoods, and are community-supported, while focusing on market conditions and transportation impacts. Our experience means we are familiar with the breadth of issues important to communities and understand the tools available to make them more livable places. The list below provides an overview of our recent experience followed by more detailed project descriptions and graphics.

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## Recent TSW Experience

- **Alpharetta Downtown Design Guidelines:** Alpharetta, GA
- **City of Tucker Downtown Master Plan and Sign Ordinance:** Tucker, GA
- **Chamblee Town Center Pattern Book:** Chamblee, GA
- **Newnan Design Guidelines:** Newnan, GA
- **City of Austell Downtown LCI and Design Guidelines:** Austell, GA
- **Midwest City Hospital District Streetscape & Signage Schematic Design:** Midwest City, OK
- **Town of Tyrone Signage Standards:** Tyrone, GA
- **City of Dawsonville Town Center Design Guidelines:** Dawsonville, GA
- **Forsyth County Design Standards:** Forsyth County, GA
- **Crabapple Placemaking Plan:** Milton, GA
- **Town Center Community Creative Placemaking Master Plan:** Cobb County, GA
- **City of Duluth Parson Alley Redevelopment & Signage:** Duluth, GA
- **Downtown Auburn LCI Master Plan:** Auburn, GA
- **Alpharetta South Main Street LCI Supplemental Study:** Alpharetta, GA
- **Downtown Dallas LCI:** Dallas, GA (2021 GPA Outstanding Public Involvement Award)
- **Augusta Sustainable District Code & Sustainability Guidelines:** Augusta, GA
- **Brookhaven-Peachtree Overlay District:** Brookhaven, GA
- **Jonesboro LCI Update and Supplemental Study:** Jonesboro, GA (2021 Metro Atlanta Redevelopment Summit Small Redevelopment Award)
- **Peachtree City LCI:** Peachtree City, GA
- **Powder Springs LCI:** Powder Springs, GA (2019 GPA Outstanding Plan Implementation Award; 2020 ARC Development of Excellence – Great Places Award for Powder Springs LCI Implementation – Town Green and Historic Building Renovations)

SECTION 3: RELATED EXPERIENCE

# Newnan Design Guidelines

Newnan, GA



In early 2022, TSW was retained by the City of Newnan to update their Downtown Design Guidelines. The original scope was to focus on only the historic downtown, but it was decided later on in the process that the guidelines should be used city-wide at the discretion of various City departments when granting permits.

The document is intended to guide facade and exterior rehabilitation and modifications of historic buildings in the City of Newnan. This document identifies the most commonly used commercial and residential architectural styles within the city and demonstrates how they should be used. "Dos and don'ts" regarding basic design principles are outlined for the purpose of general guidance regarding any exterior changes for existing buildings and new buildings, when appropriate.

This document gives guidance on the following:

- Architectural styles: the way that doors, windows, and building details are designed and organized on a façade of a variety of building types;
- Design principles that give recommendations on how to ensure visual attractiveness; and
- The design of public spaces.

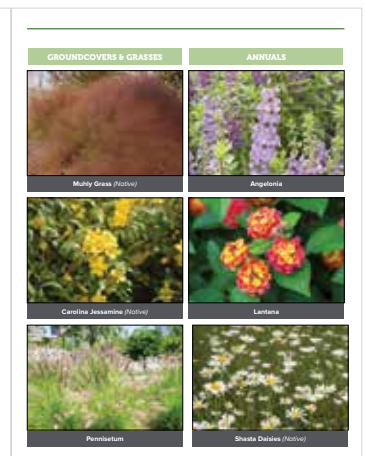
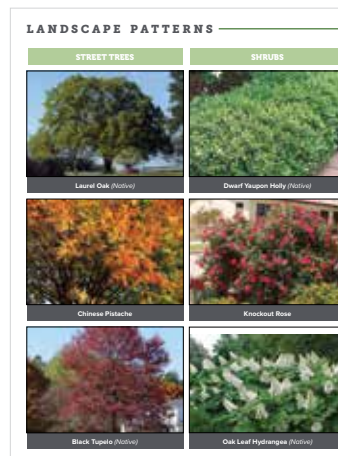
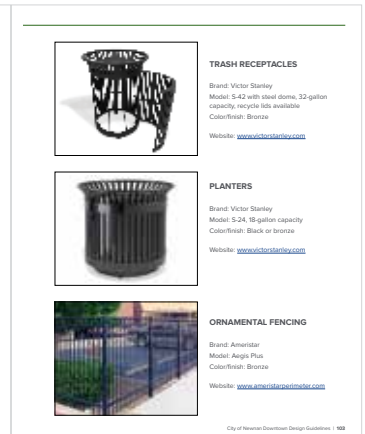
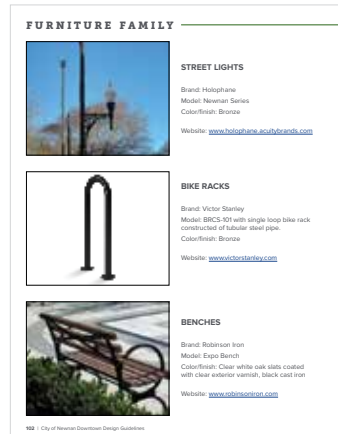
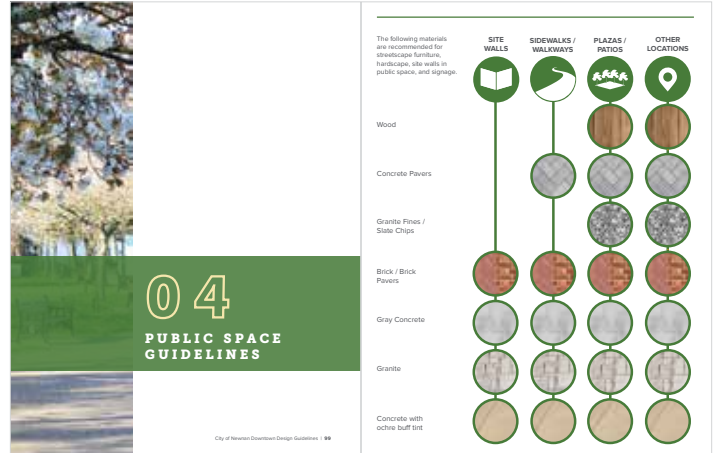
The design guidelines standards are not intended to be inflexible or make limitations to design but instead, they focus on embracing the diversity of styles, building forms, and public spaces found throughout the city.

### PROJECT SIMILARITIES:

- Site analysis
- Public Engagement
- Design guidelines for architectural styles of buildings, materials, street furniture, landscaping, and signage that can be used city-wide

### REFERENCE:

Abigail Strickland, Main Street Manager  
 Phone: 770.253.8283 ext. 1  
 Email: astrickland@cityofnewnan.org  
 25 LaGrange Street  
 Newnan, GA 30263



## SECTION 3: RELATED EXPERIENCE

# Alpharetta Downtown Design Guidelines

Alpharetta, GA



In 2017 and 2018, TSW prepared the City of Alpharetta Downtown Design Guidelines following TSW's successful completion of the Downtown Master Plan and zoning updates to codify the master plan. The City's three main objectives for the guidelines were to: 1) replace previous older guidelines that did not support the new master plan; 2) provide a user-guide that graphically conveys the requirements of the master plan and zoning updates; and 3) to define other "best practices" that could be used by the City's design review board during the development review process.

The design guidelines use photos, drawings, and text to set standards for facade design, building massing, building placement, streetscapes, parking location, historic resource protection, signage, open space design, and more. The standards are not intended to be overly prescriptive and inflexible. Instead, they focus on embracing the diversity of styles, building forms, and public spaces found in traditional Main Streets throughout the United States, most of which were built during the 19th century up through the early part of the 20th century.

The guidelines are organized by the following Key Design Principles:

- Locate, design, and program buildings to activate open spaces, promote pedestrian activities, provide visual interest, and create an enjoyable, vibrant, and mixed-use environment.
- Use building massing, materials, and architectural details and ornament to achieve compatibility with existing buildings in the downtown and nearby areas.
- Avoid uniformity or the replication of existing buildings. Instead, create compatibility through the use of variations in building elements to achieve individual building identity.
- Avoid a pastiche of styles and competing architectural details. Traditional details, when used, should be appropriate to their style.
- Include architectural details and ornament on facades to create variety and interest.

- Place buildings on or close to the sidewalk with entrances oriented towards the street to promote a consistent and well-defined pedestrian environment.
- Create open spaces that provide gathering spaces and passive pedestrian activities.
- Incorporate parking in locations where it does not impair the pedestrian experience.
- Create a sustainable environment that will be embraced by generations to come.

Since their initial adoption in 2017 and subsequent amendments in 2018, the City of Alpharetta has reviewed several dozen projects using these guidelines.

### PROJECT SIMILARITIES:

- Site analysis
- Zoning
- Public Engagement
- Design guidelines for streetscapes and architectural standards

### REFERENCE:

Kathi Cook, Community Development Director  
Phone: 678.297.6073  
Email: [kcook@alpharetta.ga.us](mailto:kcook@alpharetta.ga.us)  
2 Park Plaza, Alpharetta, GA 30009

Standards & Recommendations	
Landscape/Streetscape	
<p>to distinguish specific areas, such as important streets, the area surrounding a park or square, or an entire neighborhood.</p> <p>A. Retail and restaurant tenants may provide supplemental accent planting in the form of planters located within thirty inches (30") of their storefront.</p> <ol style="list-style-type: none"><li>Planters may be made of terra cotta, cast materials (GFRC, cast stone), metal, or plastics.</li><li>Planters located adjacent to storefront should not exceed a height of twenty-four inches (24").</li></ol> <p>B. Along deeper sidewalks, where an outdoor dining cafe is provided, planters may be utilized as part of an outdoor cafe railing, provided the planter(s) does not restrict pedestrian movements along traveled portion of sidewalk.</p> <p>IV) Street Furniture</p> <p>Street furniture which includes street lamps, benches, and trash receptacles should be provided for both safety and convenience.</p> <p>A. Street furnishings shall be located to maintain a continuous minimum 5-foot walking path along the sidewalk and no closer than 30 inches to the curb.</p> <p>B. Outdoor dining furniture on public sidewalks shall be of quality design and workmanship and made of metal in black or a color approved by the DRB. Decorative items on public sidewalks such as planters or sculpture shall be made of metal, concrete, terra cotta, or other material approved by the DRB. Menu boards may be made of wood; however, all plastic, fiberglass, or resin-type products are prohibited on public sidewalks. All street furnishing designs must complement the surrounding architecture.</p> <p>C. With the exception of outdoor dining areas, street furnishings should be permanently secured to the paved surface for safety and to avoid vandalism.</p> <p>D. Bicycle racks are to be provided at various locations along sidewalks or within parking areas behind buildings in order to provide convenient and safe parking for cyclists yet maintain safe separation between pedestrian and cyclist. Locations shall not interfere with pedestrian circulation.</p> <p>E. Trash receptacles should be provided only at key points or intersections along paths and streets that are easily accessible for both pedestrian use and trash collection. Trash receptacles shall be in accordance with the specifications established by the City of Alpharetta.</p> <p>F. Street lights must be provided as per the City of Alpharetta Downtown Overlay and other applicable regulations, ordinances, or guidelines.</p>	<p>Planters with accent plantings may be used to define a sidewalk dining area.</p> <p>Accent planting and street furniture, both along streets and within open spaces, contribute to providing a pedestrian-oriented environment.</p> <p>Street furniture such as benches, trash receptacles and bike racks are located at convenient points outside of the pedestrian path of travel.</p>

SECTION 3: RELATED EXPERIENCE

# PCIDs Public Space Standards

Fulton and DeKalb Counties, GA



The Perimeter Community Improvement Districts (PCIDs), representing both the Central (DeKalb) and Fulton Perimeter CIDs, are self-taxing districts that use additional property taxes to fund transportation, park, and other infrastructure improvement projects. The PCIDs are leading the charge to implement vital transportation enhancements that will enhance mobility and improve access to the Perimeter activity center.

TSW was retained by the PCIDs to develop Public Space Standards for the commercial district and surrounding development. The standards provide a framework for implementing public space plans and policies in the PCIDs and information for public and private entities making enhancements in rights-of-way and other public or semi-public spaces. These standards recognize the importance of the relationship between private property and the public realm. They help to keep the PCIDs' public realm accessible, attractive, functional, easy to maintain, and consistent. They provide the tools to execute a successful streetscape and offer the standard elements that make up a streetscape. The standards will continue to develop and change as more streetscapes are implemented and as the PCIDs continues to mature.

The Standards include:

- Street layout guidelines, include varying street types and intersections
- Pedestrian and bicycle guidelines
- Lighting layout guidelines
- Landscape guidelines
- Product appendix for transit pavilions, paving, street and bicycle furniture, lighting, etc.

### PROJECT SIMILARITIES:

- Site analysis
- Guidelines for streetscapes, lighting, and landscaping

### REFERENCE:

Perimeter Community Improvement Districts  
 Phone: 770-390-1788  
 Email: info@perimeterconnects.com  
 500 Northpark, Lobby Suite 15, Atlanta, GA 30328

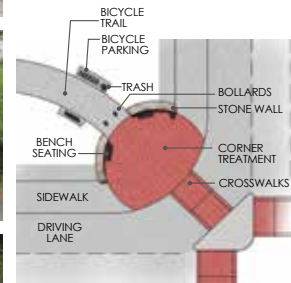


CHAPTER 03: BICYCLE FACILITY GUIDELINES



**NOTE:** All site furniture quantities at trailheads to correlate with "Employee-Commuter Market Hotspot" Map (right).

All corner treatments to be site specific based on the below stipulations and to be coordinated with the City Engineer on a project-by-project basis. Each corner and associated bicycle infrastructure to be designed to AASHTO and NACTO standards by engineer for specific space and to be approved by the city's permitting process.



Bicycle (Bicycle Only Path) Trailhead Within Red Hotspot, Typical; Associated bicycle infrastructure to be designed to AASHTO and NACTO standards

Ref. Map on Right →

**WITHIN RED HOTSPOT:**

- Benches: 3
- Bicycle Parking: 6 bicycles
- Trash Receptacles: 2 (to be placed away from benches)

**WITHIN 5 MIN WALK OF RED HOTSPOT:**

- Benches: 2
- Bicycle Parking: 4 bicycles
- Trash Receptacles: 1 (to be placed away from benches)

**OUTSIDE 5 MIN WALK OF RED HOTSPOT:**

- Bicycle Parking: 3 bicycles
- Trash Receptacles: 1

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PCIDS

SECTION 3: RELATED EXPERIENCE

# Recent TSW Signage & Wayfinding Experience



City of Midwest City Revitalization Plan & Code, Streetscape and Park Design (Midwest City, OK)



City of Douglasville Town Green (Douglasville, GA)



Dunwoody Wayfinding & Gateway Signage (Dunwoody, GA)



City of Bainbridge Chason Park River Story (Bainbridge, GA)



City of Gulf Shores Gulf Place (Gulf Shores, AL)



Duluth Parsons Alley (Duluth, GA)

## SECTION 4:

# Cost Proposal

TSW's goal is to continue a partnership with the City of Tucker and the community. We do not want fees to be a barrier preventing our selection as your consultant team. If our fee proposal differs significantly from the competition or what may be budgeted for this project, we would be pleased to discuss our fee proposal and refine our scope of services and specific tasks. The TSW Team does not have any state contracts that the City would qualify to utilize.

PHASE	ESTIMATED COST
Phase 1: Initiate & Understand	\$5,500
Phase 2: Engagement	\$12,000
Phase 3: Visioning	\$23,000
Phase 4: Deliverables	\$12,000
Reimbursable Expenses (travel, printing, etc.)	\$2,000
<b>TOTAL:</b>	<b>\$54,500</b>

OPTIONAL SERVICES	ESTIMATED COST
Pop-Up Event	\$2,400
Optional Services - Bid Documents	\$21,000



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SECTION 5:

# Additional Forms

- W-9 Form
- Certificate of Insurance
- Bid Bond Form
- E-Verify Affidavit
- Contact Information Form
- Acknowledgment of Addendum's 1 & 2

SECTION 5: ADDITIONAL FORMS

Form **W-9**  
 (Rev. October 2018)  
 Department of the Treasury  
 Internal Revenue Service

**Request for Taxpayer Identification Number and Certification**

▶ Go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9) for instructions and the latest information.

**Give Form to the requester. Do not send to the IRS.**

**1** Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.  
**Tunnell-Spangler-Walsh & Associates, Inc.**

**2** Business name/disregarded entity name, if different from above  
**TSW**

**3** Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only **one** of the following seven boxes.

Individual/sole proprietor or single-member LLC

**C Corporation**     S Corporation     Partnership     Trust/estate

Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ \_\_\_\_\_

**Note:** Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.

Other (see instructions) ▶ \_\_\_\_\_

**4** Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any) \_\_\_\_\_

Exemption from FATCA reporting code (if any) \_\_\_\_\_

(Applies to accounts maintained outside the U.S.)

**5** Address (number, street, and apt. or suite no.) See instructions.  
**1447 Peachtree Street NE, Suite 850**

**6** City, state, and ZIP code  
**Atlanta, GA 30309**

**7** List account number(s) here (optional)

Requester's name and address (optional)

**Part I Taxpayer Identification Number (TIN)**

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

**Note:** If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

**Social security number**

			-			-			
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or

**Employer identification number**

5	8	-	1	8	7	3	6	7	6
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**Part II Certification**

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

**Certification instructions.** You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

**Sign Here**    Signature of U.S. person ▶ 

**Date ▶ January 2, 2024**

**General Instructions**

Section references are to the Internal Revenue Code unless otherwise noted.

**Future developments.** For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to [www.irs.gov/FormW9](http://www.irs.gov/FormW9).

**Purpose of Form**

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)
- Form 1099-DIV (dividends, including those from stocks or mutual funds)
- Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
- Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
- Form 1099-S (proceeds from real estate transactions)
- Form 1099-K (merchant card and third party network transactions)
- Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
- Form 1099-C (canceled debt)
- Form 1099-A (acquisition or abandonment of secured property)

Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.

*If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.*

SECTION 5: ADDITIONAL FORMS



TUNN&00-01

CBOURDON

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 9/5/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement.

PRODUCER: Weymouth, Swayze, and Corroon Ins; CONTACT NAME: Carol Bourdon; INSURER(S): CONTINENTAL INSURANCE, CONTINENTAL CASUALTY, HARTFORD INSURANCE COMPANY

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES.

Table with columns: INSR LTR, TYPE OF INSURANCE, POLICY NUMBER, POLICY EFF, POLICY EXP, LIMITS. Rows include Commercial General Liability, Automobile Liability, Umbrella Liab, Workers Compensation, and Professional Liab.

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Additional named insured: Tunnell-Spangler & Associates, Inc. d/b/a Tunnell-Spangler-Walsh & Associates, Inc. and TSW
UMBRELLA LIABILITY IS NOT EXCESS OVER PROFESSIONAL LIABILITY

CERTIFICATE HOLDER: FOR EVIDENCE ONLY; CANCELLATION: SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

SECTION 5: **ADDITIONAL FORMS**

**BID BOND**

KNOW ALL MEN BY THESE PRESENTS, THAT

(Name of Contractor) Tunnell-Spangler-Walsh & Associates, Inc. at

(Address of Contractor) 1447 Peachtree Street Northeast, Suite 850, Atlanta, GA 30309

(Corporation, Partnership and / or Individual) hereinafter called Principal, and

(Name of Surety) N/A according to Addendum #1

(Address of Surety) N/A according to Addendum #1

A corporation of the State of Georgia, and a surety authorized by law to do business in the State of Georgia, hereinafter called Surety, are held, and firmly bound unto

(Name of Oblige) City of Tucker Georgia

(Address of Oblige) 1975 Lakeside Parkway, Suite 350, Tucker, Georgia 30084

Hereinafter referred to as Oblige, in the penal sum of N/A according to Addendum #1 Dollars (\$ n/a ) in lawful money of the United States, for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators and successors, jointly and severally, firmly by these presents.

WHEREAS, the Principal is about to submit, or has submitted, to the City of Tucker, Georgia, a proposal for furnishing materials, labor, and equipment for:

**RFP # 2024-002  
CITY STANDARDS GUIDEBOOK**

WHEREAS, the Principal desires to file this Bond in accordance with law in lieu of a certified Bidder’s check otherwise required to accompany this Proposal.

NOW, THEREFORE, the conditions of this obligation are such that if the bid is accepted and if required, the Principal shall within ten days after receipt of notification of the acceptance execute a Contract in accordance with the Bid and upon the terms, conditions, and prices set forth in the form and manner required by the City of Tucker, Georgia, and execute a sufficient and satisfactory Performance Bond and Payment Bond payable to the City of Tucker, Georgia, each in an amount of 100% of the total Contract Price, in form and with security satisfactory to said the City of Tucker, Georgia, and otherwise, to be and remain in full force and virtue in law; and the Surety shall, upon failure of the Principal to comply with any or all of the foregoing requirements within the time specified above, immediately pay to the City of Tucker, Georgia,

**SECTION 5: ADDITIONAL FORMS**

upon demand, the amount hereof in good and lawful money of the United States of America, not as a penalty, but as liquidated damages.

PROVIDED, FURTHER, that Principal and Surety agree and represent that this bond is executed pursuant, to and in accordance with the applicable provisions of the Official Code of Georgia Annotated, as Amended, including, but not limited to, O.C.G.A. § 13-10-20, et. Seg. And § 36- 91-50, et. Seg. and is intended to be and shall be constructed as a bond in compliance with the requirements thereof.

Signed, sealed, and dated this \_\_\_\_\_ day of N/A according to Addendum #1 A.D., 20\_\_\_\_.

ATTEST:  
N/A according to Addendum #1  
(Principal Secretary)

N/A according to Addendum #1  
(Principal)

(SEAL)

BY: N/A according to Addendum #1

N/A according to Addendum #1  
(Witness to Principal)

N/A according to Addendum #1  
(Address)

N/A according to Addendum #1  
(Address)

N/A according to Addendum #1  
(Surety)

ATTEST:

BY: N/A according to Addendum #1  
(Attorney-in-Fact) and Resident Agent

N/A according to Addendum #1  
(Attorney-in-Fact)

N/A according to Addendum #1  
(Address)

(SEAL)

N/A according to Addendum #1  
(Witness as to Surety)

N/A according to Addendum #1

SECTION 5: **ADDITIONAL FORMS**



**GEORGIA SECURITY AND IMMIGRATION COMPLIANCE ACT AFFIDAVIT**

**GEORGIA E-Verify and Public Contracts: The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, regardless of the number of employees.**

<b>Contractor Name:</b>	Tunnell-Spangler-Walsh & Associates, Inc.
<b>Solicitation/Bid number or Project Description:</b>	RFP #2024-002

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, entity or corporation which is engaged in the physical performance of services under a contract on behalf of the City of Tucker, Georgia has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91.

Furthermore, the undersigned contractor will continue to use the federal work authorization program throughout the contract period as required by O.C.G.A. § 13-10-91(b) and the undersigned contractor will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present and affidavit to the contractor with the information required by O.C.G.A. § 13-10-91(b). Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

20896  
 Federal Work Authorization User Identification Number  
 (EEV/E-Verify Company Identification Number)  
Tunnell-Spangler-Walsh & Associates, Inc.  
 Name of Contractor

April 24, 2009  
 Date of Authorization

**I hereby declare under penalty of perjury that the foregoing is true and correct**

Adam Williamson  
 Printed Name (of Authorized Officer or Agent of Contractor)

Principal  
 Title (of Authorized Officer or Agent of Contractor)

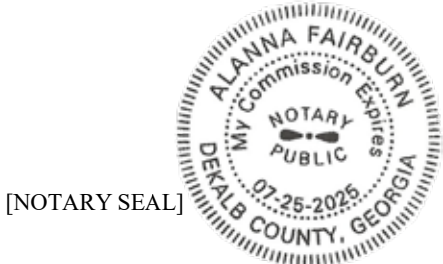
[Signature]  
 Signature (of Authorized Officer or Agent)

2.28.2024  
 Date Signed

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE

28th DAY OF February, 2024

[Signature]  
 Notary Public



SECTION 5: **ADDITIONAL FORMS**

**Contact Information Form**

Please fill out this form with the appropriate contact information for your company.

Full Legal Name of Company: Tunnell-Spangler-Walsh & Associates, Inc.

Date: 2.28.2024

Contractor Information:

Primary Contact Person: Adam Williamson

Title: Principal Telephone Number: 470.751.2366

E-mail Address: awilliamson@tsw-design.com

Secondary Contact Person: Ryan Snodgrass

Title: Associate Planner Telephone Number: 470.751.2508

E-mail Address: rsnodgrass@tsw-design.com

Preferred Contact for Administration: (i.e. Document Processing) (Choose one)

- Primary Contact
- Secondary Contact

Address: 1447 Peachtree Street NE, Suite 850

City / State / Zip: Atlanta, GA 30309

Mailing Address (If different than above): \_\_\_\_\_

City / State / Zip: \_\_\_\_\_

# CITY OF TUCKER

## ACKNOWLEDGE RECEIPT OF ADDENDUM #1 FORM

### RFP 2024-002 City Standards Guidebook

**Upon receipt, please print and add to your proposal.**

I hereby acknowledge receipt of the supplement pertaining to the above referenced bid.

**COMPANY NAME:** Tunnell-Spangler-Walsh & Associates, Inc.

**CONTACT PERSON:** Adam Williamson, Principal

**ADDRESS:** 1447 Peachtree Street NE, Suite 850

**CITY:** Atlanta **STATE:** GA **ZIP:** 30309

**PHONE:** 470.751.2366

**EMAIL ADDRESS:** awilliamson@tsw-design.com



2.28.2024

**SIGNATURE**

**DATE**



# CITY OF TUCKER

## ACKNOWLEDGE RECEIPT OF ADDENDUM #2 FORM

### RFP 2024-002 City Standards Guidebook

**Upon receipt, please print and add to your proposal.**

I hereby acknowledge receipt of the supplement pertaining to the above referenced bid.

**COMPANY NAME:** Tunnell-Spangler-Walsh & Associates, Inc.

**CONTACT PERSON:** Adam Williamson, Principal

**ADDRESS:** 1447 Peachtree Street NE, Suite 850

**CITY:** Atlanta **STATE:** GA **ZIP:** 30309

**PHONE:** 470.751.2366

**EMAIL ADDRESS:** awilliamson@tsw-design.com



2.28.2024

**SIGNATURE**

**DATE**

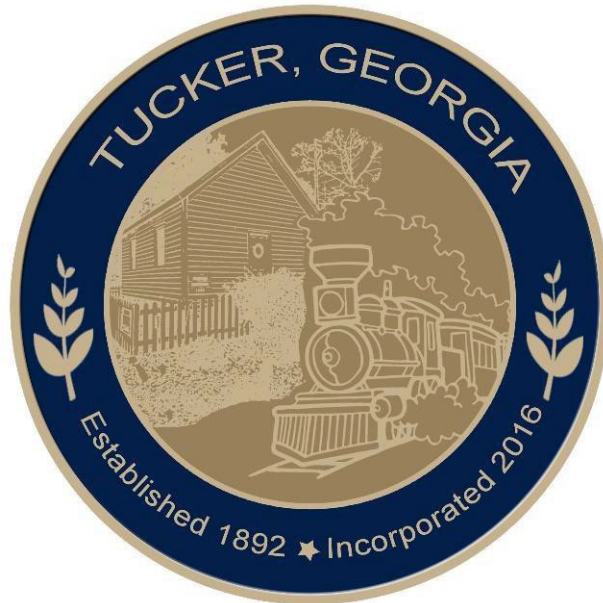


City of Tucker

Request for Proposal

RFP # 2024-002

## CITY STANDARDS GUIDEBOOK



## BID MANUAL

City of Tucker  
1975 Lakeside Parkway, Suite 350  
Tucker, Georgia 30084

## City of Tucker Request for Proposal RFP #2024-002 City Standards Guidebook

**INVITATION:** The City of Tucker, Georgia requests that interested parties submit proposals for a City Standards Guidebook. Proposals will be accepted until the date and time listed below and will be awarded to the most responsible and responsive proposer submitting the proposal which is deemed to be the most advantageous to the city. Addenda and updates to this bid manual will be posted on the City of Tucker website <http://tuckerga.gov/bids> or may be requested by email [procurement@tuckerga.gov](mailto:procurement@tuckerga.gov).

<b>BID ACTIVITY SCHEDULE</b>	
RFP Issued	January 30, 2024
Pre-Bid Conference – Optional	February 8, 2024, at 10:00am
Deadline for Questions	February 13, 2024, at 4:00 p.m.
Responses to Questions Posted (Addenda)	February 15, 2024
Proposal Deadline	February 29, 2024, at 3:00 p.m.
Scoring by Evaluation Committee	March 1 – 18, 2024
Award at Council Meeting	April 8, 2024 (Tentative)

**SCOPE OF WORK:** Refer to Exhibit A.

**PRE-PROPOSAL CONFERENCE (Optional):** Thursday, February 8, 2024 at 10:00am.  
Location: City Hall Office located at 1975 Lakeside Parkway, Suite 350, Tucker, GA 30084.  
Email [procurement@tuckerga.gov](mailto:procurement@tuckerga.gov) no later than Thursday, February 8, 2024 at 9:00am of intent to attend.

**QUESTIONS:** Submit all questions in writing to [procurement@tuckerga.gov](mailto:procurement@tuckerga.gov). Reference RFP #2024-002 in the subject line of the email.

**ADDENDA:** Responses to the questions received will be by addenda and will be posted on the City website [www.tuckerga.gov/bids](http://www.tuckerga.gov/bids). The signed acknowledgement issued with each addendum must be submitted with the proposal. It is the vendors responsibility to verify if any addenda were created.

**SUBMITTAL REQUIREMENTS:** Vendor shall submit RFP Response electronically to [procurement@tuckerga.gov](mailto:procurement@tuckerga.gov) no later than February 29, 2024 at 3:00 p.m. with the subject line RFP #2024-002.

**BID TABULATION:** A listing of submittals will be posted on the City’s website: [www.tuckerga.gov/bids](http://www.tuckerga.gov/bids).

DOCUMENT SUBMITTAL REQUIREMENTS:

1. Proposal, including understanding and approach, related experience and references, personnel qualifications, and cost proposal.
2. W-9 Form (provided)
3. Certificate of Insurance
4. Bid Bond Form (provided)
5. E-Verify Affidavit Form (provided)
6. Contact Information Form (provided)
7. Acknowledgement of Addendum issued with each Addendum.

All responses must be received electronically by the date and time specified. (Addenda will show any schedule updates). Late proposals will not be considered. Proposals received after the deadline will be filed unopened. The City of Tucker reserves the right to reject any and all proposals or any part, to waive any formalities or informalities to make an award and to re-advertise in the best interest of the City. No proposals will be received orally or by phone.

The city reserves the right to negotiate pricing with the top scoring bidder.

The city, in its discretion, may award a contract to the most responsible and responsive proposer submitting the proposal which is deemed to be the most advantageous to the city, price and other factors being considered, as described in the selection criteria.

**EXHIBIT A – SCOPE OF WORK**  
**City of Tucker Request for Proposal**  
**RFP #2024-002 City Standards Guidebook**

**Purpose**

The City of Tucker is requesting proposals for the creation of a City Standards Guidebook which will identify a set of required products and design standards for city projects, including gateway signage, landscaping standards, streetscape standards, etc. By designing and creating a set of standards unique to Tucker, public projects across the city will have consistency that will create a unique sense of place and add character to the city as a whole. The guidebook should convey the aesthetics and feel of the city’s built-environment and ultimately provide a framework for decision makers to use in planning future improvements. The Guidebook will become the intellectual property of the City upon project completion.

**Background**

The City of Tucker is approximately 20.4 square miles and is located in the northeastern portion of DeKalb County. The city is one of the largest incorporated areas land wise within DeKalb County and has a population of approximately 38,417. Tucker has grown since incorporating in 2016, and there is a need to create more uniform standards to maintain a consistent identity throughout the city. The standards set forth in the guidebook will be implemented with future city projects and can also be used for community-led projects and private development projects.

**Project Objectives (include but are not limited to)**

- Complete field inventory of existing conditions.
- Complete a visual preference survey to help identify the standards for the City of Tucker and an improvement prioritization survey to identify which elements the public wishes to see installed first/have the most value.
- Design/create a list of products and standards specific to the City of Tucker that includes, but is not limited to, the following:
  - Signage:
    - Gateway
    - Wayfinding
    - Plaques
    - Street name signs and street name sign toppers
    - City limit signs
    - Park signage, such as kiosk, park rules, etc. that coordinate with existing monument and pillar park signage
  - Street signposts
  - Banner support structure that can be used to display banners for city events
  - Memorial benches, trees, plaques
  - Sanitation amenities – trash cans, recycling bins, dumpster enclosures, pet waste disposal

- Lighting – vehicular lighting, pedestrian lighting, decorative lighting
- Streetscape design & elements – street trees, street planters, seating (benches, other forms), curbing, bike racks
- Crosswalks and ADA ramps standards
- Manhole cover designs
- MARTA bus shelters
- Landscaping – trees, shrubs, ground cover (includes landscaping used for screening purposes)
- Gateway arch for Downtown Trail
- Bollards (material, colors, etc.)
- Retaining wall materials and fence materials
- Center island design for roundabouts (materials, landscaping, art, etc)
- Mast arms and other utility support structures
- Provide options for certain elements to allow for variety and to create unique design elements in specific parts of the City (such as Northlake or Downtown).
- Provide provisions for design flexibility/waivers due to issues such as site conditions, limited right-of-way, etc.
- Identify ways to incorporate branding, where appropriate.
- Produce a list of recommended locations for gateway signs, wayfinding signs, and the banner support structure.

### **Resources**

- Tucker Comprehensive Plan, June 2023
- Tucker Downtown Master Plan, Dec. 2020
- Tucker PATH Trail Master Plan and Implementation Strategy, April 2019
- Zoning Ordinance (for example, Article III and V)
- Construction drawings and/or as built conditions of City projects, including the Town Green, Fellowship Road beautification, 285 & Lawrenceville Highway beautification, Downtown Trail, Juliette Road median project, etc.
- Branding Standards Guide
- Communications Plan (in progress)
- Parks and Recreation sign standards

### **Public Engagement/Meetings**

- Visual preference and improvement prioritization survey for residents and business owners.
- Up to two in-person community meetings
- Up to three public meetings with Mayor and City Council

### **Deliverables**

- Completed City Standards Guidebook (digital files and 20 hard copies, bound)
- Map of recommended gateway, wayfinding, and banner support structure locations

### **Evaluation and Selection Criteria**

An Evaluation Committee will evaluate all proposals submitted prior to the submittal deadline. The city, in its discretion, may award the Contract to the responsible and responsive proposer submitting the proposal which is deemed to be the most advantageous to the city, price and other factors being considered. The following are the evaluation criteria the committee will consider in determining which proposal is most advantageous to the city:

1. **Project Understanding and Approach – 40 points**  
Successful proposers will demonstrate an understanding of the magnitude of the task, the constraints, and the desired outcomes for the project.
2. **Similar Experience – 30 points**  
Successful proposers will have experience completing similar projects which should be demonstrated by providing case studies (of no more than two pages each) describing three projects that best match the scope and desired outcomes for this project. Each case study should highlight any similarities to the proposed Tucker project. For each case study, a reference and contact information should be provided. The city may request samples of the comparative works during the proposal review process.
3. **Project Personnel – 20 points**  
Successful proposers will provide information on personnel to be assigned to this project. Personnel should have experience of similar projects and/or in fields necessary to complete the proposed scope of work.
4. **Pricing – 10 points**  
Successful proposers will provide their most competitive pricing.

### **Bonding Requirements**

No proposal may be withdrawn for a period of forty-five (45) days after the time has been called on the date of opening.



City of Tucker, Georgia

RFP #2024-002

City Standards Guidebook

<b>Average Scores</b>	<b>TSW</b>	<b>Merje Design</b>	<b>Designing Local Ltd</b>	<b>Sizemore Group</b>	<b>Praxis 3</b>
Understanding and Approach	31.43	25.71	31.43	32.86	31.43
Similar Experience	24.64	20.36	19.29	23.57	20.36
Personnel	16.43	15.00	15.71	15.00	14.29
Cost	10.00	2.50	7.50	0.00	5.00
<b>Total Points</b>	<b>82.50</b>	<b>63.57</b>	<b>73.93</b>	<b>71.43</b>	<b>71.07</b>

Rating	Evaluation Committee Member #1					Evaluation Committee Member #2					Evaluation Committee Member #3					Evaluation Committee Member #4					Evaluation Committee Member #5					Evaluation Committee Member #6					Evaluation Committee Member #7				
	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3
Understanding and Approach	Marginal	Good	Excellent	Good	Good	Good	Good	Excellent	Excellent	Good	Excellent	Adequate	Good	Good	Excellent	Good	Excellent	Excellent	Good	Good	Excellent	Adequate	Good	Excellent	Excellent	Good	Good	Good	Good	Good	Excellent	Marginal	Marginal	Good	Adequate
Similar Experience	Good	Adequate	Excellent	Good	Adequate	Good	Good	Good	Good	Good	Excellent	Adequate	Good	Good	Adequate	Good	Excellent	Excellent	Good	Good	Good	Excellent	Excellent	Good	Good	Good	Good	Marginal	Excellent	Excellent	Excellent	Marginal	Poor	Good	Good
Personnel	Good	Good	Excellent	Good	Marginal	Excellent	Excellent	Excellent	Good	Good	Excellent	Good	Good	Adequate	Good	Good	Excellent	Excellent	Good	Good	Good	Good	Good	Good	Good	Good	Good	Good	Excellent	Excellent	Good	Marginal	Marginal	Good	Good
Cost	Excellent	Marginal	Good	Poor	Adequate	Excellent	Marginal	Good	Poor	Adequate	Excellent	Marginal	Good	Poor	Adequate	Excellent	Marginal	Good	Poor	Adequate	Excellent	Marginal	Good	Poor	Adequate	Excellent	Marginal	Good	Poor	Adequate	Excellent	Marginal	Good	Poor	Adequate
Scoring	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3
Understanding and Approach	0.25	0.75	1	0.75	0.75	0.75	0.75	1	1	0.75	1	0.5	0.75	0.75	1	0.75	1	1	0.75	0.75	1	0.5	0.75	1	1	0.75	0.75	0.75	0.75	0.75	1	0.25	0.25	0.75	0.5
Similar Experience	0.75	0.5	1	0.75	0.5	0.75	0.75	0.75	0.75	0.75	1	0.5	0.75	0.75	0.5	0.75	1	1	0.75	0.75	0.75	1	0.75	0.75	0.5	0.75	0.75	0.25	1	1	1	0.25	0	0.75	0.75
Personnel	0.75	0.75	1	0.75	0.25	1	1	1	0.75	0.75	1	0.75	0.75	0.5	0.75	0.75	1	1	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	0.75	1	1	0.75	0.25	0.75	0.75	0.75
Cost	1	0.25	0.75	0	0.5	1	0.25	0.75	0	0.5	1	0.25	0.75	0	0.5	1	0.25	0.75	0	0.5	1	0.25	0.75	0	0.5	1	0.25	0.75	0	0.5	1	0.25	0.75	0	0.5
Tabulated Scores	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3
Understanding and Approach	10	30	40	30	30	30	30	40	40	30	40	20	30	30	40	30	40	40	30	30	40	20	30	40	40	30	30	30	30	30	40	10	10	30	20
Similar Experience	22.5	15	30	22.5	15	22.5	22.5	22.5	22.5	22.5	30	15	22.5	22.5	15	22.5	30	30	22.5	22.5	22.5	30	22.5	22.5	15	22.5	22.5	7.5	30	30	30	7.5	0	22.5	22.5
Personnel	15	15	20	15	5	20	20	20	15	15	20	15	15	10	15	15	20	20	15	15	15	15	15	15	15	15	15	15	20	20	15	5	5	15	15
Cost	10	2.5	7.5	0	5	10	2.5	7.5	0	5	10	2.5	7.5	0	5	10	2.5	7.5	0	5	10	2.5	7.5	0	5	10	2.5	7.5	0	5	10	2.5	7.5	0	5
Total Points	57.5	62.5	97.5	67.5	55	82.5	75	90	77.5	72.5	100	52.5	75	62.5	75	77.5	92.5	97.5	67.5	72.5	87.5	67.5	75	77.5	75	77.5	70	60	80	85	95	25	22.5	67.5	62.5

Average Scores	TSW	Merje Design	Designing Local Ltd	Sizemore Group	Praxis 3
Understanding and Approach	31.43	25.71	31.43	32.86	31.43
Similar Experience	24.64	20.36	19.29	23.57	20.36
Personnel	16.43	15.00	15.71	15.00	14.29
Cost	10.00	2.50	7.50	0.00	5.00
<b>Total Points</b>	<b>82.50</b>	<b>63.57</b>	<b>73.93</b>	<b>71.43</b>	<b>71.07</b>



## MEMO

**To:** Honorable Mayor and City Council Members  
**From:** Ken Hildebrandt, City Engineer  
**CC:** John McHenry, City Manager  
**Date:** April 8, 2024  
**RE:** Memo for Contract C2022-018-TO17-PO24-705 – Montreal Road Sidewalk Design

---

**Contract/Document Number:** Task Order Contract C2022-018-TO17-PO24-705

### Description for on the Agenda:

- Consideration of a Contract Award for the Montreal Road Sidewalk Design Task Order

### Issue:

Approval of a task order for the design of sidewalk on Montreal Road and Montreal Industrial Way.

### Recommendation:

Staff recommends that the contract be awarded to Keck & Wood for \$94,890.

### Background:

Montreal Road is a heavily traveled pedestrian corridor and MARTA route. Montreal Industrial Way is an active employment center. Many employees rely on public transportation and are forced to walk in the roadway with tractor trailers.

### Summary:

Sidewalks will be designed for the west side of Montreal Road from Lavista Road to the CSX grade crossing, on the east side from Montreal Industrial Way to the grade crossing, and on the south side of Montreal Industrial Way from Montreal Road to the end.

### Financial Impact:

\$94,890 will be funded from the SPLOST Sidewalk/Trail account (SP2404; 320-4224-54.14000).





**PROFESSIONAL ENGINEERING SERVICES  
CONTRACT AGREEMENT (RFQ #2022-018)  
TASK ORDER #17  
MONTREAL ROAD SIDEWALK DESIGN**

This TASK ORDER between the parties is entered pursuant to the CONTRACT AGREEMENT (RFQ #2022-018) and shall serve as authorization by the City of Tucker to KECK & WOOD, INC. (“CONSULTANT”) to perform the services described herein pursuant to the terms and conditions, mutual covenants and promises provided herein and in the CONTRACT AGREEMENT (RFQ #2022-018). Now therefore, the parties agree as follows:

**Location of Project:**

Montreal Road and Montreal Industrial Way.

**Description of Services:** The services to be performed by the CONSULTANT pursuant to this TASK ORDER (the “WORK”), include, but are not limited to, the following, as detailed in the Scope of Work:

- Phase I – Database Preparation
- Phase II – Construction Plans

**CONSULTANT Deliverables to CITY**

- All electronic documents, project files, cad files, electronic files, and permits associated with this project as specified per Exhibit A – SCOPE OF WORK.

**Design Specifications and Guidelines:** This work shall be performed on an hourly basis utilizing the previously approved rates from RFQ #2022-018 with a Not to Exceed amount as follows:

**Total Not to Exceed Fee** **\$ 94,890.00**

This TASK ORDER is subject to the terms and conditions of the original CONTRACT AGREEMENT (RFQ #2022-018) as well as the mutual covenants contained herein.

**General Scope of Service:** The WORK under this TASK ORDER is to be commenced upon receipt of “Notice to Proceed” (NTP). The WORK shall be completed within 120 calendar days after Notice to Proceed.

The CONSULTANT shall prepare a schedule showing milestone completion dates based on completing the WORK within 30 calendar days of this TASK ORDER (hereinafter referred to as the “Schedule for Completion”), excluding City review time. The Schedule for Completion

shall be revised to reflect the actual NTP date and shall be updated as required throughout the project duration.

Every 30 days commencing with the execution of this TASK ORDER, the CONSULTANT shall submit a report which shall include, but not be limited to, a narrative describing actual work accomplished during the reporting period, a description of problem areas, current and anticipated delaying factors and their impact, explanations of corrective actions taken or planned, and any newly planned activities or changes in sequence (hereinafter referred to as "Narrative Report"). Such report shall also include an indication of the number of hours of work completed by CONSULTANT in each of the job rate categories included in the CONTRACT AGREEMENT (RFQ #2022-018). No invoice for payment shall be submitted and no payment whatsoever will be made to the CONSULTANT until the Schedule for Completion, and the completion of Narrative Reports are updated and submitted to the City. In no event shall payment be made more often than once every 30 days.

The CONSULTANT shall coordinate and attend periodic meetings with the CITY regarding the status of the TASK ORDER. The CONSULTANT shall submit transmittals of all correspondence, telephone conversations, and minutes of project meetings.

The CONSULTANT shall complete all of the pre-construction activities for the TASK ORDER as part of the WORK. The pre-construction activities shall be completed in accordance with applicable local codes and ordinances, the applicable guidelines of the American Association of State Highway and Transportation Officials (AASHTO), current edition, the GDOT's Standard Specifications Construction of Roads and Bridges, current edition, the Manual on Uniform Traffic Control Devices (MUTCD), current edition, TASK ORDER schedules, and applicable guidelines of the Georgia Department of Transportation.

The CONSULTANT agrees that all reports, plans, drawings, studies, specifications, estimates, maps, computations, computer diskettes and printouts and any other data prepared under the terms of this TASK ORDER shall become the property of the City. This data shall be organized, indexed, bound and delivered to the City no later than the advertisement of the PROJECT for letting. The City shall have the right to use this material without restriction or limitation and without compensation to the CONSULTANT.

The CONSULTANT shall be responsible for the professional quality, technical accuracy, and coordination of interpreting all designs, drawings, specifications, and other services furnished by or on behalf of the City pursuant to this TASK ORDER. The CONSULTANT shall correct or revise, or cause to be corrected or revised, any errors or deficiencies in the designs, drawings, specifications, and other services furnished for this TASK ORDER. All revisions shall be coordinated with the CITY prior to issuance. The CONSULTANT shall also be responsible for any claim, damage, loss or expense resulting from the incorrect interpretation of the provided designs, drawings, and specifications pursuant to this TASK ORDER.

For each "Phase" enumerated in "Design Specifications and Guidelines," the fees shall be paid for such phase as provided however, CONSULTANT agrees that fees are earned pursuant to the WORK performed, which in no event shall exceed the amount set forth in the attached Fee

Schedule and which hourly rate shall in no event exceed that provided in the Contract Agreement. Accordingly, invoices shall be submitted pursuant to completion of the Work performed based upon percentage completion of the relevant Phase.

If the City in good faith determines that the CONSULTANT has failed to perform or deliver any service or product as required, the CONSULTANT shall not be entitled to any compensation under the Contract until such service or product is performed or delivered. In this event, the City may withhold that portion of the CONSULTANT’S compensation which represents payment for services or products that were not performed or delivered. To the extent that the CONSULTANT’S failure to perform or deliver in a timely manner causes the City to incur costs, the City may deduct the amount of such incurred costs from any amounts payable to CONSULTANT. The City's authority to deduct such incurred costs shall not in any way affect the City's authority to terminate the Contract. In the event that the CONSULTANT owes the City any sum under the terms of the Contract, pursuant to any judgment, or pursuant to any law, the City may set off the sum owed to the City against any sum owed by the City to the CONSULTANT in the City's sole discretion.

**Attachments:**

- EXHIBIT A – SCOPE OF WORK and COST PROPOSAL (in accordance with rates established in RFP 2022-018)

CITY OF TUCKER:

CONSULTANT: KECK & WOOD, INC.

By: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Title: \_\_\_\_\_

Name: \_\_\_\_\_

Name: \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

Attest: \_\_\_\_\_

Bonnie Warne, City Clerk (Seal)

Approved as to form:

\_\_\_\_\_  
Ted Baggett, City Attorney



March 15, 2024

Ken Hildebrandt, PE, PTOE  
City Engineer  
City of Tucker  
4898 Lavista Rd  
Tucker, GA 30084

Re: Scope Description and Fee Estimate  
Montreal Road and Montreal Industrial Way Sidewalks

Dear Mr. Hildebrandt:

The City of Tucker (The “City”) intends to improve Montreal Road by adding sidewalks along the west side of the road from Lavista Road to the CSX Railroad and the east side of the road from south of Montreal Industrial Way to the CSX Railroad. The City plans to improve Montreal Industrial Way by adding sidewalks on the south side from Montreal Road to the termination of City right-of-way. Keck & Wood, Inc. (The “Engineer”) intends to provide the City with professional engineering services for the implementation of this project. We propose the following scope of services:

### **Phase 1 – Database Preparation**

1. Topographic survey within the project limits described above.
2. Locate features including edge of pavement, curb and gutter, centerline of roadway and signage.
3. Locate all above ground utility markings, stormwater structures and pipes, including invert elevations, size, and material, within the project limits.
4. Locate and display utility pole and sanitary sewer connectivity.
5. Locate property corners for the properties within the project limits.
6. Compile property information along the right-of-way for properties within the project limits utilizing DeKalb County GIS property information, and deeds and plats.
7. With the exception of the stormwater outfall near Montreal Road, Montreal Industrial Way will not be field surveyed. Basemap information for Montreal Industrial Way will be compiled from GIS data, aerial imagery, and field measurements obtained at a site visit.

### **Phase 2 – Construction Plans**

1. Provide construction plans to include sidewalk design, GDOT standard gravity wall envelopes(if required), and erosion & sediment control (greater than 1 acre of disturbance).
2. Provide detailed construction cost estimate.
3. Show required construction easements and right-of-way.
4. Prepare 8 ½”x11” right-of-way exhibit plats for parcels with required right-of-way and/or easements.
5. Prepare a linear feasibility report for post-construction BMP compliance.
6. The Engineer will provide the City with 60% and 90% plans for review and comment.
7. Submit electronic plan set to the City for review and comment.
8. The project is located on a city street, and will be funded with local funds; therefor permitting through the Georgia Department of Transportation is not anticipated.

### **Fee Schedule**



Mr. Ken Hildebrandt  
March 15, 2024  
Page 2 of 2

Compensation for work performed shall be billed on an hourly not to exceed basis utilizing our contracted hourly rates. Once per month during the existence of this contract, the Engineer shall submit to the City an invoice for payment based on the actual work performed for the Project through the invoice period. All advertising, permitting and application fees are the responsibility of the City. Bidding and Construction Administration Phase services have not been estimated and will be available at our contracted hourly rates.

<b>Phase 1 – Database Preparation</b>	<b>\$14,085</b>
<b>Phase 2 – Construction Plans</b>	<b>\$80,805</b>
<b>Total</b>	<b>\$94,890</b>

If you have any questions or would like additional information, don't hesitate to contact me at 678-417-4017. We appreciate the opportunity to work with the City on this project.

Sincerely,  
KECK & WOOD, INC.



Robert Renwick, P.E.  
Vice President

Attachments:

1. Fee Estimate

**Montreal Rd and Montreal Ind. Way Sidewalks, Tucker, GA  
Keck Wood, Inc. Fee Estimate**

Task	Hourly Rate	Principal-In-Charge	Senior Engineer	Engineer	Staff Engineer	Direct Sub-consultant	Total
		\$240	\$220	\$175	\$140		
<b>Phase 1: Database Preparation</b>							
1001	Survey/SUE Phase Project Coordination/Management		4				\$880
1002	Field Survey Database/Subsurface Utility Engineering (SUE) QL-B					\$12,750	\$12,750
1003	Survey database review			1	2		\$455
<b>Phase 1: Subtotal Manhours</b>		<b>0</b>	<b>4</b>	<b>1</b>	<b>2</b>		<b>7</b>
<b>Phase 1: Subtotal Cost</b>		<b>\$0</b>	<b>\$880</b>	<b>\$175</b>	<b>\$280</b>	<b>\$12,750</b>	<b>\$14,085</b>
<b>Phase 2: Construction Plans</b>							
2001	Construction Plans Phase Project Coordination/Management	4	12				\$3,600
2002	Site Visit			6	6		\$1,890
2003	Preliminary Plans: Cover Sheet			1	2		\$455
2004	Preliminary Plans: Index			1	2		\$455
2005	Preliminary Plans: General Notes			1	2		\$455
2006	Preliminary Plans: Typical Sections		2	4	4		\$1,700
2007	Preliminary Plans: Mainline Roadway Plan	2	16	40	100		\$25,000
2008	Preliminary Plans: Cross Sections		8	16	40		\$10,160
2009	Preliminary Plans: Existing Utility Plans			4	8		\$1,820
2010	Preliminary Plans: Signing & Marking Plans			2	4		\$910
2011	Preliminary Plans: Three Phase Erosion Control Plans		4	12	20		\$5,780
2012	Prepare linear feasibility report for post-construction BMP compliance		8	20	40		\$10,860
2013	Prepare a construction cost estimate		2	4	8		\$2,260
2014	Provide 60% plans to City for review and comment		2	4			\$1,140
2015	Revisions to the plans per City review comments		2	8	20		\$4,640
2016	Provide 90% plans to City for review and comment		2	4			\$1,140
2017	Revisions to the plans per City review comments		2	4	10		\$2,540
2018	Prepare final Construction plans to City		2	4	10		\$2,540
2019	Provide Final Cost Estimate to City	5	2	4	8		\$3,460
<b>Phase 2: Subtotal Manhours</b>		<b>11</b>	<b>64</b>	<b>139</b>	<b>284</b>		<b>498</b>
<b>Phase 2: Subtotal Cost</b>		<b>\$2,640</b>	<b>\$14,080</b>	<b>\$24,325</b>	<b>\$39,760</b>	<b>\$0</b>	<b>\$80,805</b>
<b>Phase 1-2: Total Manhours</b>		<b>11</b>	<b>68</b>	<b>140</b>	<b>286</b>	<b>0</b>	<b>505</b>
<b>Phase 1-2: Total Cost</b>		<b>\$2,640</b>	<b>\$14,960</b>	<b>\$24,500</b>	<b>\$40,040</b>	<b>\$12,750</b>	<b>\$94,890</b>



## MEMO

**To:** Honorable Mayor and City Council Members

**From:** Ken Hildebrandt, City Engineer

**CC:** John McHenry, City Manager

**Date:** April 8, 2024

**RE:** Memo for Contract for Acquisition of ROW - Mountain Industrial Blvd @ US 78      Contract for Acquisition of Right of Way - Mountain Industrial Blvd @ US 78.docx

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**Contract/Document Number:** Contract C2021-011-P.I.0017399-SR.410 adopted by Resolution R2024-04-13

### Description for on the Agenda:

- Consideration of approval of a contract for Acquisition of Right of Way at Mountain Industrial Blvd @ US 78

**Issue:**Contract for Acquisition of Right of Way - Mountain Industrial Blvd @ US 78.docx

Agreement with GDOT - P.I. No 0017399 for Acquisition of Right of Way at SR 410/US 78 @ CR 9476/Mountain Ind. Blvd

### Recommendation:

Staff recommends approval of this contract.

### Background:

The interchange of Mountain Industrial Boulevard @ US 78 is the highest accident intersection in the City. The project includes the installation of a median from Lewis Road to Elmdale Drive (with median breaks at intersections). US 78 offramps will be realigned to improve sight distance. The project will significantly improve safety along the corridor. There is over \$5M of federal funding on the construction phase. Construction is currently scheduled for 2025.

### Summary:

There are an estimated two minor acquisitions that will be required for this project. This contract commits the City to obtain the acquisitions per the GDOT requirements and at no cost to GDOT.

### Financial Impact:

Compensation amounts will be determined after appraisals and discussions with property owners.

**CONTRACT FOR ACQUISITION OF RIGHT OF WAY  
FEDERAL OR STATE-AID PROJECT  
Non-Reimbursable**

**PROJECT: N/A  
LOCAL GOVERNMENT: Tucker  
FEDERAL/STATE ROUTE: SR 410  
P. I. NO.: 0017399**

**STATE OF GEORGIA**

**CITY OF Tucker**

This Agreement made and entered into this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ by and between the **DEPARTMENT OF TRANSPORTATION** (hereinafter called the **DEPARTMENT**) and the **City of Tucker** (hereinafter called the **LOCAL GOVERNMENT**).

- CFDA # 20.205 Highway Plan and Construction Cluster**
- CFDA # 20.219 Recreation Trails Program**

**WITNESSTH THAT:**

**WHEREAS**, the **DEPARTMENT** and the **LOCAL GOVERNMENT** propose to let to construction the above indicated project located on **SR 410/US 78 @ CR 9476/Mountain Ind. Blvd**, without cost to the **DEPARTMENT** except as hereinafter specified; and

**WHEREAS**, the **DEPARTMENT** is authorized to enter into this contract with the **LOCAL GOVERNMENT** by virtue of Section 32-2-2 (a) of the Official Code of Georgia Annotated; and

**WHEREAS**, the **LOCAL GOVERNMENT** is authorized to enter into this contract by virtue of Sections 32-3-3 (e), 32-4-41 (5), 32-4-42 (a) and 32-4-61 of the Official Code of Georgia Annotated and that certain **resolution of the City Council adopted** the \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_; and

**WHEREAS**, said rights of way are to be acquired by the **LOCAL GOVERNMENT** in accordance with certain specified requirements of the Federal-Aid Highway Act of 1970, as amended, and regulations of the **DEPARTMENT** in order for the construction cost of said project to be eligible for Federal participation; and

**NOW, THEREFORE**, in consideration of Ten (\$10.00) Dollars in hand paid to the **LOCAL GOVERNMENT**, the receipt of which is hereby acknowledged, and the mutual promises and covenants hereinafter set out, the **DEPARTMENT** and the **LOCAL GOVERNMENT** agree as follows:

**ITEM I**

The **LOCAL GOVERNMENT** shall ensure at the time of closing that the legal descriptions and plats in hand reflect the latest revised or current required right of way and/or easements.

Rights of way lying on a designated state or federal route (on-system) are to be acquired in the **DEPARTMENT'S**

name by the **LOCAL GOVERNMENT** when closed by deed. Rights of way lying on a designated state or federal route (on-system) requiring condemnation are to be condemned in the **LOCAL GOVERNMENT'S** name and then transferred to the **DEPARTMENT** by quit claim deed after the condemnation is complete and after the **LOCAL GOVERNMENT** has full and final possession of the right of way. Rights of way lying on a non-designated state or federal route (off-system) are to be acquired in the **LOCAL GOVERNMENT'S** name by the **LOCAL GOVERNMENT** when closed by deed and remain in the **LOCAL GOVERNMENT'S** name. Rights of way lying on a non-designated state or federal route (off-system) requiring condemnation are to be condemned in the **LOCAL GOVERNMENT'S** name and remain in the **LOCAL GOVERNMENT'S** name.

The **LOCAL GOVERNMENT** is responsible for properly flagging, staking, and marking all required right of way and all required easement (temporary or permanent) surveyed boundary lines **PRIOR** to the appraiser inspecting and appraising the property and **PRIOR** to the on-site Negotiation Agent meeting with the property owner to review the required right of way and/or required easement(s).

Each valuation and damage expert utilized on this project must be selected from the **DEPARTMENT'S** "Approved Appraiser List". The **DEPARTMENT** shall review and approve each selection prior to the **LOCAL GOVERNMENT** contracting with the appraiser. All appraisals will be submitted to the **DEPARTMENT** for review, for approval and to establish fair market value prior to negotiations.

## **ITEM II**

The **LOCAL GOVERNMENT** will provide without cost to the **DEPARTMENT**, all legal counsel and services associated with the Acquisition of Rights of Way, including, but not limited to, the preparation and filing of all condemnation petitions in the name of the **LOCAL GOVERNMENT**.

## **ITEM III**

The **LOCAL GOVERNMENT** will without cost to the **DEPARTMENT**, demolish and remove in their entirety all buildings, walls, fences, gates, underground storage tanks, signs or any other improvement or structures of any nature or description, lying wholly or partially situated within the right of way and/or easement area. The demolition and removal shall be in accordance with procedures approved by the **DEPARTMENT**.

Any and all contaminated properties will require **DEPARTMENT** approval before being acquired by the **LOCAL GOVERNMENT**.

The **LOCAL GOVERNMENT** also agrees and binds itself in accordance with Title 40 of the Georgia Code, that it will not pass any laws, rules, regulations or ordinances which penalize, hinder or otherwise obstruct the free movement of vehicular traffic on said roadway, including angle parking, nor erect any traffic signals, towers, lights on said right of way without written consent of the **DEPARTMENT**.

## **ITEM IV**

During the life of this contract and prior to completion of the construction work and final acceptance of the project by the **DEPARTMENT**, the **LOCAL GOVERNMENT** agrees not to use convict labor in any way on or in connection with this project.

### **ITEM V**

To the extent allowed by law, the LOCAL GOVERNMENT will without cost to the DEPARTMENT, defend and hold harmless the DEPARTMENT for any and all suits, if any should arise, involving property titles associated with the acquisition of Rights of Way, including any liability or consequential damages resulting from personal injury, property damages, or inverse condemnation related thereto, except that which is the result of the sole negligence of the DEPARTMENT.

### **ITEM VI**

Once the environmental clearance is obtained and the right of way plans are approved, the LOCAL GOVERNMENT can begin acquisition activities; however, if the approved environmental document is not current within six (6) months from the plan approval date, an environmental re-evaluation will be required and right of way negotiations and acquisition cannot be initiated until the approval of the re-evaluation.

### **ITEM VII**

The LOCAL GOVERNMENT will, in the right of way acquisition procedure, observe and comply with Title 49 Code of Federal Regulations Part 24; Title 23 Code of Federal Regulations Part 710; Georgia Laws 1972, p. 931, as amended; and, in accordance with the requirements as outlined in the Relocation Assistance Manual prepared by the DEPARTMENT. The LOCAL GOVERNMENT will be responsible for making payments to owners as required under this procedure for any incidental expenses for the transfer of real property for rights of way purposes and any other moving and relocation expenses as required under the law and determined to be proper by the DEPARTMENT. Appeals of relocation assistance benefits will be submitted to the DEPARTMENT for review. Response to an appeal will be the responsibility of the DEPARTMENT. The LOCAL GOVERNMENT will, in their acquisition of the right of way, comply with the procedures set forth in Attachment No. 1 - Memorandum of Instructions, attached hereto. During the performance of this contract, the LOCAL GOVERNMENT will also comply with the Regulations of the U. S. Department of Transportation relative to nondiscrimination in State Aid or Federally-assisted programs of said Department in accordance with the stipulations as indicated under APPENDIX A and APPENDIX E of Attachment No. 2, attached hereto.

The LOCAL GOVERNMENT shall also comply with all provisions as set forth in Attachment No. 2 - The United States Department of Transportation (USDOT) Standard Title VI/Non-Discrimination Assurances, DOT Order No. 1050.2A, attached hereto, inclusive of APPENDIX A, APPENDIX B, APPENDIX C, APPENDIX D, and APPENDIX E of Attachment No. 2.

### **ITEM VIII**

Where determined to be desirable by Department Inspectors, the LOCAL GOVERNMENT will provide without cost to the DEPARTMENT, rodent control measures as required by the U.S. Department of Transportation prior to the demolition or removal of improvements located within the right of way of the project. The measures employed shall be in accordance with procedures approved by State and local laws and regulations governing rodent control.

### **ITEM IX**

The LOCAL GOVERNMENT will make ample provisions each year for the proper maintenance of said roadway after completion of the proposed improvements for off-system projects.

**ITEM X**

This contract is the total agreement between the **DEPARTMENT** and the **LOCAL GOVERNMENT**, and no modification of this contract shall be binding unless attached hereto and signed by both the **DEPARTMENT** and the **LOCAL GOVERNMENT**. No representation, promise or inducement not included in this contract shall be binding upon either the **DEPARTMENT** or the **LOCAL GOVERNMENT**.

**ITEM XI**

1. **TIME IS OF THE ESSENCE IN THIS CONTRACT.**
2. **TERM OF CONTRACT. UNLESS OTHERWISE AMENDED BY THE MUTUAL WRITTEN AGREEMENT OF THE PARTIES HERETO, THIS CONTRACT WILL EXPIRE NO LATER December 31, 20\_\_\_\_.**
3. This Agreement is made and entered into in Fulton County, Georgia, and shall be governed and construed under the laws of the State of Georgia.
4. If any provision of this Agreement is determined to be invalid or unenforceable, the remaining provisions shall remain in force and unaffected to the fullest extent permitted by law and regulation.
5. This Agreement shall inure to the benefit of, and be binding upon the parties hereto, and their respective heirs, executors, successors and assigns.
6. Should any provision of this Agreement require judicial interpretation, it is agreed that the court interpreting or construing the same shall not apply a presumption that the terms hereof shall be more strictly construed against one party by reason of the rule of construction that a document is to be construed more strictly against the party who itself or through its agent prepared the same, it being agreed that the agents of all parties have participated in the preparation hereof.
7. The Preamble, Recitals, Exhibits, Addendums and Appendices hereto are a part of this Agreement and are incorporated herein by reference.

**{REMAINDER OF PAGE LEFT INTENTIONALLY BLANK}**

**IN WITNESS WHEREOF**, this instrument has been and is executed on behalf of the **DEPARTMENT** by the Commissioner of the **DEPARTMENT** and on behalf of **LOCAL GOVERNMENT** being duly authorized to do so by the **LOCAL GOVERNMENT City Council**.

Executed on Behalf of the  
**GEORGIA DEPARTMENT OF  
TRANSPORTATION**

By:

\_\_\_\_\_  
COMMISSIONER

Executed on Behalf of the **City of**

By:

\_\_\_\_\_  
MAYOR

This Contract was approved by the  
\_\_\_\_\_ City Council at  
a meeting held this the

ATTEST:

\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

\_\_\_\_\_  
TREASURER

\_\_\_\_\_ (Seal)  
CLERK

\_\_\_\_\_  
WITNESS

FEIN: \_\_\_\_\_



**RESOLUTION OF THE LOCAL GOVERNMENT**

**STATE OF GEORGIA**

**City of Tucker LOCAL GOVERNMENT**

**BE IT RESOLVED** by the **LOCAL GOVERNMENT** City Council and it is hereby resolved that the foregoing attached Agreement, relative to **P.I. 0017399**, be entered into by the **LOCAL GOVERNMENT** City Council, and that the Mayor and Clerk, be and they are, thereby authorized and directed to execute the same for and in behalf of said Council.

**PASSED AND ADOPTED, this** \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

**ATTEST:**

\_\_\_\_\_  
CLERK

BY: \_\_\_\_\_  
WITNESS

**STATE OF GEORGIA**

**COUNTY**

I, \_\_\_\_\_ as Clerk of the **LOCAL GOVERNMENT** City Council do hereby certify that I am custodian of the books and records of the same, and that the above and foregoing copy of the original is now on file in my office and was passed by the Mayor and City Council.

Witness by hand and official signature, this the \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

BY: \_\_\_\_\_(Seal)  
CLERK

## ATTACHMENT NO. 1

### MEMORANDUM OF INSTRUCTIONS

These instructions are to set forth the procedures necessary for the Political Subdivisions of the State of Georgia to follow when acquiring right of way on highway projects where it is proposed to acquire or construct said project with Federal participation for on system projects. On systems projects are those on designated state or federal routes. The Political Subdivision shall make every effort to acquire expeditiously all real property when authorized to proceed.

The Political Subdivision may, when they consider it appropriate, attempt to secure the right of way by donation. To assure the property owner is fully informed of his rights, the request for donation must be made in writing and also set forth that they are entitled to receive just compensation, if they so desire. A letter prepared by the Department will be made available to use as a guide. If a property owner requests payment of just compensation, the provisions of paragraph one (1) must be followed.

Nothing herein shall be construed to prevent a person whose real property is being acquired from making a gift or donation of such property, or any part thereof, or of any compensation paid therefore, after such person has been fully informed of his right to receive just compensation for the acquisition of his property.

1. At the initiation of negotiations each owner must be fully informed of his right to receive just compensation for the acquisition of his property. In order to assure just compensation is being offered, the following steps must be taken:
  - A) A General Certified Appraiser and other valuation damage experts, who is on the Department's approved list, must utilize an appropriate valuation method (appraisal/data book/cost estimate) as determined by the Department.
  - B) The appraiser must give the owner or his designated representative an opportunity to accompany him during his inspection of the property. A statement is to be in the report that this opportunity was provided.
  - C) The report must be adequately documented to support the conclusion of the appraiser and shall be prepared in accordance with the guidelines set forth by the Department.
  - D) The Department must review the appraisal and approve in writing the estimated amount of just compensation to be offered to the property owner.
  - E) The offer must be made in writing for the full amount of the aforesaid estimate of just compensation. Where appropriate, the written offer must state separately the amount for the real property being acquired and the amount attributable to damages to the remaining property.
2. No person occupying real property shall be required to move from his home, farm, or business without at least three (3) months written notice or two (2) months written notice from the time of the closing or condemnation.
3. The Department will furnish copies of letters, settlement and disbursement statements and such other forms as it may deem necessary or desirable.
4. Copies of all letters, forms, deeds and status reports used in the acquisition of Rights of Way for this project must be forwarded to the Department upon request, for future reference.
5. The LOCAL GOVERNMENT will be responsible for determining benefits and preparing relocation assistance packages. Packages must be submitted to the Department for review and approval prior to offers of benefits being made.
6. Any consultant contracted for negotiation services for the acquisition of right of way for the LOCAL GOVERNMENT must hold either a Real Estate License and be affiliated with a broker, or hold a Real Estate Brokers License in accordance with Title 43, Chapter 40 of the Official Code of Georgia Annotated. Said consultant must attend any present and all future mandatory training classes required by the DEPARTMENT.

## APPENDIX "A"

- A. **COMPLIANCE WITH REGULATIONS:** The contractor shall comply with the regulations relative to nondiscrimination in Federally-assisted programs of the Department of Transportation, Title 49, Codes of Federal Regulations, Part 21, as they may be amended from time to time, (hereinafter referred to as the regulations), which are herein incorporated by reference and made a part of this contract.
- B. **NONDISCRIMINATION:** The contractor, with regard to the work performed by it during the contract, shall not discriminate on the grounds of race, color or national origin in the selection and retention of sub- contractors, including procurement of materials and leases of equipment. The contractor shall not participate either directly or indirectly in the discrimination prohibited by Section 21.5 of the regulations, including employment practices when the contract covers a program set forth in APPENDIX "B" of the regulations.
- C. **SOLICITATIONS FOR SUB-CONTRACTS, INCLUDING PROCUREMENT OF MATERIALS AND EQUIPMENT:** In all solicitation either by competitive bidding or negotiation made by the contractor for work to be performed under a sub-contract, including procurement of materials or leases of equipment, each potential sub-contractor or supplier shall be notified by the contractor of the contractor's obligations under this contract and the regulations relative to nondiscrimination on the grounds of race, color or national origin.
- D. **INFORMATION AND REPORTS:** The contractor shall provide all information and reports required by the regulations, or directives issued pursuant thereto, and shall permit access to its books, records, accounts, other sources of information, and its facilities as may be determined by the State Department of Transportation or the Federal Highway Administration to be pertinent to ascertain compliance with such regulation or directives. Where any information required of a contractor is in the exclusive possession of another who fails or refuses to furnish this information, the contractor shall so certify to the State Department of Transportation, or the Federal Highway Administration as appropriate, and shall set forth what efforts it has made to obtain the information.
- E. **SANCTIONS FOR NONCOMPLIANCE:** In the event of the contractor's noncompliance with the nondiscrimination provisions of this contract, the State Department of Transportation shall impose such contract sanctions as it or the Federal Highway Administration may determine to be appropriate, including, but not limited to:
1. Withholding of payments to the contractor or under the contract until the contractor complies, and/or
  2. Cancellation, termination or suspension of the contract, in whole or in part.
- F. **INCORPORATION OF PROVISIONS:** The contractor shall include the provisions of Paragraphs "A" through "F" in every sub-contract, including procurement of materials and leases of equipment, unless exempt by the regulations, or directives issued pursuant thereto. The contractor shall take such

action with respect to any sub-contract or procurement as the State Department of Transportation or Federal Highway Administration may direct as a means of enforcing such provisions including sanctions for non-compliance: Provided, however, that, in the event a contractor becomes involved in, or is threatened with, litigation with a sub-contractor or supplier as a result of such direction, the contractor may request the State Department of Transportation to enter into such litigation to protect the interest of the State, and, in addition, the contractor may request the United States to enter into such litigation to protect the interest of the United States.

ATTACHMENT NO. 2

**The United States Department of Transportation (USDOT) Standard Title VI/Non-Discrimination Assurances**  
**DOT Order No. 1050.2A**

The Georgia Department of Transportation (herein referred to as the "Recipient"), **HEREBY AGREES THAT**, as a condition to receiving any Federal financial assistance from the U.S. Department of Transportation (DOT), through the Federal Highway Administration, is subject to and will comply with the following:

**Statutory/Regulatory Authorities**

- Title VI of the Civil Rights Act of 1964 (42 U.S.C. § 2000d et seq., 78 stat. 252), (prohibits discrimination on the basis of race, color, national origin);
- 49 C.F.R. Part 21 (entitled Non-discrimination In Federally-Assisted Programs Of The Department Of Transportation-Effectuation Of Title VI Of The Civil Rights Act Of 1964);
- 28 C.F.R. section 50.3 (U.S. Department of Justice Guidelines for Enforcement of Title VI of the Civil Rights Act of 1964);

The preceding statutory and regulatory cites hereinafter are referred to as the "Acts" and "Regulations," respectively.

**General Assurances**

In accordance with the Acts, the Regulations, and other pertinent directives, circulars, policy, memoranda, and/or guidance, the Recipient hereby gives assurance that it will promptly take any measures necessary to ensure that:

*"No person in the United States shall, on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity, for which the Recipient receives Federal financial assistance from DOT including the Federal Highway Administration.*

The Civil Rights Restoration Act of 1987 clarified the original intent of Congress, with respect to Title VI and other Non-discrimination requirements (The Age Discrimination Act of 1975, and Section 504 of the Rehabilitation Act of 1973), by restoring the broad, institutional-wide scope and coverage of these non-discrimination statutes and requirements to include all programs and activities of the Recipient, so long as any portion of the program is Federally assisted.

**Specific Assurances**

More specifically, and without limiting the above general Assurance, the Recipient agrees with and gives the following Assurances with respect to its Federally assisted Federal Highway Program:

1. The Recipient agrees that each "activity," "facility," or "program," as defined in §§ 21.23(b) and 21.23(e) of 49 C.F.R. § 21 will be (with regard to an "activity") facilitated, or will be (with regard to a "facility") operated, or will be (with regard to a "program") conducted in compliance with all requirements imposed by, or pursuant to the Acts and the Regulations.

2. The Recipient will insert the following notification in all solicitations for bids, Requests For Proposals for work, or material subject to the Acts and the Regulations made in connection with all Federal Highway Programs and, in adapted form, in all proposals for negotiated agreements regardless of funding *source*:

"The Georgia Department of Transportation, in accordance with the provisions of Title VI of the Civil Rights Act of 1964 (78 Stat. 252, 42 U.S.C. §§ 2000d to 2000d-4) and the Regulations, hereby notifies all bidders that it will affirmatively ensure that any contract entered into pursuant to this advertisement, disadvantaged business enterprises will be afforded full and fair opportunity to submit bids in response to this invitation and will not be discriminated against on the grounds of race, color, or national origin in consideration for an award."
3. The Recipient will insert the clauses of Appendix A and E of this Assurance in every contract or agreement subject to the Acts and the Regulations.
4. The Recipient will insert the clauses of Appendix B of this Assurance, as a covenant running with the land, in any deed from the United States effecting or recording a transfer of real property, structures, *use*, or improvements thereon or interest therein to a Recipient.
5. That where the Recipient receives Federal financial assistance to construct a facility, or part of a facility, the Assurance will extend to the entire facility and facilities operated in connection therewith.
6. That where the Recipient receives Federal financial assistance in the form, or for the acquisition of real property or an interest in real property, the Assurance will extend to rights to space on, over, or under such property.
7. That the Recipient will include the clauses set forth in Appendix C and Appendix D of this Assurance, as a covenant running with the land, in any future deeds, leases, licenses, permits, or similar instruments entered into by the Recipient with other parties:
  - a. for the subsequent transfer of real property acquired or improved under the applicable activity, project, or program; and
  - b. for the construction or use of, or access to, space on, over, or under real property acquired or improved under the applicable activity, project, or program.
8. That this Assurance obligates the Recipient for the period during which Federal financial assistance is extended to the program, except where the Federal financial assistance is to provide, or is in the form of, personal property, or real property, or interest therein, or structures or improvement thereon, in which case the Assurance obligated the Recipient, or any transferee for the longer of the following periods:
  - a. the period during which the property is used for a purpose for which the Federal financial assistance is extended, or for another purpose involving the provision of similar services or benefits; or
  - b. the period during which the Recipient retains ownership or possession of the property.

9. The Recipient will provide for such methods of administration for the program as are found by the Secretary of Transportation or the official to whom he/she delegates specific authority to give reasonable guarantee that it, other recipients, sub-recipients, sub-grantees, contractors, subcontractors, consultants, transferees, successors in interest, and other participants of Federal financial assistance under such program will comply with all requirements imposed or pursuant to the Acts, the Regulations, and this Assurance.
10. The Recipient agrees that the United States has a right to seek judicial enforcement with regard to any matter arising under the Acts, the Regulations, and this Assurance.

By signing this ASSURANCE, the Georgia Department of Transportation also agrees to comply (and require any sub-recipients, sub-grantees, contractors, successors, transferees, and/or assignees to comply) with all applicable provisions governing the Georgia Department of Transportation access to records, accounts, documents, information, facilities, and staff. You also recognize that you must comply with any program or compliance reviews, and/or complaint investigations conducted by Georgia Department of Transportation. You must keep records, reports, and submit the material for review upon request to the Georgia Department of Transportation, or its designee in a timely, complete, and accurate way. Additionally, you must comply with all other reporting, data collection, and evaluation requirements, as prescribed by law or detailed in program guidance.

Georgia Department of Transportation gives this ASSURANCE in consideration of and for obtaining any Federal grants, loans, contracts, agreements, property, and/or discounts, or other Federal-aid and Federal financial assistance extended after the date hereof to the recipients by the U.S. Department of Transportation under the Federal Highway Program. This ASSURANCE is binding on Georgia, other recipients, sub-recipients, sub-grantees, contractors, subcontractors and their subcontractors', transferees, successors in interest, and any other participants in the Federal Highway Program. The person(s) signing below is authorized to sign this ASSURANCE on behalf of the Recipient.

Georgia Department of Transportation  
(Name of Recipient)

by   
(Signature of Authorized Official)

DATED 07/15/20

## APPENDIX A

During the performance of this contract, the contractor, for itself, its assignees, and successors in interest (hereinafter referred to as the "contractor") agrees as follows:

1. **Compliance with Regulations:** The contractor (hereinafter includes consultants) will comply with the Acts and the Regulations relative to Non-discrimination in Federally-assisted programs of the U.S. Department of Transportation, (hereinafter referred to as DOT), Title 49, Code of Federal Regulations, part 21, as they may be amended from time to time, which are herein incorporated by reference and made a part of this contract.
2. **Non-discrimination:** The contractor, with regard to the work performed by it during the contract, will not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurements of materials and leases of equipment. The contractor will not participate directly or indirectly in the discrimination prohibited by the Acts and the Regulations, including employment practices when the contract covers any activity, project, or program set forth in Appendix B of 49 CFR Part 21.
3. **Solicitations for Subcontracts, Including Procurements of Materials and Equipment:** In all solicitations, either by competitive bidding, or negotiation made by the contractor for work to be performed under a subcontract, including procurements of materials, or leases of equipment, each potential subcontractor or supplier will be notified by the contractor of the contractor's obligations under this contract and the Acts and the Regulations relative to Non-discrimination on the grounds of race, color, or national origin.
4. **Information and Reports:** The contractor will provide all information and reports required by the Acts, the Regulations, and directives issued pursuant thereto and will permit access to its books, records, accounts, other sources of information, and its facilities as may be determined by the Recipient or Federal Highway Administration to be pertinent to ascertain compliance with such Acts, Regulations, and instructions. Where any information required of a contractor is in the exclusive possession of another who fails or refuses to furnish the information, the contractor will so certify to the Recipient or the Federal Highway Administration) as appropriate, and will set forth what efforts it has made to obtain the information.
5. **Sanctions for Noncompliance:** In the event of a contractor's noncompliance with the Non-discrimination provisions of this contract, the Recipient will impose such contract sanctions as it or the Federal Highway Administration may determine to be appropriate, including, but not limited to:
  - a. withholding payments to the contractor under the contract until the contractor complies; and/or
  - b. cancelling, terminating, or suspending a contract, in whole or in part.

**Incorporation of Provisions:** The contractor will include the provisions of paragraphs one through six in every subcontract, including procurements of materials and leases of equipment, unless exempt by the Acts, the Regulations and directives issued pursuant thereto. The contractor will take action with respect to any subcontract or procurement as the Recipient or the Federal Highway Administration may direct



as a means of enforcing such provisions including sanctions for noncompliance. Provided, that if the contractor becomes involved in, or is threatened with litigation by a subcontractor, or supplier because of such direction, the contractor may request the Recipient to enter into any litigation to protect the interests of the Recipient. In addition, the contractor may request the United States to enter into the litigation to protect the interests of the United States.

## APPENDIX B

### CLAUSES FOR DEEDS TRANSFERRING UNITED STATES PROPERTY

The following clauses will be included in deeds effecting or recording the transfer of real property, structures, or improvements thereon, or granting interest therein from the United States pursuant to the provisions of Assurance 4:

NOW, THEREFORE, the U.S. Department of Transportation as authorized by law and upon the condition that the GDOT will accept title to the lands and maintain the project constructed thereon in accordance with and in compliance with **Title 23 U.S. Code § 107**, the Regulations for the Administration of Federal Aid for Highways; the policies and procedures prescribed by the Federal Highway Administration of the U.S Department of Transportation in accordance and in compliance with all requirements imposed by Title 49, Code of Federal Regulations, U.S. Department of Transportation, Subtitle A, Office of the Secretary, Part 21, Non-discrimination in Federally-assisted programs of the U.S Department of Transportation pertaining to and effectuating the provisions of Title VI of the Civil Rights Act of 1964 (78 Stat. 252; 42 U.S.C. § 2000d to 2000d-4), does hereby remise, release, quitclaim and convey unto the GDOT all the right, title and interest of the U.S. Department of Transportation in and to said lands described in Exhibit A attached hereto and made a part hereof.

#### **(HABENDUM CLAUSE)**

**TO HAVE AND TO HOLD** said lands and interests therein unto GDOT and its successors forever, subject, however, to the covenants, conditions, restrictions and reservations herein contained as follows, which will remain in effect for the period during which the real property or structures are used for a purpose for which Federal financial assistance is extended or for another purpose involving the provision of similar services or benefits and will be binding on the GDOT, its successors and assigns.

The GDOT, in consideration of the conveyance of said lands and interests in lands, does hereby covenant and agree as a covenant running with the land for itself, its successors and assigns, that (1) no person will on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination with regard to any facility located wholly or in part on, over, or under such lands hereby conveyed [,] [and]\* (2) that GDOT will use the lands and interests in lands and interests in lands so conveyed, in compliance with all requirements imposed by or pursuant to Title 49, Code of Federal Regulations, U.S. Department of Transportation, Subtitle A, Office of the Secretary, Part 21, Non-discrimination in Federally-assisted programs of the U.S. Department of Transportation, Effectuation of Title VI of the Civil Rights Act of 1964, and as said Regulations and Acts may be amended [, and (3) that in the event of breach of any of the above-mentioned non- discrimination conditions, the Department will have a right to enter or re-enter said lands and facilities on said land, and that above described land and facilities will thereon revert to and vest in and become the absolute property of the U.S. Department of Transportation and its assigns as such interest existed prior to this instruction].\*

(\*Reverter clause and related language to be used only when it is determined that such a clause is necessary in order to make clear the purpose of Title VI.

## APPENDIX C

### CLAUSES FOR TRANSFER OF REAL PROPERTY ACQUIRED OR IMPROVED UNDER THE ACTIVITY, FACILITY, OR PROGRAM

The following clauses will be included in deeds, licenses, leases, permits, or similar instruments entered into by the GDOT pursuant to the provisions of Assurance 7(a):

- A. The (grantee, lessee, permittee, etc. as appropriate) for himself/herself, his/her heirs, personal representatives, successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agree [in the case of deeds and leases add "as a covenant running with the land"] that:
  - 1. In the event facilities are constructed, maintained, or otherwise operated on the property described in this (deed, license, lease, permit, etc.) for a purpose for which a U.S. Department of Transportation activity, facility, or program is extended or for another purpose involving the provision of similar services or benefits, the (grantee, licensee, lessee, permittee, etc.) will maintain and operate such facilities and services in compliance with all requirements imposed by the Acts and Regulations (as may be amended) such that no person on the grounds of race, color, or national origin, will be excluded from participation in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities.
- B. With respect to licenses, leases, permits, etc., in the event of breach of any of the above Non-discrimination covenants, GDOT will have the right to terminate the (lease, license, permit, etc.) and to enter, re-enter, and repossess said lands and facilities thereon, and hold the same as if the (lease, license, permit, etc.) had never been made or issued.\*
- C. With respect to a deed, in the event of breach of any of the above Non-discrimination covenants, the GDOT will have the right to enter or re-enter the lands and facilities thereon, and the above described lands and facilities will there upon revert to and vest in and become the absolute property of the GDOT and its assigns.\*

(\*Reverter clause and related language to be used only when it is determined that such a clause is necessary to make clear the purpose of Title VI.)

## APPENDIX D

### CLAUSES FOR CONSTRUCTION/USE/ACCESS TO REAL PROPERTY ACQUIRED UNDER THE ACTIVITY, FACILITY OR PROGRAM

The following clauses will be included in deeds, licenses, permits, or similar instruments/agreements entered into by GDOT pursuant to the provisions of Assurance 7(b):

- A. The (grantee, licensee, permittee, etc., as appropriate) for himself/herself, his/her heirs, personal representatives, successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agree (in the case of deeds and leases add, "as a covenant running with the land") that (1) no person on the ground of race, color, or national origin, will be excluded from participation in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities, (2) that in the construction of any improvements on, over, or under such land, and the furnishing of services thereon, no person on the ground of race, color, or national origin, will be excluded from participation in, denied the benefits of, or otherwise be subjected to discrimination, (3) that the (grantee, licensee, lessee, permittee, etc.) will use the premises in compliance with all other requirements imposed by or pursuant to the Acts and Regulations, as amended, set forth in this Assurance.
- B. With respect to (licenses, leases, permits, etc.), in the event of breach of any of the above Non-discrimination covenants, GDOT will have the right to terminate the (license, permit, etc., as appropriate) and to enter or re-enter and repossess said land and the facilities thereon, and hold the same as if said (license, permit, etc., as appropriate) had never been made or issued.\*
- C. With respect to deeds, in the event of breach of any of the above Non-discrimination covenants, GDOT will there upon revert to and vest in and become the absolute property of GDOT and its assigns.\*

(\*Reverter clause and related language to be used only when it is determined that such a clause is necessary to make clear the purpose of Title VI.)

## APPENDIX E

During the performance of this contract, the contractor, for itself, its assignees, and successors in interest (hereinafter referred to as the "contractor") agrees to comply with the following non-discrimination statutes and authorities; including but not limited to:

### Pertinent Non-Discrimination Authorities:

- Title VI of the Civil Rights Act of 1964 (42 U.S.C. § 2000d et seq., 78 stat. 252), (prohibits discrimination on the basis of race, color, national origin); and 49 CFR Part 21.
- The Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, (42 U.S.C. § 4601), (prohibits unfair treatment of persons displaced or whose property has been acquired because of Federal or Federal-aid programs and projects);
- Federal-Aid Highway Act of 1973, (23 U.S.C. § 324 et seq.), (prohibits discrimination on the basis of sex);
- Section 504 of the Rehabilitation Act of 1973, (29 U.S.C. § 794 et seq.), as amended, (prohibits discrimination on the basis of disability); and 49 CFR Part 27;
- The Age Discrimination Act of 1975, as amended, (42 U.S.C. § 6101 et seq.), (prohibits discrimination on the basis of age);
- Airport and Airway Improvement Act of 1982, (49 USC § 471, Section 47123), as amended, (prohibits discrimination based on race, creed, color, national origin, or sex);
- The Civil Rights Restoration Act of 1987, (PL 100-209), (Broadened the scope, coverage and applicability of Title VI of the Civil Rights Act of 1964, The Age Discrimination Act of 1975 and Section 504 of the Rehabilitation Act of 1973, by expanding the definition of the terms "programs or activities" to include all of the programs or activities of the Federal-aid recipients, sub-recipients and contractors, whether such programs or activities are Federally funded or not);
- Titles II and III of the Americans with Disabilities Act, which prohibit discrimination on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities (42 U.S.C. §§ 12131-12189) as implemented by Department of Transportation regulations at 49 C.F.R. parts 37 and 38;
- The Federal Aviation Administration's Non-discrimination statute (49 U.S.C. § 47123) (prohibits discrimination on the basis of race, color, national origin, and sex);
- Executive Order 12898, Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations, which ensures Non-discrimination against minority populations by discouraging programs, policies, and activities with disproportionately high and adverse human health or environmental effects on minority and low-income populations;
- Executive Order 13166, Improving Access to Services for Persons with Limited English Proficiency, and resulting agency guidance, national origin discrimination includes discrimination because of Limited English proficiency (LEP). To ensure compliance with Title VI, you must take reasonable steps to ensure that LEP persons have meaningful access to your programs (70 Fed. Reg. at 74087 to 74100);

Title IX of the Education Amendments of 1972, as amended, which prohibits you from discriminating because of sex in education programs or activities (20 U.S.C. 1681 et seq).