



Mayor & City Council
Regular Meeting Agenda

Monday, June 10, 2024, 7:00 PM

Tucker City Hall

1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084

Members:

Frank Auman, Mayor
Roger W. Orlando, Council Member District 1, Post 1
Cara Schroeder, Council Member District 2, Post 1
Alexis Weaver, Council Member District 3, Post 1
Virginia Rece, Council Member District 1, Post 2
Amy Trocchi, Council Member District 3, Post 2
Vinh Nguyen, Council Member District 2, Post 2

Video: <https://www.tuckerga.gov/documents/>

Pages

A.	CALL TO ORDER	
B.	ROLL CALL	
C.	PLEDGE OF ALLEGIANCE	
	The pledge will be led by Tucker Middle School WyldLife Group.	
D.	MAYOR'S OPENING REMARKS	3
	<ul style="list-style-type: none">P24-06 Proclamation Recognizing Municipal Court Clerks Week June 10-14,2024	
E.	PUBLIC COMMENTS	
F.	EXECUTIVE SESSION - As required for personnel, real estate and litigation	
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H.	APPROVAL OF THE AGENDA	
I.	CONSENT AGENDA	
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J. STAFF REPORTS

J.1 Economic Development Pitch Deck Contract Award 54

K. OLD BUSINESS

K.1 Ordinance O2024-05-07 Matthew.Couper- 112
Gardner

- Second Read and public hearing of an Ordinance for a special land use permit (SLUP-24-0002) and concurrent variances (CV-24-0001; CV-24-0002) for a drive-through restaurant at 4800 Briarcliff Road, NE for applicant Jim ‘N Nick’s Management, LLC.

K.2 Ordinance O2024-05-08 John.McHenry 208

- Second Read and public hearing on an Ordinance to adopt a budget for the Fiscal Year 2025

L. NEW BUSINESS

L.1 Ordinance O2024-06-09 Beverly.Hilton 266

- First Read and public hearing on an Ordinance to levy a tax on property subject to taxation.

L.2 Ordinance O2024-06-10 Courtney.Smith 275

- First Read and public hearing of an Ordinance to consider a 12-month time extension or a termination of SLUP-22-0001, which was approved on May 9, 2022 per O2022-02-36.

M. MAYOR AND COUNCIL COMMENTS

N. ADJOURNMENT

- Motion to adjourn meeting



Proclamation

In recognition of Municipal Court Clerks Week
June 10-14, 2024

Whereas, the City of Tucker Municipal Court Clerks serve as a critical information resource to judges, solicitors, defense counsel, and defendants and play a significant role in providing access to justice, preserving public safety, and promoting quality of life in Georgia; and

Whereas, more people encounter Municipal Court Clerks than all other court personnel in Georgia and the public impression of the entire Georgia judicial system is largely dependent upon the public’s experience with municipal courts; and

Whereas, the City of Tucker Municipal Court Clerks have pledged to be ever mindful of their neutrality and impartiality, rendering equal service to all, and in further service have trained and/or will be trained to become CPR certified; and

Whereas, it is most appropriate that we recognize the accomplishments of our City of Tucker Municipal Court Clerks Danielle Greene, Rachel Branigan, Lizzet Ramirez, and Diana Flores

Now, therefore let it be proclaimed, by the Mayor and City Council of the City of Tucker that the week of June 10-14, 2024 is recognized as Municipal Court Clerks Week.

In witness whereof, I have hereunto set my hand and caused the Seal of the City of Tucker to be affixed this June 10, 2024.

Attest:

Frank Auman, Mayor

Bonnie Warne, City Clerk



**MAYOR & CITY COUNCIL
REGULAR MEETING MINUTES**

**Monday, May 13, 2024, 7:00 PM
Tucker City Hall
1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084**

Members Present: Frank Auman, Mayor
Roger W. Orlando, Council Member District 1, Post 1
Cara Schroeder, Council Member District 2, Post 1
Alexis Weaver, Council Member District 3, Post 1
Virginia Rece, Council Member District 1, Post 2
Amy Trocchi, Council Member District 3, Post 2
Vinh Nguyen, Council Member District 2, Post 2

Video: <https://www.tuckerga.gov/documents/>

A. CALL TO ORDER

Mayor Auman called the meeting to order at 7:00 PM.

B. ROLL CALL

The above were in attendance for a quorum.

C. PLEDGE OF ALLEGIANCE

The pledge was led by the all girl BSA Troop 129.

D. MAYOR'S OPENING REMARKS

Mayor Auman presented a small replica sign of the interchange sign in DeKalb County, at US-78 (Exit 4) and Mountain Industrial Boulevard, which was dedicated as the Senator Stephen B. Henson Interchange.

E. PUBLIC COMMENTS

Public comments were heard from seven citizens.

F. APPROVAL OF THE AGENDA

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to approve the agenda as presented passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

G. CONSENT AGENDA

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to approve the consent agenda items G - G.4 passed unanimously as presented.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

- G.1 Regular Meeting Minutes - April 8, 2024
- G.2 Regular Meeting Minutes - April 22, 2024
- G.3 Contract C2023-016-TO19-PO24-720 Stormwater Repairs – 2975 Pine Orchard Drive
- G.4 Contract C2023-016-TO20-PO24-721 Stormwater Repairs – 3928 Northlake Creek Drive

H. PRESENTATIONS

- H.1 General Assembly Update from ConnectSouth.
Edens Davis and Bob Trammell gave an update and highlights from the Georgia General Assembly 2024.

I. STAFF REPORTS

- I.1 Finance Department: March 2024 Interim Financials
Beverly Hilton, Finance Director, gave a presentation on the Revenue and Expenditure Report for Period Ended March 31, 2024.
- I.2 City Manager: Report on Upcoming Agenda Items
John McHenry, City Manager, spoke on the tentative list of potential agenda items for upcoming meetings.
- I.3 City Manager: FY25 Budget Update
John McHenry, City Manager, spoke on the upcoming milestones as we proceed towards adoption of the FY 25 Budget.

J. OLD BUSINESS

- J.1 Contract C2022-018-TO17-PO24-705
Ken Hildebrandt, City Engineer, spoke on contract C2022-018-TO17-PO24-705 for the Montreal Road Sidewalk Design Task Order. Sidewalks will be designed for the west side of Montreal Road from Lavista Road to the CSX grade crossing, on the east side from Montreal Industrial Way to the grade crossing, and on the south side of Montreal Industrial Way from Montreal Road to the end. Recommendation to award contract to Keck & Wood for \$94,890.

MOVER: C. Schroeder

SECONDER: F. Auman

Motion to approve contract C2022-018-TO17-PO24-705 to Keck & Wood passed unanimously in favor.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

K. NEW BUSINESS

K.1 Ordinance O2024-05-07

Matthew Couper-Gardner, City Planner, spoke on the first read of an ordinance for a special land use permit (SLUP-24-0002) and concurrent variances (CV-24-0001; CV-24-0002) for a drive-through restaurant at 4800 Briarcliff Road, NE for applicant Jim ‘N Nick’s Management, LLC. The applicant and engineer gave a presentation.

The Mayor opened a public hearing. The speaker time is 10 minutes for those in favor and those in opposition for the three applications for 30 minutes each side. The applicant and engineer spoke in favor and one citizen spoke in opposition. The public hearing was closed for the first read of the ordinance.

FIRST READ

K.2 IGA-2024-05-PFA

Jackie Moffo, Economic Development Director, spoke on the IGA for Leased Parking. As Tucker’s downtown continues to grow more successful and attract new tenants to Main Street, the demand for parking has increased. Tucker’s downtown businesses have also added employees, creating the need to address employee parking. Since 2021, the City of Tucker has been working close with the Tucker First Baptist Church Pastor and Board of Trustees discussing shared parking options. After negotiations, Tucker First Baptist Church has come to an agreement with the Tucker Public Facilities Authority which includes the parking lot improvements of parking lot resurfacing and re-striping on the Tucker First Baptist Church property in exchange for 101 shared parking spots for five-and-a-half-years. Staff recommends that the Mayor and City Council approve the IGA with the Tucker Public Facilities Authority.

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to approve the Intergovernmental Agreement between the City of Tucker and the Tucker Public Facilities Authority IGA-2024-05-PFA for a leased parking agreement for 101 parking spaces with First Baptist Church passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

K.3 Contract C2024-006-PO24-732

Jackie Moffo, Economic Development Director, spoke on the bid for the Downtown Parking Lot Resurfacing Project. To move forward with the lease agreement with Tucker First Baptist Church, the City of Tucker must provide the agreed upon parking lot improvements for Tucker First Baptist Church. The scope of the project includes milling and resurfacing, and the installation of striping and signage at the First Baptist Church parking lot located at 5073 Lavista Road. Additionally, minor pothole patching will be done at the parking lot at 2380 Church Street. Nine bids were received. Recommendation that the contract be awarded to the lowest responsive bidder, The Surface Masters, for \$86,291.67.

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to approve contract C2024-006-PO24-732 to The Surface Masters passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

L. MAYOR AND COUNCIL COMMENTS

The Mayor and Council thanked everyone for attending.

M. EXECUTIVE SESSION

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to enter into Executive Session for the purpose of personnel, real estate and litigation at 9:44 PM passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

MOVER: A. Weaver

SECONDER: V. Rece

Motion to exit Executive Session and return to the regular meeting at 11:51 PM passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

N. ACTION AFTER EXECUTIVE SESSION

None

O. ADJOURNMENT

MOVER: C. Schroeder

SECONDER: R. Orlando

Motion to adjourn meeting at 11:52 PM passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

APPROVED: Frank Auman, Mayor

ATTEST: Bonnie Warne, Clerk

Date Approved



MAYOR & CITY COUNCIL
SPECIAL CALLED MEETING MINUTES

Monday, May 20, 2024, 6:00 PM
Tucker City Hall
1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084

Members Present: Frank Auman, Mayor
Roger W. Orlando, Council Member District 1, Post 1
Cara Schroeder, Council Member District 2, Post 1
Alexis Weaver, Council Member District 3, Post 1
Virginia Rece, Council Member District 1, Post 2
Amy Trocchi, Council Member District 3, Post 2
Vinh Nguyen, Council Member District 2, Post 2

Video: <https://www.tuckerga.gov/documents/>

A. CALL TO ORDER

Mayor Auman called the meeting to order at 6:00 PM.

B. ROLL CALL

The above were in attendance for a quorum. Councilmember A. Trocchi attended by Zoom due to being out of district.

C. MAYOR'S OPENING REMARKS

Mayor Auman mentioned that tomorrow is Election Day.

C.1 Proclamation P24-05 National Public Works Week May 19-25, 2024

Mayor Auman read the Proclamation recognizing Public Works Week on May 19-25, 2024 into the minutes.

D. NEW BUSINESS

D.1 FY25 Budget Workshop

City Manager John McHenry led the discussion of the FY25 Budget.

E. ADJOURNMENT

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to adjourn meeting at 8:37 PM passed unanimously.

AYES: (7): F. Auman, R. Orlando, C. Schroeder, A. Weaver, V. Rece, A. Trocchi, and V. Nguyen

APPROVED (7 to 0)

APPROVED: Frank Auman, Mayor

ATTEST: Bonnie Warne, Clerk

Date Approved



**MAYOR & CITY COUNCIL
REGULAR MEETING MINUTES**

**Tuesday, May 28, 2024, 7:00 PM
Tucker City Hall
1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084**

Members Present: Frank Auman, Mayor
Roger W. Orlando, Council Member District 1, Post 1
Cara Schroeder, Council Member District 2, Post 1
Virginia Rece, Council Member District 1, Post 2
Amy Trocchi, Council Member District 3, Post 2
Vinh Nguyen, Council Member District 2, Post 2

Members Absent: Alexis Weaver, Council Member District 3, Post 1

Video: <https://www.tuckerga.gov/documents/>

A. CALL TO ORDER

Mayor Auman called the meeting to order at 7:00 PM.

B. ROLL CALL

The above were in attendance for a quorum. Councilmember A. Weaver was absent. Motion by Councilmembers A. Trocchi and R. Orlando to excuse her absence.

C. PLEDGE OF ALLEGIANCE

D. MAYOR'S OPENING REMARKS

E. APPROVAL OF THE AGENDA

MOVER: V. Rece

SECONDER: C. Schroeder

Motion to approve the agenda as presented.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, V. Rece, A. Trocchi, and V. Nguyen

ABSENT: (1): A. Weaver

APPROVED (6 to 0)

F. CONSENT AGENDA

MOVER: C. Schroeder

SECONDER: V. Rece

Motion to approve the consent agenda F.1 as presented.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, V. Rece, A. Trocchi, and V. Nguyen

ABSENT: (1): A. Weaver

APPROVED (6 to 0)

F.1 Contract Amendment: Town Green Sanitation Design C2023-PO23-00443-AMD-002

G. PRESENTATIONS

G.1 Status Update on Downtown Town Green

Mayor Auman gave an update on the Downtown Town Green.

H. STAFF REPORTS

H.1 Finance Director - April 2024 Interim Financials

Finance Director Beverly Hilton spoke on the April 2024 Interim Financials.

I. NEW BUSINESS

I.1 Ordinance O2024-05-08

City Manager John McHenry and Finance Director Beverly Hilton spoke on the first read of an Ordinance to Adopt a Budget for Fiscal Year 2025, mentioning changes since Draft #2 Budget.

The FY25 Budget Includes a Compensation Study:

- Per the City Charter, the City Manager has the responsibility to set the salaries and compensation for personnel upon the adoption by the City Council. Shared draft document.
- Ranges based on external market data – neighboring Jurisdictions.
- Evaluated the proposal against our current salaries which reflected regional trends.
- Meeting Fair Labor Standard Act classification/exemption requirements.

Discussion on the Property Tax Millage Rate – Proposed Rollback

- The rollback rate is 2.096 from last year’s 2.284.
- Revenue at 2.284 mills is \$7,043,133.
- Revenue at 2.096 mills is \$6,463,400.
- The rollback rate produces slightly less revenue than the \$6,550,000 previously budgeted.

Mayor Auman held a public hearing, which nobody spoke in favor or opposition.

FIRST READ

MOVER: F. Auman

SECONDER: R. Orlando

Motion for staff to advertise the 2024 Property Tax Millage Rate for the City of Tucker in accordance with how the term rollback rate is defined in O.C.G.A. 48-5-32.1.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, V. Rece, A. Trocchi, and V. Nguyen

ABSENT: (1): A. Weaver

APPROVED (6 to 0)

J. MAYOR AND COUNCIL COMMENTS

K. EXECUTIVE SESSION

MOVER: C. Schroeder

SECONDER: V. Nguyen

Motion to enter into Executive Session for the purpose of personnel, real estate and litigation at 7:43 PM passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, V. Rece, A. Trocchi, and V. Nguyen

ABSENT: (1): A. Weaver

APPROVED (6 to 0)

MOVER: V. Rece

SECONDER: C. Schroeder

Motion to exit Executive Session and return to the regular meeting at 9:00 PM passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, V. Rece, A. Trocchi, and V. Nguyen

ABSENT: (1): A. Weaver

APPROVED (6 to 0)

L. ACTION AFTER EXECUTIVE SESSION

None

M. ADJOURNMENT

MOVER: V. Rece

SECONDER: C. Schroeder

Motion to adjourn meeting at 9:01 PM passed unanimously.

AYES: (6): F. Auman, R. Orlando, C. Schroeder, V. Rece, A. Trocchi, and V. Nguyen

ABSENT: (1): A. Weaver

APPROVED (6 to 0)

APPROVED: Frank Auman, Mayor

ATTEST: Bonnie Warne, Clerk

Date Approved



City of Tucker

MEMO

To: Honorable Mayor and City Council Members
From: Rip Robertson, Director, Parks & Recreation
CC: John McHenry, City Manager
Date: May 21, 2024
RE: Memo for Consideration of contract amendment approval for the Fitzgerald Park Phase 2 Improvements – C2023-002-AMD-003

Contract/Document Number: C2023-002-AMD-003

Description for on the Agenda:

- Consideration of contract amendment approval for the Fitzgerald Park Phase 2 Improvements – C2023-002-AMD-003

Issue:

Construction is continuing to upgrade the fields and facilities at Fitzgerald Park. This phase will create a quality sports complex for our youth and adult athletic programs, a location for high-level league play in numerous sports as well as be a destination for designated tournaments. These types of projects do have issues arise during construction that were unexpected and dictate corrections or additional work.

Recommendation:

Staff recommends approval of the contract amendment with Vertical Earth for \$25,396.72 to remediate soil at retaining wall sites, an additional stormwater junction box and concrete curbing. There is also a \$4,043.77 demolition credit for work previously completed.

Background:

The city acquired Fitzgerald Park in early 2019. This acquisition fulfilled a recommendation in our Parks and Recreation Master Plan for a much-needed spots complex. The park had deferred maintenance and the city committed to upgrades and renovations as part of the no-cost acquisition.

The city completed the infrastructure (water/sewer) replacement in June 2023 and has moved forward with the much-needed improvements to the remaining infrastructure (stormwater, ingress/egress, electrical and lighting), field and facility upgrades and replacement.

These Change Orders pertain to Field 2, which is the lowest point in the park. Field 2 provides the best area necessary to create the main field as part of the City's Sports Complex. Due to excessive amounts of rain since the start of this phase of the project, Field 2 has become saturated. This will be remedy once the stormwater system is completed and functioning properly.

Change Order #5:

This is a credit to the city due to the removal of fencing and dug outs on Field 4 prior to the work beginning for Vertical Earth. They were removed as part of work completed by OPTECH as part of some

fieldwork being done.

Change Order #6:

These small retaining walls are part of the turf field installation on Field 2. The issue is the saturated (unsuitable) soil on Field 2. The contractor had to remove the soil, add stone and new dirt to create a suitable base for the retaining walls. This step is in addition to the scoped work included in the project.

Change Order #8:

This retaining wall is on the entrance road at the corner of Field 1 and 2. Again the issue is the saturated (unsuitable) soil in this area due to the excessive rain during this period. The contractor had to remove the soil, add stone and new dirt to create a suitable base for the retaining walls. This step is in addition to the scoped work included in the project.

Change Order #9:

The “junction box” was added to prevent the storm water from emptying into a resident’s back yard. Although we do possess a stormwater easement for this and was the reason for the engineered design, the resident has added significant work and landscaping in her yard, and we were trying to mitigate the runoff at this particular area. We were able to add a small junction box in the new stormwater pipe along the outer entrance road and collect the small amount of water from a single drop inlet.

The additional concrete changes are for rolled curbing crossing the stream between Fields 2 and 3. The original design called for asphalt only. There was curbing designed for this area to allow for any possible overflow of the road during significant rain events, which is normal. The contractor asked for a change to the scope to include rolled curbing to eliminate further maintenance as the asphalt ages. The additional curbing will give the asphalt a permanent edge and will help decrease the asphalt crumbling as drivers cross the stream. This was a field adjustment and still allows for the overflow possibility.

Summary:

This phase includes renovation and upgrade to all key elements of this vital venue; electrical service, lighting, turf to include one artificial field, restroom and concession facilities on field 2, scoreboards and/or video boards, entrance, exit and parking.

Financial Impact:

This project is funded in the Department’s CIP and includes funding from several General Fund and SPLOST FY’s.

To amend the Original Contract to be \$4,341,298.78. This is an increase of \$25,396.72 from the total amount of the original contract as amended by the first and second change order and includes the following change orders:

- o Change Order 5 (Credit): \$(4,043.77)
- o Change Order 6 \$ 8,102.66
- o Change Order 8 \$10,908.16
- o Change Order 9 \$10,429.67



CONTRACT AMENDMENT AGREEMENT

C2023-022-AMD-003

This CONTRACT AMENDMENT AGREEMENT (“Amendment”) is dated _____ day of _____, in the year 20____ (the “effective Date”), by and between the City of Tucker, GA located at 1975 Lakeside Parkway, Suite 350, Tucker, GA 30084, and VERTICAL EARTH INC. located at 6025 Matt Highway, Cumming, GA 30028 (collectively, the “Parties”).

WHEREAS the Parties entered into ITB #2023-022 agreement on August 8, 2023 (date of original contract).

WHEREAS the Parties hereby agree to amend the Original Contract in accordance with the terms of the Original Contract as well as the terms provided herein.

In consideration of the mutual covenants contained herein, the Parties mutually covenant and agree as follows:

- * The Original Contract, which is attached hereto, contained a limited scope. Additional work has been added to that scope per the attached documentation and agreed upon by both parties.
- * The Parties agree to amend the Original Contract to be \$4,341,298.78. This is an increase of \$25,396.72 from the total amount of the original contract as amended by the first and second change order and includes the following change orders:
 - o Change Order 5 (Credit): \$(4,043.77)
 - o Change Order 6 \$ 8,102.66
 - o Change Order 8 \$10,908.16
 - o Change Order 9 \$10,429.67
- * The amendment binds and benefits both Parties and any successors or assigns. This document, including the attached Original Contract, is the entire agreement between the Parties.

All other terms and conditions of the Original Contract remain unchanged.

This agreement shall be signed by:

City of Tucker

Name

Title

Date

SEAL

VERTICAL EARTH, INC.

Name

Title

Date

Attested by:

Ted Baggett, City Attorney



Change Proposal Request No.: 5

CHANGE ORDER PROPOSAL

Project Name: <u>Fitzgerald Park Improvements Phase 2</u>	Project No. _____
Location: <u>4877 Lawrenceville Hwy</u>	Date: <u>12/13/2023</u>
GC: <u>Tucker, GA</u>	Drawing No. _____
Engineer: <u>Keck N Wood</u>	Spec. Section _____

Reference: RFP No.: _____ Work Directive No.: _____ Field Order No.: _____ Other _____
 Description:

Demolition Credit for City of Tucker

- 1. LABOR (See attached itemized breakdown) (\$403.20)
- 2. MATERIALS (See attached itemized breakdown) \$0.00
- 3. EQUIPMENT/OTHER (See attached itemized breakdown) (\$3,068.00)
- 4. TIME EXTENSION FIELD COSTS** 0 DAYS @ \$0.00 PER DAY \$0.00
- 5. SUB-TOTAL DIRECT WORK (\$3,471.20)
- 6. OVERHEAD & PROFIT ON DIRECT WORK 15% (\$520.68)
- 7. TOTAL DIRECT WORK (\$3,991.88)

SUBCONTRACTORS

NAME	DESCRIPTION	INVOICE/PROPOSAL DATE	
City of Tucker	Conducting demolition of field 2 building and dugouts		\$0.00

- 8. SUB-TOTAL SUBCONTRACTOR WORK: \$0.00
- 9. OVERHEAD & PROFIT ON SUBCONTRACTOR WORK 15% \$0.00
- 10. TOTAL SUBCONTRACTOR WORK \$0.00
- 11. SUB-TOTAL DIRECT AND SUBCONTRACTOR WORK (\$3,991.88)
- 12. BOND & INSURANCE: 1.30% of subtotal # 11 (\$51.89)
- 13. TOTAL CHANGE PROPOSAL REQUEST (\$4,043.77)

Reviewed By: *Socha Gutel* Date: 13 Dec 23

** Schedule impact indeterminate at this time. The contractor reserves its rights to a time extension and extended field costs due to the cumulative effect of changes.

Accepted By: _____ Date: _____



Change Proposal
Request
No.:

6

CHANGE ORDER PROPOSAL

Project Name: Fitzgerald Park Improvements Phase II
 Location: Tucker, GA
 GC: Vertical Earth, Inc.
 Engineer: Keck N Wood

Project No. 23033-31
 Date 1/3/2024
 Drawing No. _____
 Spec. Section _____

Small retaining walls on Field 2: remove saturated (unsuitable) soil, add stone and new dirt to create a suitable base for the retaining walls.

1. LABOR (See attached itemized breakdown)		\$1,820.00
2. MATERIALS (See attached itemized breakdown)		\$5,121.67
3. EQUIPMENT/OTHER (See attached itemized breakdown)		\$0.00
4. TIME EXTENSION FIELD COSTS**	<input type="text" value="0"/> DAYS @ <input type="text" value="\$0.00"/> PER DAY	\$0.00
5. SUB-TOTAL DIRECT WORK		\$6,941.67
6. OVERHEAD & PROFIT ON DIRECT WORK	<input type="text" value="15%"/>	\$1,041.25
7. TOTAL DIRECT WORK		\$7,982.92

SUBCONTRACTORS

NAME	DESCRIPTION	INVOICE/PROPOSAL DATE

8. SUB-TOTAL SUBCONTRACTOR WORK:		\$0.00
9. OVERHEAD & PROFIT ON SUBCONTRACTOR WORK	<input type="text" value="15%"/>	\$0.00
10. TOTAL SUBCONTRACTOR WORK		\$0.00
11. SUB-TOTAL DIRECT AND SUBCONTRACTOR WORK		\$7,982.92
12. BOND & INSURANCE: <u>1.50%</u> of subtotal # 11		\$119.74
13. TOTAL CHANGE PROPOSAL REQUEST		\$8,102.66

Reviewed By: *Paulina Eichel* Date: 03 Jan 23

** Schedule impact indeterminate at this time. The contractor reserves its rights to a time extension and extended field costs due to the cumulative effect of changes.

Accepted By: _____ Date: _____

WORKSHEET SUMMARY

	Quantity	Rate	Unit	
MATERIAL COST				
A. Material (From take off worksheet)				\$4,273.75
B. Miscellaneous/Waste material		10.00%	of A	\$427.38
C. Freight		2.00%	of A	\$85.48
D. SUBTOTAL				\$4,786.61
E. Sales Tax		7.00%	of D	\$335.06
F. TOTAL MATERIAL				\$5,121.67
LABOR COST				
A. Labor (From takeoff worksheet)				\$1,625.00
B. Small Tools		2.00%	of Labor	\$32.50
C. Clean-up		2.00%	of Labor	\$32.50
D. Safety		2.00%	of Labor	\$32.50
E. Safety Training		2.00%	of Labor	\$32.50
F. Reproduction Costs				\$0.00
G. As-Built Drawings	0.00	\$73.00	HR	\$0.00
H. Warranty Work		2.00%	of Labor	\$32.50
I. Punch List		2.00%	of Labor	\$32.50
J. TOTAL LABOR				\$1,820.00
EQUIPMENT/OTHER				
A. Equipment (From take off worksheet)				\$0.00
B. Equipment Fuel Surcharge		2%	of Equipment	\$0.00
C. Assigned Equipment		2%	of Equipment	\$0.00
D. Other (From take off worksheet)				\$0.00
E. TOTAL EQUIPMENT/OTHER				\$0.00

TIME ANALYSIS

SCHEDULE IMPACT NARRATIVE:

the testing required an impact for the wall timeline. Each soil testing analysis took 2 days to return. Then to remediate soils for wall back fill required the import of new materials before the process could be completed. These walls were a part of the critical path for the project. Time delay for change order approval is to be determined.

Impact Days  6



Change Proposal
Request
No.: 8

CHANGE ORDER PROPOSAL

Project Name: Fitzgerald Park Improvements Phase II
 Location: Tucker, GA
 GC: Vertical Earth, Inc.
 Engineer: Keck N Wood

Project No. 23033-31
 Date 1/31/2024
 Drawing No. _____
 Spec. Section _____

Retaining wall on the entrance road: remove saturated (unsuitable) soil, add stone and new dirt to create a suitable base for the entrance road retaining wall.

1. LABOR (See attached itemized breakdown)		\$1,260.00
2. MATERIALS (See attached itemized breakdown)		\$5,641.18
3. EQUIPMENT/OTHER (See attached itemized breakdown)		\$2,444.00
4. TIME EXTENSION FIELD COSTS**.....	<input type="text" value="0"/> DAYS @ <input type="text" value="\$0.00"/> PER DAY.....	\$0.00
5. SUB-TOTAL DIRECT WORK		\$9,345.18
6. OVERHEAD & PROFIT ON DIRECT WORK.....	<input type="text" value="15%"/>	\$1,401.78
7. TOTAL DIRECT WORK		\$10,746.96

SUBCONTRACTORS

NAME	DESCRIPTION	INVOICE/PROPOSAL DATE

8. SUB-TOTAL SUBCONTRACTOR WORK:		\$0.00
9. OVERHEAD & PROFIT ON SUBCONTRACTOR WORK.....	<input type="text" value="15%"/>	\$0.00
10. TOTAL SUBCONTRACTOR WORK.....		\$0.00
11. SUB-TOTAL DIRECT AND SUBCONTRACTOR WORK.....		\$10,746.96
12. BOND & INSURANCE: <u>1.50%</u> of subtotal # 11		\$161.20
13. TOTAL CHANGE PROPOSAL REQUEST.....		\$10,908.16

Reviewed By: *Joshua Eddel* Date: 31 Jan 24

** Schedule impact indeterminate at this time. The contractor reserves its rights to a time extension and extended field costs due to the cumulative effect of changes.
 Accepted By: _____

Date: _____

WORKSHEET SUMMARY

	Quantity	Rate	Unit	
MATERIAL COST				
A. Material (From take off worksheet)				\$4,707.25
B. Miscellaneous/Waste material		10.00%	of A	\$470.73
C. Freight		2.00%	of A	\$94.15
D. SUBTOTAL				\$5,272.13
E. Sales Tax		7.00%	of D	\$369.05
F. TOTAL MATERIAL				\$5,641.18
LABOR COST				
A. Labor (From takeoff worksheet)				\$1,125.00
B. Small Tools		2.00%	of Labor	\$22.50
C. Clean-up		2.00%	of Labor	\$22.50
D. Safety		2.00%	of Labor	\$22.50
E. Safety Training		2.00%	of Labor	\$22.50
F. Reproduction Costs				\$0.00
G. As-Built Drawings	0.00	\$73.00	HR	\$0.00
H. Warranty Work		2.00%	of Labor	\$22.50
I. Punch List		2.00%	of Labor	\$22.50
J. TOTAL LABOR				\$1,280.00
EQUIPMENT/OTHER				
A. Equipment (From take off worksheet)				\$2,350.00
B. Equipment Fuel Surcharge		2%	of Equipment	\$47.00
C. Assigned Equipment		2%	of Equipment	\$47.00
D. Other (From take off worksheet)				\$0.00
E. TOTAL EQUIPMENT/OTHER				\$2,444.00

TAKE OFF WORKSHEET

ITEM	DESCRIPTION	QTY.	UNIT	MATERIAL		LABOR		EQUIPMENT		OTHER	
				UNIT COST	TOTAL COST	LABOR RATE	TOTAL COST	UNIT COST	TOTAL COST	UNIT	TOTAL COST
1	57 stone imported for wall backfill material	157	ton	\$ 24.25	\$ 3,807.25						
3	export unsuitable soil from jobsite	9	hr			\$ 125.00	\$ 1,125.00				
4	export unsuitable soils recycling cost	9	lds	\$ 100.00	\$ 900.00						
5	Excavator for wall soil remediation	1	day					\$ 2,350.00	\$ 2,350.00		
					\$ 4707.25		\$ 1,125.00		\$ 2,350.00		

TIME ANALYSIS

SCHEDULE IMPACT NARRATIVE:

The wall soil was found to be an issue on 1/30 during wall excavation to set the foundation stones. The Remediation team is already on site and ready to proceed. This should not detract from the timeline.

Impact Days



Change Proposal Request No.: 9

CHANGE ORDER PROPOSAL

Project Name: <u>Fitzgerald Park Improvements Phase II</u>	Project No. <u>23033-31</u>
Location: <u>Tucker, GA</u>	Date <u>4/26/2024</u>
GC: <u>Vertical Earth, Inc.</u>	Drawing No. _____
Engineer: <u>Keck N Wood</u>	Spec. Section _____

Additional stormwater junction box added to divert runoff to empty further downstream without impacting residents.

Additional concrete changes are for rolled curbing crossing the stream between Fields 2 and 3. Change to include rolled curbing to eliminate future maintenance on asphalt edges as it ages.

1. LABOR (See attached itemized breakdown)	\$0.00
2. MATERIALS (See attached itemized breakdown)	\$3,710.25
3. EQUIPMENT/OTHER (See attached itemized breakdown)	\$5,225.00
4. TIME EXTENSION FIELD COSTS** 0 DAYS @ \$0.00 PER DAY	\$0.00
5. SUB-TOTAL DIRECT WORK	\$8,935.25
6. OVERHEAD & PROFIT ON DIRECT WORK..... 15%	\$1,340.29
7. TOTAL DIRECT WORK	\$10,275.54
SUBCONTRACTORS	
NAME	DESCRIPTION
	INVOICE/PROPOSAL DATE
8. SUB-TOTAL SUBCONTRACTOR WORK:	
\$0.00	
9. OVERHEAD & PROFIT ON SUBCONTRACTOR WORK..... 15%	\$0.00
10. TOTAL SUBCONTRACTOR WORK.....	\$0.00
11. SUB-TOTAL DIRECT AND SUBCONTRACTOR WORK.....	\$10,275.54
12. BOND & INSURANCE: <u>1.50%</u> of subtotal # 11	\$154.13
13. TOTAL CHANGE PROPOSAL REQUEST.....	\$10,429.67

Reviewed By: *Rasha Ewold* Date: *26 APR 24*

** Schedule Impact Indeterminate at this time. The contractor reserves its rights to a time extension and extended field costs due to the cumulative effect of changes.

Accepted By: _____ Date: _____

WORKSHEET SUMMARY

	Quantity	Rate	Unit	
MATERIAL COST				
A. Material (From take off worksheet)				\$3,096.00
B. Miscellaneous/Waste material		10.00%	of A	\$309.60
C. Freight		2.00%	of A	\$61.92
D. SUBTOTAL				\$3,467.52
E. Sales Tax		7.00%	of D	\$242.73
F. TOTAL MATERIAL				\$3,710.25
LABOR COST				
A. Labor (From takeoff worksheet)				\$0.00
B. Small Tools		2.00%	of Labor	\$0.00
C. Clean-up		2.00%	of Labor	\$0.00
D. Safety		2.00%	of Labor	\$0.00
E. Safety Training		2.00%	of Labor	\$0.00
F. Reproduction Costs				\$0.00
G. As-Built Drawings	0.00	\$73.00	HR	\$0.00
H. Warranty Work		2.00%	of Labor	\$0.00
I. Punch List		2.00%	of Labor	\$0.00
J. TOTAL LABOR				\$0.00
EQUIPMENT/OTHER				
A. Equipment (From take off worksheet)				\$0.00
B. Equipment Fuel Surcharge		2%	of Equipment	\$0.00
C. Assigned Equipment		2%	of Equipment	\$0.00
D. Other (From take off worksheet)				\$5,225.00
E. TOTAL EQUIPMENT/OTHER				\$5,225.00

Change Proposal
Request
No.: 9

TIME ANALYSIS

SCHEDULE IMPACT NARRATIVE:

Impact Days 0



City of Tucker

MEMO

To: Honorable Mayor and City Council Members
From: Ishri Sankar, Public Works Director
CC: John McHenry, City Manager
Date: June 4, 2024
RE: Memo for TO#15- Pipe Repair at 4652 Westhampton Circle

Contract # C2023-016-TO15-PO24-00746

Description for on the Agenda:

Approval of C2023-016-TO15-PO24-00746 Task Order #15 of FY 2024 Stormwater Repair Projects per the City's Procurement Policy for Pipe Repair at 4652 Westhampton Circle

Issue: A failed pipe in the city's extent of service needs to be repaired.

Recommendation:

Approval for Staff to Authorize Task Order #15 to Utility Asset Management for \$91,224.04.

Background:

The 150-foot stormwater pipe draining from Westhampton Circle has failure and needs to be repaired. Quotes were received from 2 of the 3 standby stormwater repair contractors engaged under RFP2023-016 using their unit prices and a not to exceed price was established. After review, staff recommends an award to Utility Asset Management, Inc.

Financial Impact:

Budget not to exceed \$91,224.04



**STORMWATER MAINTENANCE AND REPAIR
CONTRACT AGREEMENT (RFP 2023-016)
TASK ORDER #15**

STORM SYSTEM REPAIRS

This TASK ORDER between the parties is entered pursuant to the CONTRACT AGREEMENT (RFP #2023-016) and shall serve as authorization by the City of Tucker to UTILITY ASSET MANAGEMENT, INC. (“CONTRACTOR”) to perform the services described herein pursuant to the terms and conditions, mutual covenants and promises provided herein and in the CONTRACT AGREEMENT (RFP #2023-016). Now therefore, the parties agree as follows:

Location of Project:

1. 4652 Westhampton Circle, Tucker, GA 30084

Description of Services: The Contractor shall furnish all equipment, tools, skill, labor of every description, and all things necessary to carry out as delineated in “Exhibit A” (Scope of Work) and complete in a good, firm, substantial and workmanlike manner, the Work in strict conformity with the specifications which shall form an essential part of this agreement. Specific tasks to be completed under the scope of this TASK ORDER (the “WORK”) shall comply with the unit prices provided in the Contract Agreement (RFP #2023-016) with an established Not to Exceed total that the Contractor exceeds at its own risk.

CONTRACTOR Deliverables to CITY:

- Completed work per Exhibit A – SCOPE OF WORK

Design Specifications and Guidelines:

The fee to be paid pursuant to this task order shall be the total amount identified in Exhibit B as **\$79,325.28**. Provided, however, that upon a satisfactory showing of a legitimate contingency by contractor to the city, an additional amount covering such contingency up to no more than 15% of said fee may be paid, such that the total amount authorized for payment under this task order shall in no event exceed **\$91,224.04**.

General Scope of Service: The WORK under this TASK ORDER shall be commenced upon the Contractor’s receipt of the Notice to Proceed (“NTP”). The WORK shall be completed within 180 calendar days of the NTP. Specific tasks to be completed under the scope of this

agreement shall be at the direction of the City of Tucker Director of Public Works.

Itemized invoices delineating hours worked by each individual position in accordance with the fixed hourly rates for work done by each position as identified in “Exhibit B” (Cost Proposal) and the CONTRACT AGREEMENT (RFP #2023-016) shall be submitted by the CONTRACTOR via email to the director of public works. Invoices will be paid in arrears not more than once every 30 days.

Performance will be monitored to ensure compliance with the City’s expectations. The CONTRACTOR shall prepare a Schedule of Completion showing milestone completion dates based on completing the WORK within 180 calendar days of the NTP. A Status Report describing actual work accomplishments and percentage of completion shall be submitted with invoices. This report shall include a description of problem areas, current and anticipated delaying factors and their impact, explanations of corrective actions taken or planned, and any newly planned activities or changes in sequence.

The CONTRACTOR shall be responsible for the professional quality, technical accuracy, and coordination of interpreting any and all designs, drawings, specifications, and other services furnished by or on behalf of the City pursuant to this TASK ORDER. The CONTRACTOR shall correct or revise, or cause to be corrected or revised, any errors or deficiencies in the designs, drawings, specifications, and other services furnished for this TASK ORDER. All revisions shall be coordinated with the CITY prior to issuance. The CONTRACTOR shall also be responsible for any claim, damage, loss, or expense from the incorrect interpretation of provided designs, drawings, and specifications pursuant to this TASK ORDER.

The CONTRACTOR agrees that fees are earned pursuant to the WORK performed, which shall comply with the unit prices provided in the CONTRACT AGREEMENT (RFP #2023-016). Any work performed above the established Not to Exceed Fee shall be at the Contractor’s risk.

If the City in good faith determines that the CONTRACTOR has failed to perform or deliver any service or product as required, the CONTRACTOR shall not be entitled to any compensation under the Contract until such service or product is performed or delivered. In this event, the City may withhold that portion of the CONTRACTOR’S compensation which represents payment for services or products that were not performed or delivered. To the extent that the CONTRACTOR’S failure to perform or deliver in a timely manner causes the City to incur costs, the City may deduct the amount of such incurred costs from any amounts payable to CONTRACTOR. The City's authority to deduct such incurred costs shall not in any way affect the City's authority to terminate the Contract. If the CONTRACTOR owes the City any sum under the terms of the Contract, pursuant to any judgment, or pursuant to any law, the City may set off the sum owed to the City against any sum owed by the City to the CONTRACTOR in the City's sole discretion. The City intends to utilize federal ARPA funds for this project. Therefore, “Exhibit C” is attached and incorporated herein.

Attachments:

- EXHIBIT A – SCOPE OF WORK
- EXHIBIT B – COST PROPOSAL (in accordance with rates established in RFP 2023-016)

CITY OF TUCKER:

CONTRACTOR: UTILITY ASSET MANAGEMENT, INC.

By: _____

By: _____

Title: _____

Title: _____

Name: _____

Name: _____

Date: _____

Date: _____

Attest: _____

Bonnie Warne, City Clerk

(Seal)

Approved as to form:

Ted Baggett, City Attorney



FY 2024 Storm System Repairs, Task 15, 4652 Westhampton Circle

February 28, 2024

Request for Quote

The selected contractors are requested to provide a proposed unit price to not exceed amount based on the categories and unit prices provided per the contract for RFP 2023-016 to provide repairs at the aforementioned location.

The quote shall be generated based upon the categories and unit prices per the contract agreement associated with RFP 2023-016 between the City and the selected contractors and can be submitted to Jeff Mueller, Public Works Deputy Director via email at jmueller@tuckerga.gov.

The contractors are advised to visit the site. If you would like to have a meeting on site with Public Works staff, contact Jeff Mueller via email or at 470-714-8494.

Project Background

The 150 foot stormwater pipe draining from Westhampton Circle has failure and needs to be repaired.

The city will obtain all necessary easements and right of entries which may be necessary to execute the repair.

Scope of Work

1. Outfall of stormwater management system at 4652 Westhampton Circle.
2. Remove and replace downstream most 20 linear feet of 30" diameter metal pipe.
3. Remove and replace downstream headwall.
4. Trenchless repair (inlining) of approximately 150 linear feet of 30" diameter CMP pipe, existing and replaced -see accompanying exhibit.

The work required under this contract includes furnishing materials, qualified labor, equipment, traffic control, erosion control, and site restoration.

1. Remove and replace downstream most 20 linear feet of 30" diameter metal pipe.
2. Clean Existing Pipe System
3. Cured in place pipe inlining
4. Grout pipe connections at catch basin and headwall structures
5. Clean work area.



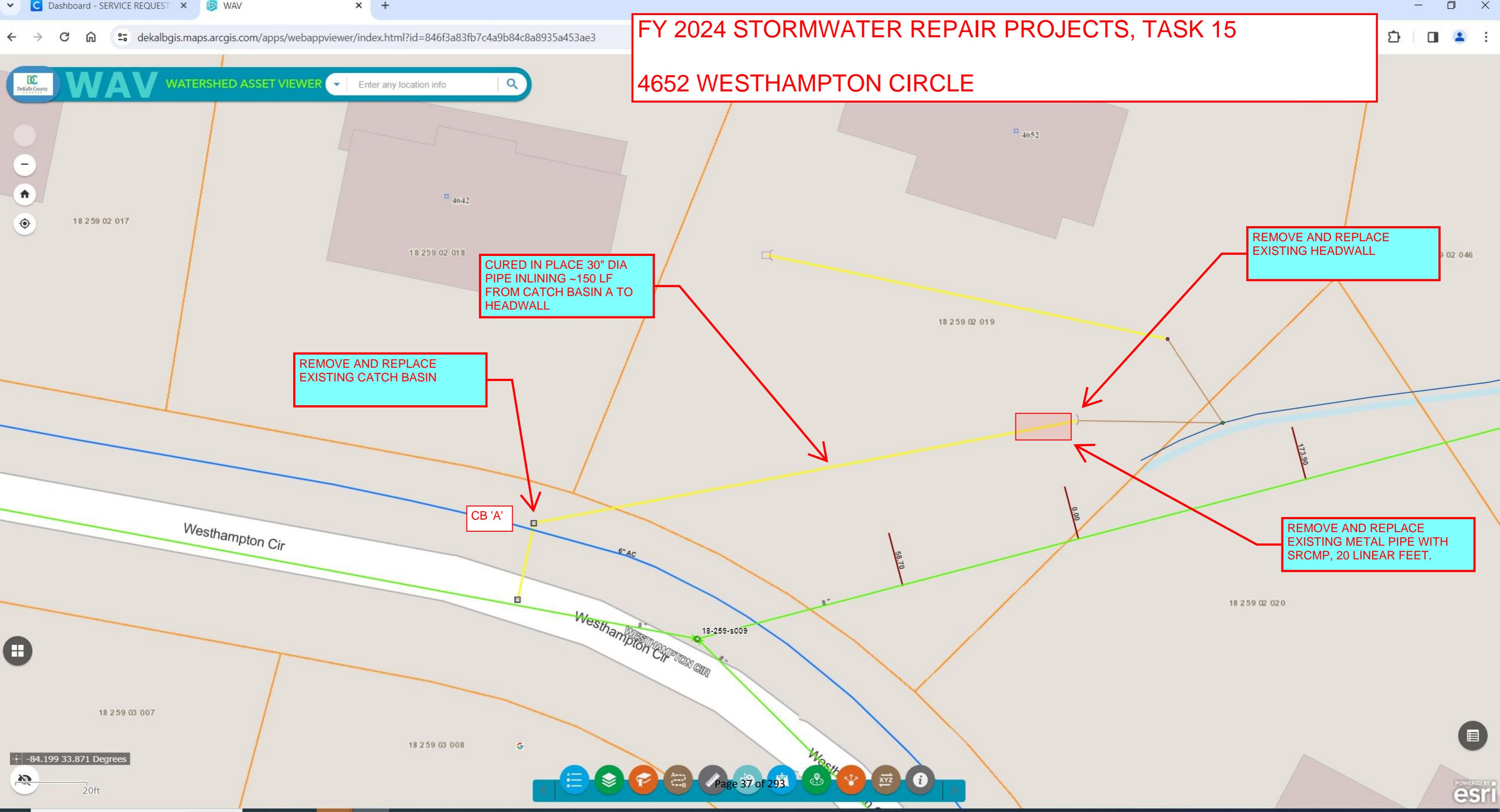
General conditions

1. The Contractor shall maintain access to residential properties as necessary by detours or covering of the work area when not mobilized.
2. The Contractor shall furnish, install, maintain and remove all necessary traffic signs, barricades, lights, signals, cones and other traffic control devices, and all flagging and other means of traffic protection and guidance as required by Special Provision 150 of the Georgia Department of Transportation. Such work shall be considered incidental to the overall contract, and no additional compensation will be made.
3. The Contractor will be responsible for calling in and identifying utility locations. The City shall be notified of any potential utility conflicts.
4. Specifications in accord with terms and conditions of RFP2023-016 contract.

Thank you for your interest in the City of Tucker.

FY 2024 STORMWATER REPAIR PROJECTS, TASK 15

4652 WESTHAMPTON CIRCLE





May 22, 2024

To: City of Tucker
 Attn: Jeff Mueller

Re: 4652 Westhampton Cir., Tucker, GA
 SpinCast 30-inch Culvert

Scope of Work:

Furnish materials, equipment, labor, and supervision to perform the following work according to contract plans and specifications.

UNIT PRICE SCHEDULE						
	Description	Unit	Estimated Quantity	UAM	UAM Extended Price	
General Conditions						
1.1	Mobilization	EA	1	\$ 2,127.50	\$ 2,127.50	
1.2	Out of Scope Work, Foreman	HR	8	\$ 100.05	\$ 800.40	
1.3	Out of Scope Work, Laborer	HR	16	\$ 74.75	\$ 1,196.00	
2.2	Traffic Control Minor 2 – Includes Cones and Signage	Per Day	5	\$ 1,897.50	\$ 9,487.50	
3.1	TV Storm Lines (includes DVD & Report)	LF	155	\$ 5.18	\$ 802.13	
3.2	Visual Inspection (Pictures), per Project (During Construction)	EA	1	\$ 368.00	\$ 368.00	
4.6	30" PIPE - Cleaning less than 25% full	LF	155	\$ 8.05	\$ 1,247.75	
7.4	30" SRCMP	LF	20	\$ 95.45	\$ 1,909.00	
15.3	Precast Headwall for 30" Pipe	EA	1	\$ 1,518.00	\$ 1,518.00	
29.16	Invert Installation, 4' Diameter	EA	1	\$ 747.50	\$ 747.50	
30.7	30" Grout Each End to Structure	EA	2	\$ 276.00	\$ 552.00	
33.1	30" Cent. Spin Cast Lining	LF	155	\$ 299.00	\$ 46,345.00	
39.3	Tree Removal >23"	EA	1	\$ 2,990.00	\$ 2,990.00	
39.5	Channel Excavation	CY	10	\$ 100.05	\$ 1,000.50	
39.7	Haul-In Structural Fill Material	CY	10	\$ 70.15	\$ 701.50	
39.8	Haul-Off Soil Material	CY	10	\$ 74.75	\$ 747.50	
39.9	Finish Grading	SY	20	\$ 14.95	\$ 299.00	
40.2	Stone Rip Rap Type III In Place	TON	10	\$ 89.70	\$ 897.00	
41.4	Removal of Existing Drainage Structure	EA	2	\$ 2,300.00	\$ 4,600.00	
41.5	Remove Existing Pipe all Types and Sizes	LF	20	\$ 49.45	\$ 989.00	
	SUBTOTAL				\$ 79,325.28	
	15% Contingency				\$ 11,898.79	
	TOTAL				\$ 91,224.04	

Sincerely,

Anita Clyne – President
 Utility Asset Management, Inc.

Licensed In:

Alabama * Georgia * Florida * South Carolina * North Carolina * West Virginia

Corporate Office:

2025 US Hwy 41 S. ♦ Perry, Georgia, 31069
 Office: 478-847-2301 ♦ E-Fax: 678-623-0282
 www.uamonline.com

Metro Atlanta Office:

1902 Tucker Ind. Rd. ♦ Tucker, Georgia, 30084
 Office: 678-691-1558
 www.uamonline.com



City of Tucker

MEMO

To: Honorable Mayor and City Council Members
From: Ishri Sankar, Public Works Director
CC: John McHenry, City Manager
Date: June 4, 2024
RE: Memo for TO#18 -Hydrovac Cleaning of Structures and Conduits at 8 Locations

Contract # C2023-016-TO18-PO24-00743

Description for on the Agenda:

Approval of C2023-016-TO18-PO24-00743 Task Order #18 of FY 2024 Stormwater Repair Projects per the City's Procurement Policy for Hydrovac Cleaning of Structures and Conduits at 8 Locations

Issue: At various locations, stormwater structures and conduits in the public right of way need to be cleaned.

Recommendation:

Approval for Staff to Authorize Task Order #18 to Utility Asset Management for \$99,885.78

Background:

At various locations, stormwater structures and conduits in the public right of way have been filled with sediment and create surface drainage problems in the public right of way. Quotes were received from 2 of the 3 standby stormwater repair contractors engaged under RFP2023-016 using their unit prices and a not to exceed price was established. After review, staff recommends an award to Utility Asset Management, Inc.

Financial Impact:

Budget not to exceed \$99,885.78



**STORMWATER MAINTENANCE AND REPAIR
CONTRACT AGREEMENT (RFP 2023-016)
TASK ORDER #18**

STORM SYSTEM REPAIRS

This TASK ORDER between the parties is entered pursuant to the CONTRACT AGREEMENT (RFP #2023-016) and shall serve as authorization by the City of Tucker to UTILITY ASSET MANAGEMENT, INC. (“CONTRACTOR”) to perform the services described herein pursuant to the terms and conditions, mutual covenants and promises provided herein and in the CONTRACT AGREEMENT (RFP #2023-016). Now therefore, the parties agree as follows:

Locations of Project:

1. 1555 Roadhaven Drive / East Ponce de Leon Frontage
2. 1841 Cooledge Road at QT
3. 2308 Fellowship Road
4. 5828 East Ponce de Leon Ave
5. 1649 Avon Ave
6. 1566 Sagewood Circle
7. 4057 Adrian Street
8. East Poce de Leon at SR 10 Bridge

Description of Services: The Contractor shall furnish all equipment, tools, skill, labor of every description, and all things necessary to carry out as delineated in “Exhibit A” (Scope of Work) and complete in a good, firm, substantial and workmanlike manner, the Work in strict conformity with the specifications which shall form an essential part of this agreement. Specific tasks to be completed under the scope of this TASK ORDER (the “WORK”) shall comply with the unit prices provided in the Contract Agreement (RFP #2023-016) with an established Not to Exceed total that the Contractor exceeds at its own risk.

CONTRACTOR Deliverables to CITY:

- Completed work per Exhibit A – SCOPE OF WORK

Design Specifications and Guidelines:

The fee to be paid pursuant to this task order shall be the total amount identified in Exhibit B as **\$86,857.20**. Provided, however, that upon a satisfactory showing of a legitimate contingency by

contractor to the city, an additional amount covering such contingency up to no more than 15% of said fee may be paid, such that the total amount authorized for payment under this task order shall in no event exceed **\$99,885.78**.

General Scope of Service: The WORK under this TASK ORDER shall be commenced upon the Contractor's receipt of the Notice to Proceed ("NTP"). The WORK shall be completed within 180 calendar days of the NTP. Specific tasks to be completed under the scope of this agreement shall be at the direction of the City of Tucker Director of Public Works.

Itemized invoices delineating hours worked by each individual position in accordance with the fixed hourly rates for work done by each position as identified in "Exhibit B" (Cost Proposal) and the CONTRACT AGREEMENT (RFP #2023-016) shall be submitted by the CONTRACTOR via email to the director of public works. Invoices will be paid in arrears not more than once every 30 days.

Performance will be monitored to ensure compliance with the City's expectations. The CONTRACTOR shall prepare a Schedule of Completion showing milestone completion dates based on completing the WORK within 180 calendar days of the NTP. A Status Report describing actual work accomplishments and percentage of completion shall be submitted with invoices. This report shall include a description of problem areas, current and anticipated delaying factors and their impact, explanations of corrective actions taken or planned, and any newly planned activities or changes in sequence.

The CONTRACTOR shall be responsible for the professional quality, technical accuracy, and coordination of interpreting any and all designs, drawings, specifications, and other services furnished by or on behalf of the City pursuant to this TASK ORDER. The CONTRACTOR shall correct or revise, or cause to be corrected or revised, any errors or deficiencies in the designs, drawings, specifications, and other services furnished for this TASK ORDER. All revisions shall be coordinated with the CITY prior to issuance. The CONTRACTOR shall also be responsible for any claim, damage, loss, or expense from the incorrect interpretation of provided designs, drawings, and specifications pursuant to this TASK ORDER.

The CONTRACTOR agrees that fees are earned pursuant to the WORK performed, which shall comply with the unit prices provided in the CONTRACT AGREEMENT (RFP #2023-016). Any work performed above the established Not to Exceed Fee shall be at the Contractor's risk.

If the City in good faith determines that the CONTRACTOR has failed to perform or deliver any service or product as required, the CONTRACTOR shall not be entitled to any compensation under the Contract until such service or product is performed or delivered. In this event, the City may withhold that portion of the CONTRACTOR'S compensation which represents payment for services or products that were not performed or delivered. To the extent that the CONTRACTOR'S failure to perform or deliver in a timely manner causes the City to incur costs, the City may deduct the amount of such incurred costs from any amounts payable to

CONTRACTOR. The City's authority to deduct such incurred costs shall not in any way affect the City's authority to terminate the Contract. If the CONTRACTOR owes the City any sum under the terms of the Contract, pursuant to any judgment, or pursuant to any law, the City may set off the sum owed to the City against any sum owed by the City to the CONTRACTOR in the City's sole discretion. The City intends to utilize federal ARPA funds for this project. Therefore, "Exhibit C" is attached and incorporated herein.

Attachments:

- EXHIBIT A – SCOPE OF WORK
- EXHIBIT B – COST PROPOSAL (in accordance with rates established in RFP 2023-016)

CITY OF TUCKER:

CONTRACTOR: UTILITY ASSET MANAGEMENT, INC.

By: _____

By: _____

Title: _____

Title: _____

Name: _____

Name: _____

Date: _____

Date: _____

Attest: _____

Bonnie Warne, City Clerk

(Seal)

Approved as to form:

Ted Baggett, City Attorney



FY 2024 Storm System Repairs, Task 18

April 10, 2024

Request for Quote, Utility Asset Management

The selected contractor is requested to provide a proposed unit price to not exceed amount based on the categories and unit prices provided per the contract for RFP 2023-016 to cleaning of conduits and storm structures at 8 locations throughout the city.

LIST OF STORMWATER RELATED MATTERS THAT ARE CANDIDATES FOR HYDROVAC PROJECTS					
site ma	Address	# Structures	Cumulative Depth of Structures	Length of Pipe (ft)	Diameter of Pipe (in)
1	1555 ROADHAVEN DRIVE EAST PONCE FRONTAGE	5	15	12 154	15 18
2	1841 cooledge road at QT	3	5.5	36 50	15 18
3	2308 FELLOWSHIP ROAD	1	3	150	18
4	5828 EAST PONCE DE LEON AVENUE	3	11	50	18
5	1649 AVON AVENUE	2	5	100	18
6	1566 SAGEWOOD CIRCLE	3	10	40	18
7	4057 ADRIAN STREET	0	0	55	15
8	EAST PONCE AT SR 10 BRIDGE	2	6	65	15

The quote shall be generated based upon the categories and unit prices per the contract agreement associated with RFP 2023-016 between the City and the selected contractors and can be submitted to Jeff Mueller, Public Works Deputy Director via email at jmueller@tuckerga.gov, by 4:00 PM on Monday, April 22, 2024.

The contractor is advised to visit the site. If you would like to have a meeting on site with Public Works staff, contact Jeff Mueller via email or at 470-714-8494.

The city will obtain all necessary easements and right of entries which may be necessary to execute the repair.

Scope of Work

The work required under this contract includes furnishing materials, qualified labor, equipment, traffic control, erosion control, and site restoration.

1. Removal of sediment, debris and trash from structures and conduits.
2. Haul off of removed material.



3. At location 4, excavate and extend channel 50 linear feet to promote drainage from drainage system.
4. Clean work area.

General conditions

1. The Contractor shall maintain access to residential properties as necessary by detours or covering of the work area when not mobilized.
2. The Contractor shall furnish, install, maintain and remove all necessary traffic signs, barricades, lights, signals, cones and other traffic control devices, and all flagging and other means of traffic protection and guidance as required by Special Provision 150 of the Georgia Department of Transportation. Such work shall be considered incidental to the overall contract, and no additional compensation will be made.
3. The Contractor will be responsible for calling in and identifying utility locations. The City shall be notified of any potential utility conflicts.
4. Specifications in accord with terms and conditions of RFP2023-016 contract.

Thank you for your interest in the City of Tucker.

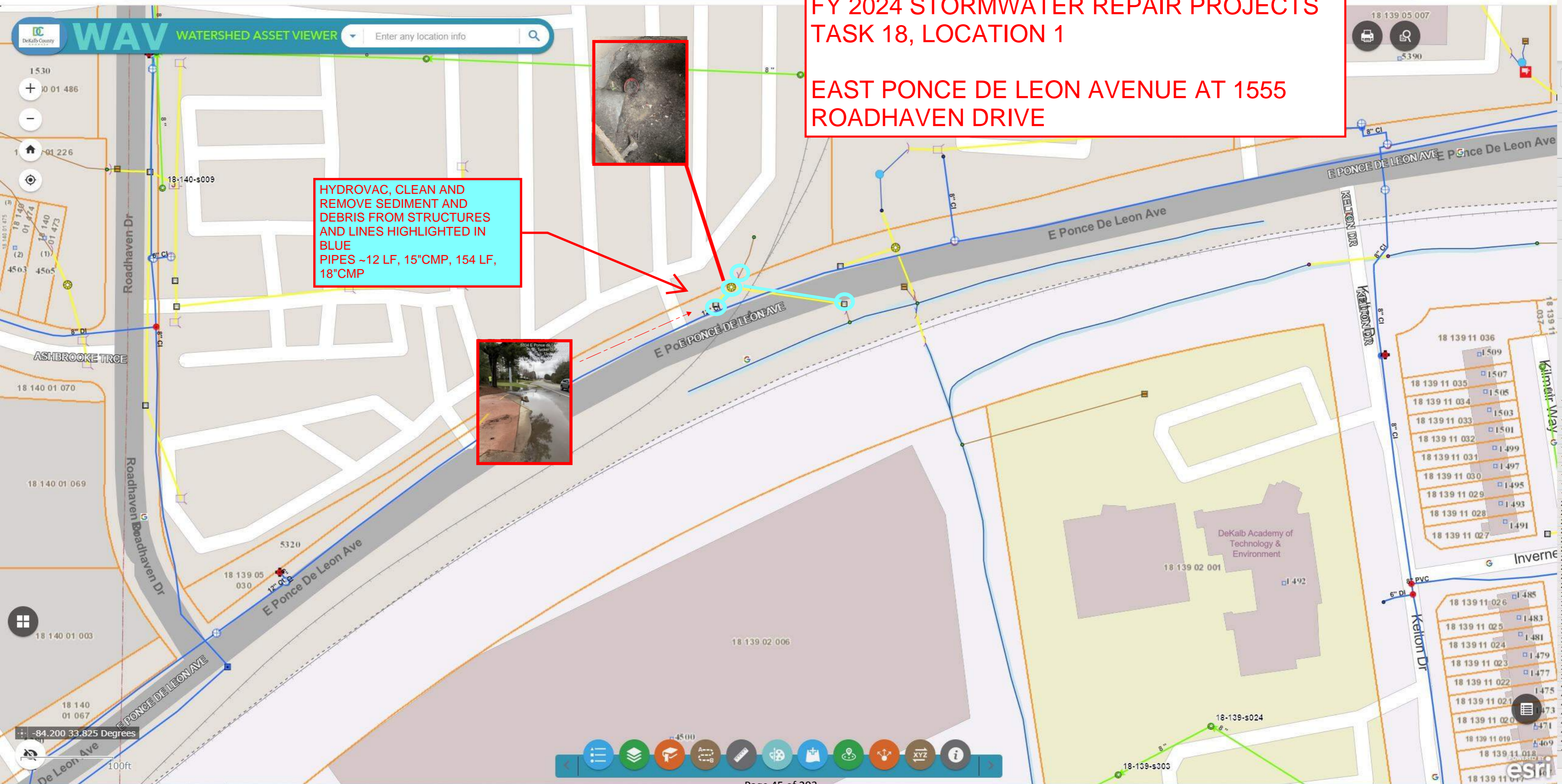
WAV WATERSHED ASSET VIEWER

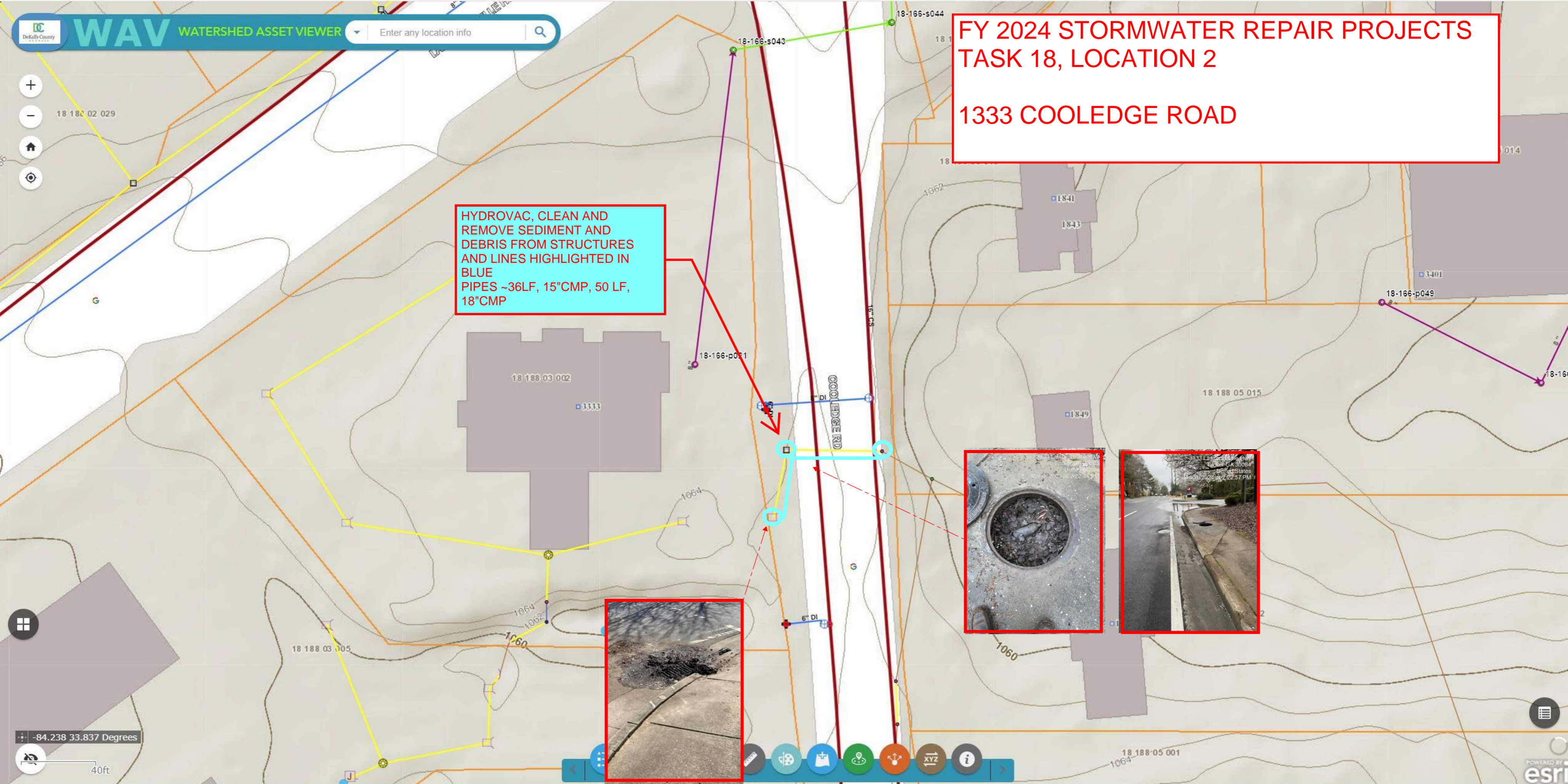
Enter any location info

**FY 2024 STORMWATER REPAIR PROJECTS
TASK 18, LOCATION 1**

**EAST PONCE DE LEON AVENUE AT 1555
ROADHAVEN DRIVE**

HYDROVAC, CLEAN AND REMOVE SEDIMENT AND DEBRIS FROM STRUCTURES AND LINES HIGHLIGHTED IN BLUE
PIPES ~12 LF, 15" CMP, 154 LF, 18" CMP





**FY 2024 STORMWATER REPAIR PROJECTS
TASK 18, LOCATION 2
1333 COOLEIDGE ROAD**

**HYDROVAC, CLEAN AND REMOVE SEDIMENT AND DEBRIS FROM STRUCTURES AND LINES HIGHLIGHTED IN BLUE
PIPES ~36LF, 15" CMP, 50 LF, 18" CMP**

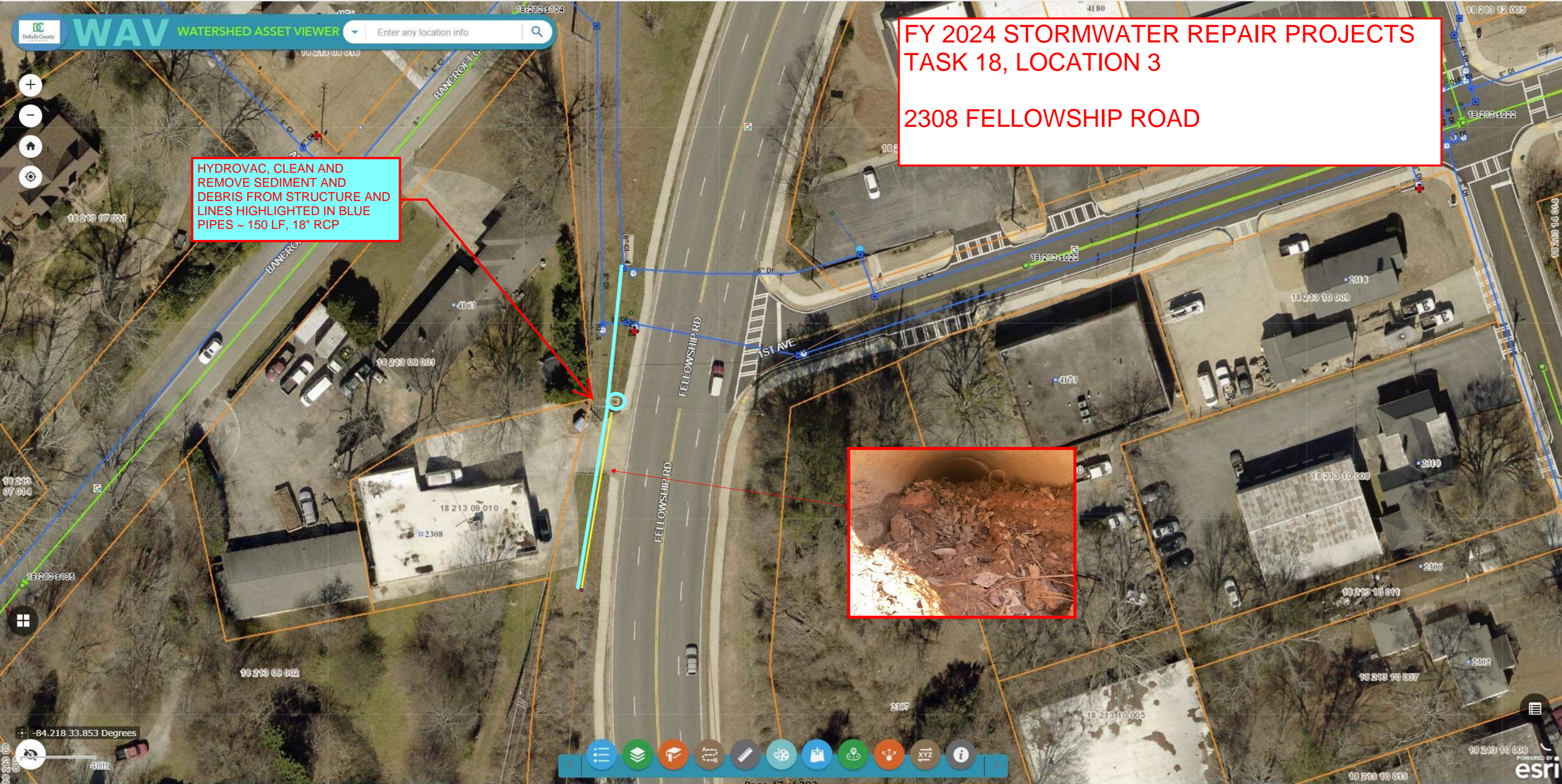


WAV WATERSHED ASSET VIEWER Enter any location info

FY 2024 STORMWATER REPAIR PROJECTS
TASK 18, LOCATION 3

2308 FELLOWSHIP ROAD

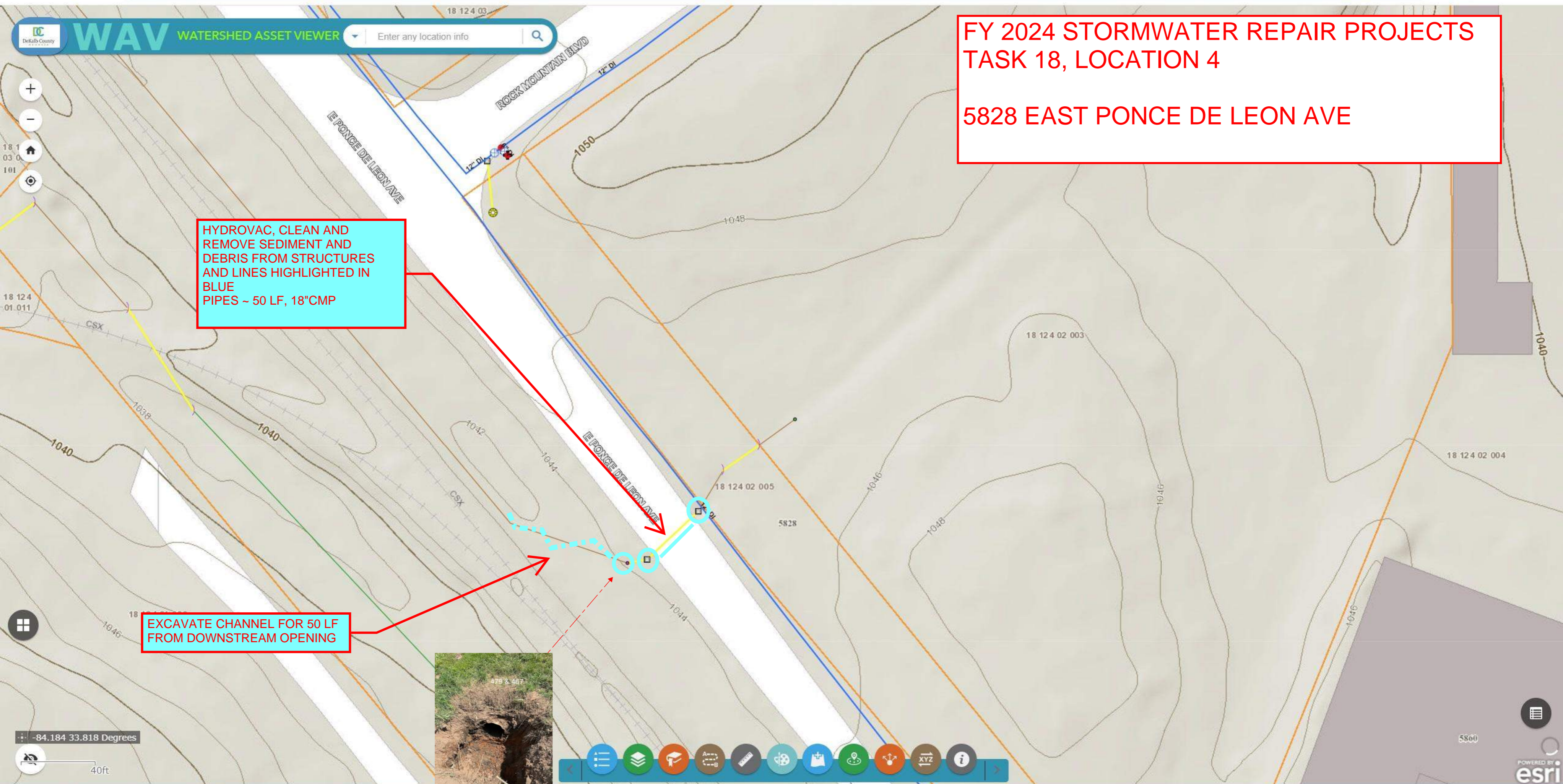
HYDROVAC, CLEAN AND REMOVE SEDIMENT AND DEBRIS FROM STRUCTURE AND LINES HIGHLIGHTED IN BLUE PIPES ~ 150 LF, 18" RCP



**FY 2024 STORMWATER REPAIR PROJECTS
TASK 18, LOCATION 4
5828 EAST PONCE DE LEON AVE**

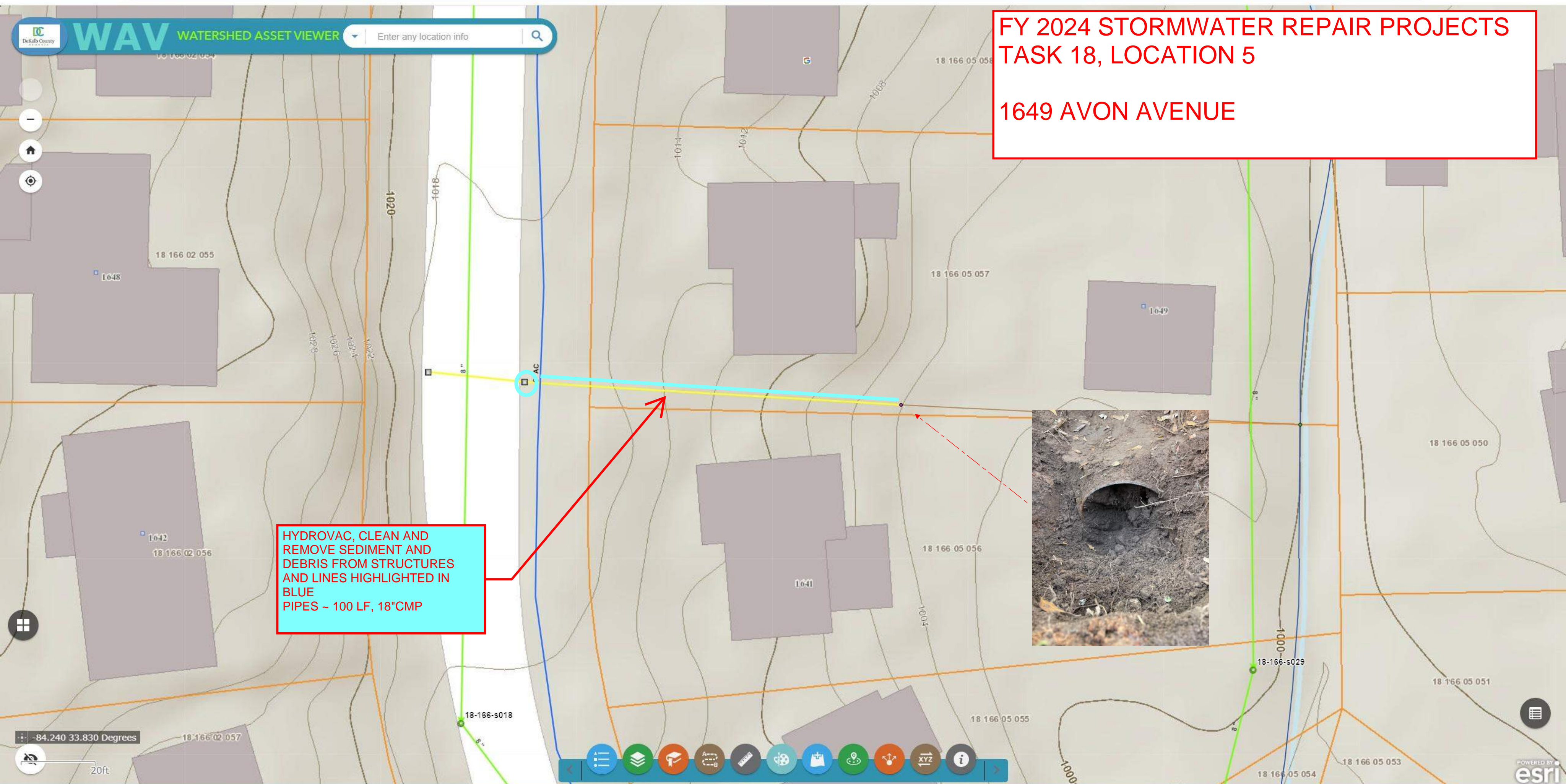
**HYDROVAC, CLEAN AND REMOVE SEDIMENT AND DEBRIS FROM STRUCTURES AND LINES HIGHLIGHTED IN BLUE
PIPES ~ 50 LF, 18" CMP**

EXCAVATE CHANNEL FOR 50 LF FROM DOWNSTREAM OPENING

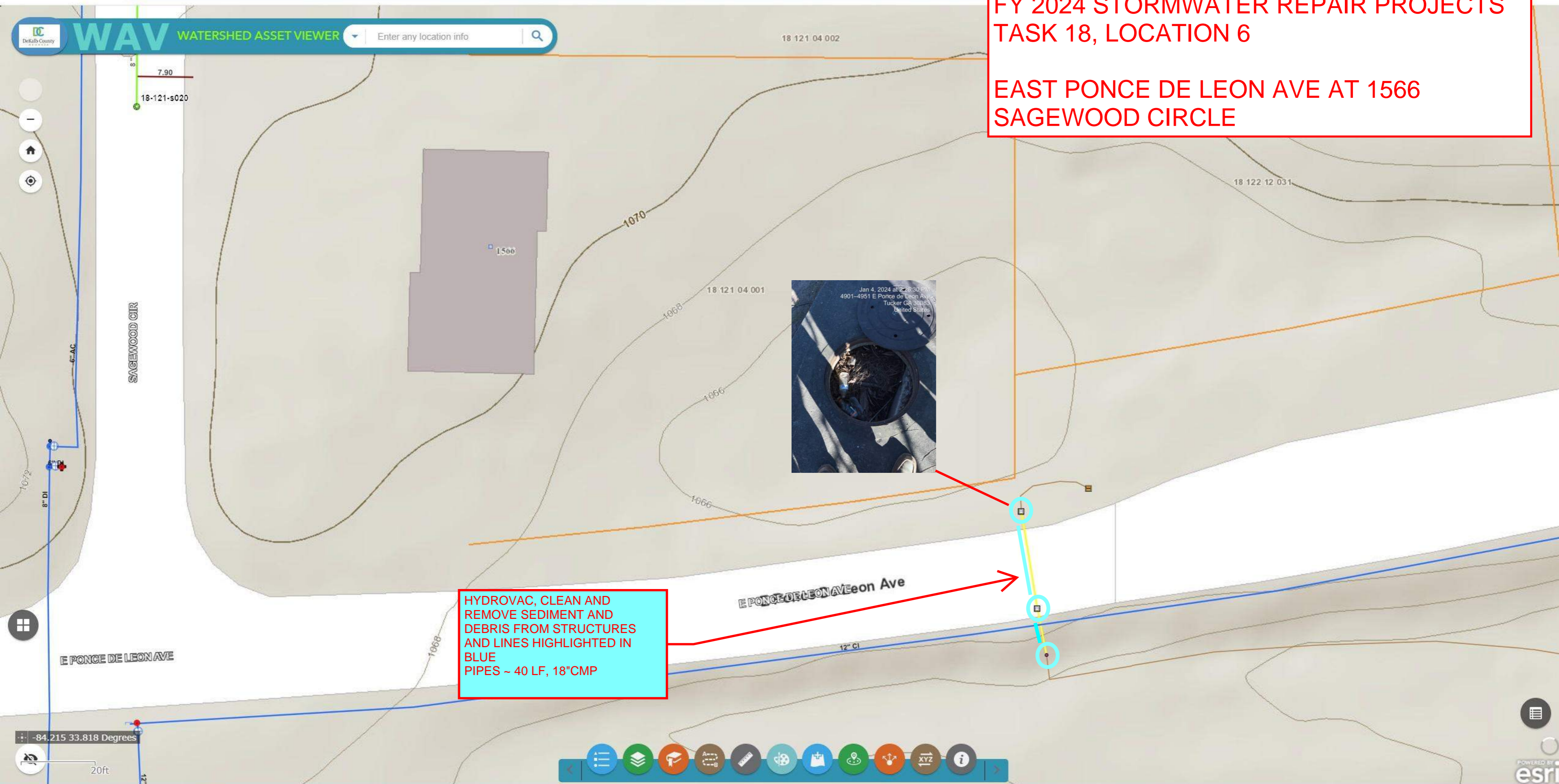


**FY 2024 STORMWATER REPAIR PROJECTS
TASK 18, LOCATION 5
1649 AVON AVENUE**

**HYDROVAC, CLEAN AND REMOVE SEDIMENT AND DEBRIS FROM STRUCTURES AND LINES HIGHLIGHTED IN BLUE
PIPES ~ 100 LF, 18" CMP**

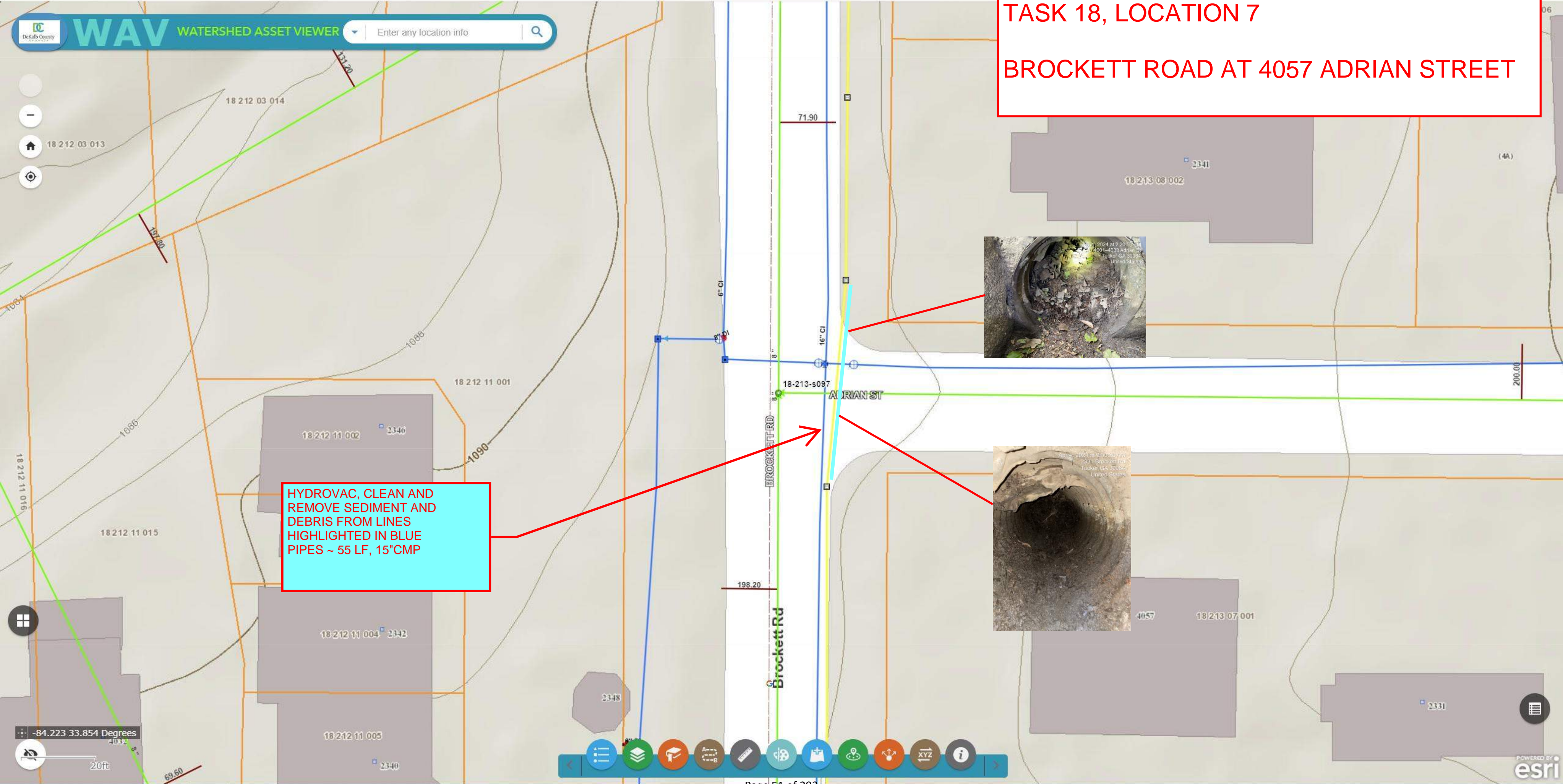


FY 2024 STORMWATER REPAIR PROJECTS
TASK 18, LOCATION 6
EAST PONCE DE LEON AVE AT 1566
SAGEWOOD CIRCLE

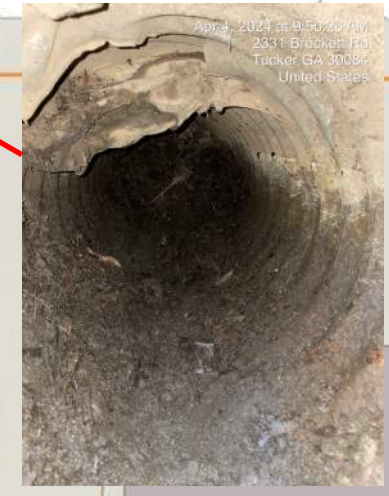


HYDROVAC, CLEAN AND REMOVE SEDIMENT AND DEBRIS FROM STRUCTURES AND LINES HIGHLIGHTED IN BLUE
PIPES ~ 40 LF, 18" CMP

**FY 2024 STORMWATER REPAIR PROJECTS
TASK 18, LOCATION 7
BROCKETT ROAD AT 4057 ADRIAN STREET**

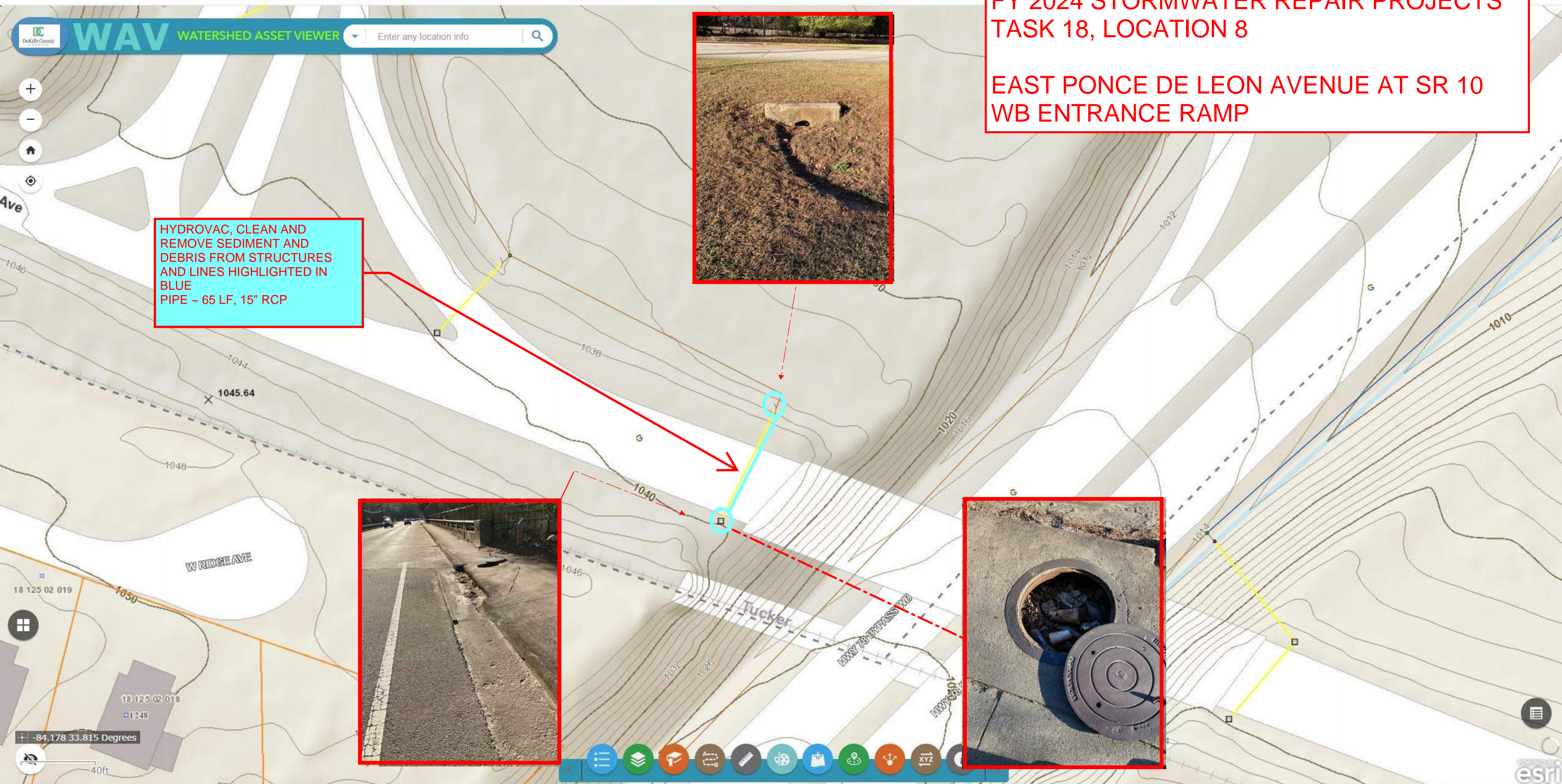


HYDROVAC, CLEAN AND REMOVE SEDIMENT AND DEBRIS FROM LINES HIGHLIGHTED IN BLUE PIPES ~ 55 LF, 15" CMP



**FY 2024 STORMWATER REPAIR PROJECTS
TASK 18, LOCATION 8**
**EAST PONCE DE LEON AVENUE AT SR 10
WB ENTRANCE RAMP**

HYDROVAC, CLEAN AND REMOVE SEDIMENT AND DEBRIS FROM STRUCTURES AND LINES HIGHLIGHTED IN BLUE
PIPE ~ 65 LF, 15" RCP



UTILITY ASSET MANAGEMENT, INC.
 PO BOX 1665
 PERRY, GA 31069

To: City of Tucker
 Re: Task 18 _REVISED

Provide all labor, materials, equipment, and supervision to perform the following work according to contract plans and specs.

task 18	task 18	task 18	task 18	task 18	task 18	task 18	task 18
1	2	3	4	5	6	7	8
1555 Roadhaven Dr at E. Ponce	1841 Cooledge Rd at QT	2308 Fellowship Rd	5828 E. Ponce	1649 Avon Ave	1566 Sagewoo d Cir	4057 Adrian St	E Ponce at SR 10 Bridge

ITEM #	UNIT PRICE SCHEDULE	Unit	Qty	UAM		task 18								
				Unit Price	Extended Price	1	2	3	4	5	6	7	8	
	Item					12' of 15", 154' of 18"	36' of 15", 50' of 18"	150' of 18"	50' of 18"	100' of 18"	40' of 18"	55' of 15"	65' of 15"	
						5, 15VF	3, 5.5VF	1, 3VF	3, 11VF	2, 5VF	3, 10VF	0, 0VF	2, 6VF	
1	General Conditions													
1.1	Mobilization	EA	17	\$ 2,127.50	\$ 36,167.50	2	2	2	3	2	2	2	2	17
1.2	Out of Scope Work, Foreman	HR	2	\$ 100.05	\$ 200.10					2				2
1.3	Out of Scope Work, Laborer	HR	4	\$ 74.75	\$ 299.00					4				4
2	Traffic Control													
2.1	Traffic Control Minor 1 – Includes Continuous Crew of 2 Flagmen	Per Day	7	\$ 2,300.00	\$ 16,100.00	1	1	1	1		1	1	1	7
2.2	Traffic Control Minor 2 – Includes Cones and Signage	Per Day	1	\$ 1,897.50	\$ 1,897.50					1				1
3	TV Inspection and Jet-Vac Cleaning													
3.1	TV Storm Lines (includes DVD & Report)	LF	712	\$ 5.18	\$ 3,684.60	166	86	150	50	100	40	55	65	712
3.2	Visual Inspection (Pictures), per Project (During Construction)	EA	1	\$ 368.00	\$ 368.00	1								1
3.3	Hydro-Excavation complete (onsite hours only)	Per Hour	24	\$ 460.00	\$ 11,040.00	4	4	2	4	2	4	1	3	24
4	Storm Line Cleaning (25% full or greater)													
4.2	15" PIPE - Cleaning 25% full or greater	LF	168	\$ 9.20	\$ 1,545.60	12	36					55	65	168
4.3	18" PIPE - Cleaning 25% full or greater	LF	544	\$ 13.80	\$ 7,507.20	154	50	150	50	100	40			544
39.5	Channel Excavation	CY	13.0	\$ 100.05	\$ 1,300.65				10					13
39.8	Haul-Off Soil Material	CY	13.0	\$ 74.75	\$ 971.75				10					13
39.9	Finish Grading	SY	30.0	\$ 14.95	\$ 448.50				20					30
39.11	Debris Removal	CY	16	\$ 70.15	\$ 1,122.40	2	2	2	2	2	2	2	2	16
40	Erosion Control													
40.14	Seed & Straw (Permanent Grassing)	SY	360	\$ 5.29	\$ 1,904.40	10	10	10	150	100	10	10	60	360
41.4	Removal of Existing Drainage Structure	EA	1	\$ 2,300.00	\$ 2,300.00					1				1
				Subtotal	\$ 86,857.20									
	CONTINGENCY 15%				13,028.58									
				TOTAL	\$ 99,885.78									



MEMO

To: Honorable Mayor and City Council Members
From: Jackie Moffo, Economic Development Director
CC: John McHenry, City Manager
Date: June 4, 2024
RE: Memo for Economic Development Pitch Deck Contract Award

Contract/Document Number: RFP 2024-007

Description for on the Agenda:

- Economic Development Pitch Deck Contract Award

Issue: The Economic Development Strategic Plan recommended marketing documents be created to support the marketing and recruitment efforts of the Tucker Economic Development Department.

Recommendation:

Staff recommends that the City Council provide any feedback to staff regarding the expected deliverables.

Background: In March, 2024 the Economic Development Department released a bid for an “Economic Development Pitch Deck”. The goal of this deck is to provide marketing materials that would assist with the economic development efforts to attract new community minded employers, and position Tucker to be top of mind to the site consultants and regional economic development organizations. Scope of work includes working with city staff to create the following documents:

- A City of Tucker Community Profile (highlighting quality of life attributes of the community)
- A City of Tucker at A Glance
- Character Area Profiles (Character Areas as dictated by the Economic Development Strategic Plan)
- Tucker Target Industry Profiles (Target Industries as outlined in the Economic Development Strategic Plan)
- Tucker Small Business Resource Guide (Introduction to key regional small business support agencies and contact information, to be made available in different languages curated for specific underserved communities)

Summary: After receiving bids, scoring, and interviewing. Tucker has chosen to award the contract of RFP 2024-007 Economic Development Pitch Deck to Incisive LLC. Work will begin with the contract following the June 10, 2024 City Council meeting.

Financial Impact: The contract award for RFP 2024-007 to Incisive LLC for \$25,000. This is coming from the Economic Development Department budget for Other Services/Technical GL 100-7520-52.13000.

April 2024

Economic Development Pitch Deck Proposal

City of Tucker RFP 2024-007

Submitted by **INCISIVE**

Atlanta, Ga • 770.714.8655

Hot Betty's Breakfast Bar
2316 Main St C, Tucker, Georgia

TABLE OF CONTENTS



1. Introduction
2. Project Understanding & Approach
 - a. Magnitude of Task
 - b. Constraints to Consider
 - c. Desired Outcomes
 - d. Our Methodology & Process
3. Similar Experience (3A - 3H)
4. Project Personnel
5. About INCISIVE

1. INTRODUCTION



Thank you for the opportunity to submit a proposal to establish a lasting partnership between the **City of Tucker** and **INCISIVE**.

We would welcome the opportunity to work with your team as you seek to create marketing materials to support your economic development efforts aimed at attracting new community-minded employers and positioning the City of Tucker as a top-tier location.

We understand the City of Tucker completed its first-ever Economic Development Strategic Plan (2023) which builds off the foundation established by the City of Tucker Comprehensive Plan. With the data and research in these plans, the City of Tucker is well-positioned to begin marketing itself as an ideal place in metro Atlanta to build, grow and attract business and investment.

Our INCISIVE team has deep expertise in marketing and brand identity for local governments, chambers of commerce and nonprofits. We believe that creating economic development marketing materials is a holistic process that should be inextricably linked to the organization's mission, vision, and strategic goals as well as its existing communication strategies.

As with every client engagement, we would begin this process by understanding your goals and current challenges and opportunities. Then we would work together to create a brand elevation roadmap that reflects the City of Tucker today and tomorrow and resonates with your audiences.

In the slides ahead, you will see a high-level view of our thinking on how we would work as your partner. Our goal would be to exceed your expectations and deliver sound strategies and award-worthy work that help you achieve your desired goals and outcomes.

Once again, thank you for considering a partnership with our INCISIVE team.

Sonji Jacobs & Chris Sizemore



INCISIVE understands that the creation of “Pitch Deck” materials outlined as deliverables in this RFP are a critical first step in establishing visibility, marketing and branding for Tucker’s 5-year economic development roadmap and as such, is one of the five major initiatives as defined by the Tucker Economic Development Strategic Plan.



The Tucker EDSP Initiatives

1. Economic Development Capacity Building
2. Creating a Business Retention and Attraction (BRA) Program
3. Major Projects Accelerator
- 4. Visibility, Marketing and Branding**
 - Create campaigns and programs that strategically promote Tucker as a great place to live and do business and build a positive relationship between the public and private sectors
5. Business and Developer Programming

2B. PROJECT UNDERSTANDING & APPROACH: CONSTRAINTS TO CONSIDER

One of the critical elements for developing compelling, motivating and effective economic pitch deck materials for the City of Tucker is awareness of the issues and perceptions that are barriers to goals. The SWOT analysis in the Tucker EDSP clearly illuminates some of the unfavorable views the marketing materials will need to shift:

Weaknesses

- Community Appearance (beautification, gateways)
- Housing Density in Downtown (lack in downtown)
- Parking in Downtown (need for more options)
- Underutilized Land (highest & best use in downtown)
- Diversity of Restaurants and Retail

Threats

- Service Delivery (DeKalb County)
- Irresponsible Growth and Development (Overdevelopment)
- Destruction of Greenspace (potential for overdevelopment of specific areas)
- Rising Housing Prices
- Maintaining a Healthy Industry Mix

2B. PROJECT UNDERSTANDING & APPROACH: CONSTRAINTS TO CONSIDER

In addition to addressing negative perceptions/misperceptions by changing the narrative about the City of Tucker, the development of economic pitch deck materials requires coordination among various partners to ensure the City of Tucker is telling its total story in an aligned and holistic manner. As such, we believe these steps are critical to the process:

- Working with the City of Tucker communications team to ensure consistency of messaging
- Getting partner buy-in early in the process. Key partners include: Tucker Downtown Development Authority, Tucker-Northlake Community Improvement District and Tucker Summit Community Improvement District
- Ensuring diverse and inclusive creative that reflects the demographics of the City of Tucker and DeKalb County
- Sourcing and investing in excellent creative (e.g.: visually stimulating photography)
- Considering and working around the anticipated shelf life of the pitch deck materials so they have a fresh look and feel for as long as possible

2C. PROJECT UNDERSTANDING & APPROACH: DESIRED OUTCOMES



Economic Development “Pitch Deck” Goals

Create engaging marketing materials that serve as go-to resources for business prospects interested in investing, locating, or expanding in the City of Tucker. These “pitch deck” materials must accomplish the following:

- Market the City of Tucker, **especially its character areas**, as a great place to live and do business
- Establish a positive image and attitude about the City of Tucker amongst business, political, and community leaders and unite them to collectively contribute to the required investments in the community to make it attractive to clients
- Build a positive relationship between the public and private sectors

Economic Development “Pitch Deck” Deliverables

1. A City of Tucker Community Profile
2. A City of Tucker At-A-Glance
3. **Character Area Profiles**
 - Northlake Office District
 - Mountain Industrial and Lawrenceville Highway Industrial and Commercial districts
 - Downtown Tucker Retail District
4. **Tucker Target Industry Profiles**
 - Professional Services
 - Manufacturing
 - Healthcare
5. Tucker Small Business Resource Guide

2D. PROJECT UNDERSTANDING & APPROACH: OUR METHODOLOGY



At **INCISIVE**, we begin every client relationship with a deeper understanding of your goals and objectives and the team behind it. Our team will ask questions, research best practices, conduct competitive research, review your current strategy(s), content, communication channels, programming, and operations, and most importantly partner with your internal stakeholders.

Through open and honest conversations and by understanding your current marketing strategies, tools, goals and objectives, we will provide consultation on the best practices, organizational structure and deliverables to craft solutions that achieve positive results.

INCISIVE will create a strategic roadmap that provides clear marketing themes, brand alignment, and compelling visuals that are easy to understand and will effectively communicate, educate and motivate your audiences to your desired outcomes. Our team consists of the highest level of experience, strategic and professional individuals committed to producing the best work — every time.

2D. PROJECT UNDERSTANDING & APPROACH: OUR PROCESS



PHASE I:

KICK-OFF & DISCOVERY

We begin every client relationship with a deeper understanding of your goals and objectives and the team behind them.

FINDINGS, OUTCOMES, AND HIGH-LEVEL STRATEGY

Foundational presentation that sets the course for success as we move into our planning phase together.

PHASE II:

STRATEGY & PLANNING

We build the framework for our engagement together that enables our team to tie your objectives to the needs of your most valued audiences and representatives, providing narrative clarity and streamlined communications efforts to drive the greatest impact and desired outcomes.

Our team translates feedback, research, & best practices into an award-worthy strategy to provide direction for your internal team and the resources needed to execute.

PHASE III:

IMPLEMENTATION

As a team, we will review the final product, discuss any revisions and define strategies for the next steps as partners.

PHASE IV:

ONGOING MONTHLY SUPPORT

As a team, we stay engaged and continue to provide support for our client partners.



INCISIVE's Creative Development Steps

Phase I

1. Set Strategic Direction With Client
2. Establish Project Mgmt Parameters
3. Allocate Resources

Phase II

4. Research
5. Gather Insights
6. Identify Target Audiences
7. Writing/Editing/Design

Phase III

8. Approvals
9. Printing/Placement

Phase IV

10. Launch with Measurement & Tracking

SIMILAR EXPERIENCE

3. SIMILAR EXPERIENCE: OVERVIEW



INCISIVE has a deep expertise and creating the economic pitch deck materials, messaging and branding for government entities such as the City of Tucker as well as years of experience on similar projects for public affairs/advocacy initiatives, non-profit organizations and corporate clients. We are pleased to share a range of examples in the pages ahead.

Case Studies:

- A. Douglas County Chamber - This Is Douglas
- B. Elevate Douglas
- C. City of Powder Springs
- D. Douglas County - Vote Yes on the Spout
- E. Safe Harbor - Amendment 2
- F. Georgia Outdoor Stewardship Amendment
- G. NCR
- H. Danimer Scientific

3A. SIMILAR EXPERIENCE: THIS IS DOUGLAS



In 2021, the Douglas Chamber decided it was time to reimagine their “Buying Local” campaign which launched in 2009.

The “Buying Local” brand of the past was centered around a transaction taking place; however, through our engagement with the chamber and the community at large, we realized that is not what Douglas is about.

Doing business in Douglas County is not about a transaction; business in Douglas County is about cultivating relationships and celebrating all aspects of a beautiful community. It is about celebrating the pride residents and business owners possess and sharing that pride with the state and the world. When achieved, it creates a thriving quality of life in Douglas.

We worked with the Chamber to create the “This is Douglas” campaign to showcase and celebrate the great people, places and businesses within the community. This campaign repositions the Douglas County Chamber as a partner that supports business legislation while also helping to grow the local economy.

“This Is Douglas” is a story of pride and progress: Pride in what makes Douglas a great place today and pride in where the Douglas community is going together.



This is a story of pride
**in what makes Douglas a great place today and
pride in where we are going.**



3A. SIMILAR EXPERIENCE: THIS IS DOUGLAS



It's about **supporting our neighbors**, our local businesses, shops, parks, our culture, and events in our community.

It's about **cultivating a business-friendly environment**.

It's about **guiding, supporting and showcasing our next generation** of entrepreneurs, business owners and community leaders.

When we celebrate **top-rated schools** with soaring graduation rates...THIS IS DOUGLAS.

When we talk about a **positive business climate** for growing your business or starting a new business...THIS IS DOUGLAS.

When we create a shared vision amongst **collaborative partnerships**...THIS IS DOUGLAS.

When we experience **first-class hospitality** at events...THIS IS DOUGLAS.

When we **celebrate the diversity and culture** that make Douglas stand apart from others... THIS IS DOUGLAS.

When we experience **first-class and award-winning restaurants** and cuisine...THIS IS DOUGLAS.

3A. SIMILAR EXPERIENCE: THIS IS DOUGLAS



3A. SIMILAR EXPERIENCE: THIS IS DOUGLAS



Social Media - Facebook and LinkedIn

DEALS in DOUGLAS
Presented by: **THIS IS DOUGLAS**

YOGLI MOGLI
10% OFF your entire purchase!

See details in Douglas County Sentinel or on Chamber website
DouglasCountyGeorgia.com

Social Media - Instagram

DEALS in DOUGLAS
Presented by:
THIS IS DOUGLAS

YOGLI MOGLI
10% OFF your entire purchase!

See details in Douglas County Sentinel or on Chamber website
DouglasCountyGeorgia.com

Sentinel - Website Banner

DEALS in DOUGLAS
Presented by:
THIS IS DOUGLAS

ENJOY 10% OFF
YOUR ENTIRE PURCHASE!
Check today's paper for details!

YOGLI-MOGLI
FROZEN YOGURT

Sentinel - Ad

DEALS in DOUGLAS

ENJOY 10% OFF
YOUR ENTIRE PURCHASE!
3000 Chapel Hill Rd Ste 101, Douglasville, Ga 30135

YOGLI-MOGLI
FROZEN YOGURT

This coupon cannot be combined with other discounts.
A hard copy coupon must be presented at the time of redemption.
NO digital coupons.

EXPIRES: 4/17/21

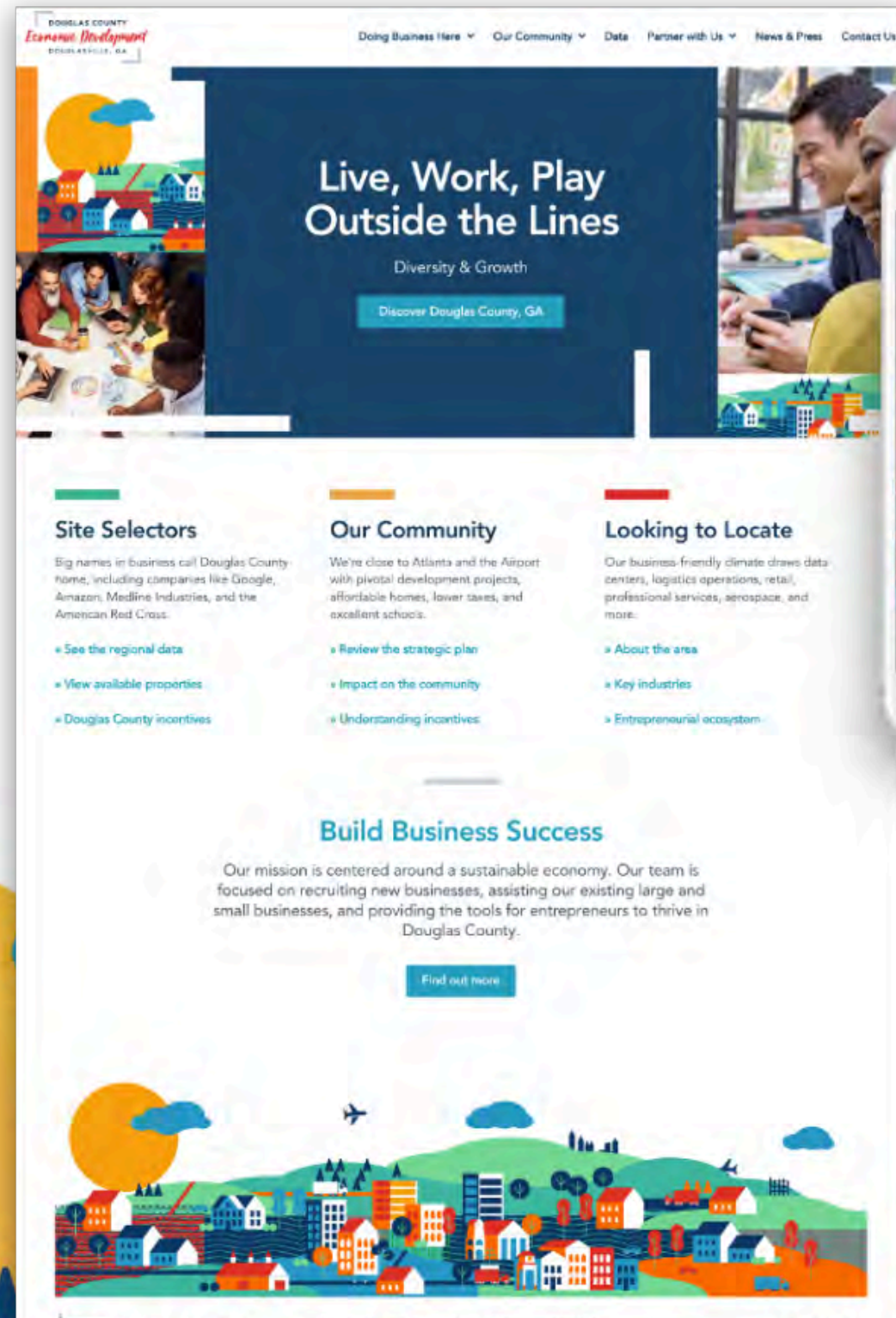
Presented by: **this is Douglas**

3B. SIMILAR EXPERIENCE: ELEVATE DOUGLAS

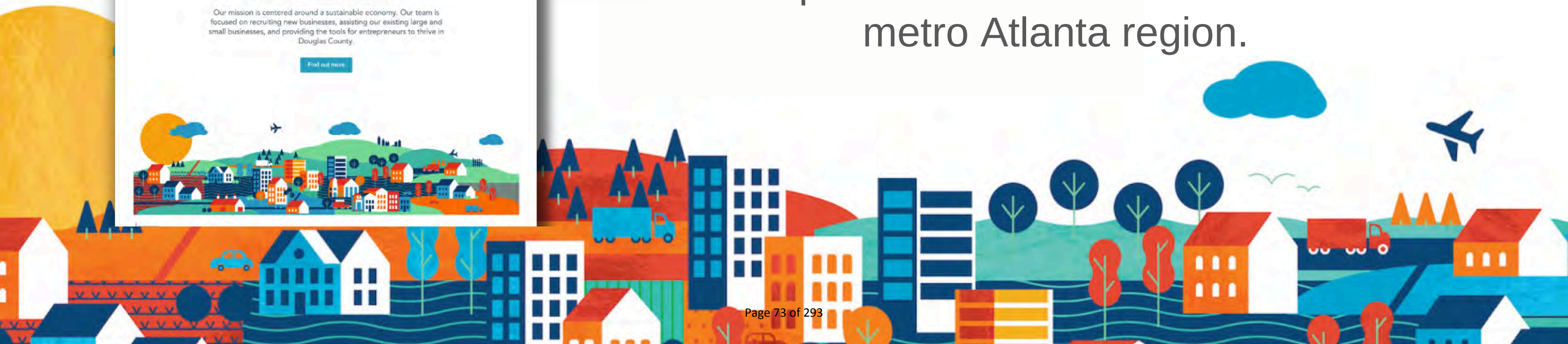


Elevate Douglas is a public-private economic development partnership focused on cultivating a robust business environment in Douglas County. The partnership is comprised of the Douglas County Economic Development Authority, City of Douglasville Development Authority, and the Douglas County Chamber.

3B. SIMILAR EXPERIENCE: ELEVATE DOUGLAS



Work with Elevate Douglas has included building a new website, developing sub-brands, and the creation of print collateral, advertising, and digital marketing to promote the county as one of the best places to move a business in the metro Atlanta region.



3C. SIMILAR EXPERIENCE: CITY OF POWDER SPRINGS



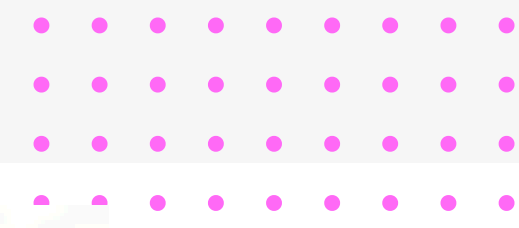
Get a Spring in Your Step You're On the Right Path in Powder Springs.

By playing off the name of the city and its famous recreation areas such as the Silver Comet Trail, we created an upbeat and positive branding campaign.

This concept led to a hopeful, forward-looking and energetic symbol with a memorable approach that celebrates and elevates the city's unique charm.



3C. SIMILAR EXPERIENCE: CITY OF POWDER SPRINGS



PUT
A
Spring
IN
YOUR STEP

city of powder springs

PUT
A
Spring
IN
YOUR STEP

city of powder springs

PUT
A
Spring
IN
YOUR STEP

city of powder springs

3C. SIMILAR EXPERIENCE: CITY OF POWDER SPRINGS



3D. SIMILAR EXPERIENCE: VOTE YES TO SPLOST, DOUGLAS COUNTY CHAMBER



Douglas County Chamber of Commerce
Promoting Smart and Balanced Growth for Douglas

3D. SIMILAR EXPERIENCE: VOTE YES TO SPLOST, DOUGLAS COUNTY CHAMBER

THE CHALLENGE

In 2022, Douglas County elected officials began wrapping up the 2016 Special Local Option Sales Tax (SPLOST) and decided to seek a continuation of the funding. They decided to outline and present new projects and initiatives to Douglas County voters on the November 2022 ballot. They retained our team to help with marketing and communications. We immediately identified three challenges at the beginning of the project:

- Political unrest due to distrust among many in the electorate because of concerns about poor decision-making by some elected officials
- The County had shared some information about a Transportation SPLOST as well as a traditional SPLOST, which created confusion for voters.
- The scope of the 2022 SPLOST projects was drastically different from actual funding allocations, which we knew would create concern among citizens.



THE SOLUTION

To gain a true understanding of the obstacles and grounds for opposition as well as the opportunities to build support and positive momentum, our team conducted a community-wide live text poll to gain an understanding of the public's current opinions about Douglas County's utilization of the 2016 SPLOST dollars, their general opinion of SPLOST, and their general understanding of what a SPLOST is/does, and finally, if they would vote yes.

Using this data, we developed a communications and marketing campaign based on our proven method of using non-debatable facts to communicate, educate and motivate voters about the benefit of a new SPLOST. Additionally, we worked with community partners to provide educational materials as well as "Vote Yes" materials for the Douglas County Commission and its stakeholders. Additionally, we strategically used demographic information to target certain areas of the county to promote key messaging and non-controversial success stories of past SPLOST projects on digital platforms.

RESULTS

Utilizing an intentional marketing strategy promoting non-debatable facts to identified target audiences, we achieved our goal with the successful passage of the SPLOST with 53.7% of the vote.

3D. SIMILAR EXPERIENCE: VOTE YES TO SPLOST, DOUGLAS COUNTY CHAMBER




FREQUENTLY ASKED QUESTIONS

What is a SPLOST?
A SPLOST is a mechanism for local governments to fund capital improvements such as public safety, parks and recreation, and transportation without increasing property tax.

Can SPLOST funds be used to reduce property taxes?
Counties cannot directly include a property tax rollback as an eligible expenditure on the referendum. Counties can use SPLOST funds to pay for capital outlay projects that would otherwise be funded through property tax revenues.

Will my property taxes increase when I Vote YES?
No. A SPLOST does not provide authorities the ability to levy or increase property taxes on homeowners.

Do only residents pay into SPLOST funds?
No. All visitors to and through Douglas who spend money are supporting and paying into the SPLOST. This includes visitors from other counties shopping at local businesses, Arbor Place Mall and travelers from other states buying gas and so many other outlets.

By voting YES to SPLOST, you are voting YES to:

- Public Safety, Transportation, Parks and Recreation, and Infrastructure advancements in Douglas.
- Supporting development for greater accessibility, amenities, and activities for all residents as we continue to be a community that thrives.
- Strengthening our neighborhoods, improving our infrastructure, and that will continue to make Douglas a safe place to live, work and play.

What to look for on your 2022 Douglas County General Election Ballot:

SPLOST
 Yes
 No



YES

Early Voting Locations:

- Douglas County Courthouse
- Old Courthouse
- Lithia Springs Senior Center
- Woodie Fite Senior Center
- Boundary Water Aquatic
- Deer Lick Park
- Dog River Library

Early Voting Closes 11/4



3E. SIMILAR EXPERIENCE: SAFE HARBOR YES



Advocating for the innocent survivors of sex trafficking

3E. SIMILAR EXPERIENCE: SAFE HARBOR YES

THE CHALLENGE

Very few people want to talk openly and honestly about sex trafficking. Our challenge was to educate Georgia voters and raise their awareness about a painful and often uncomfortable crime happening in communities across our state. Then, we needed to build a strong marketing and communications campaign to turnout the vote on Election Day.

THE SOLUTION

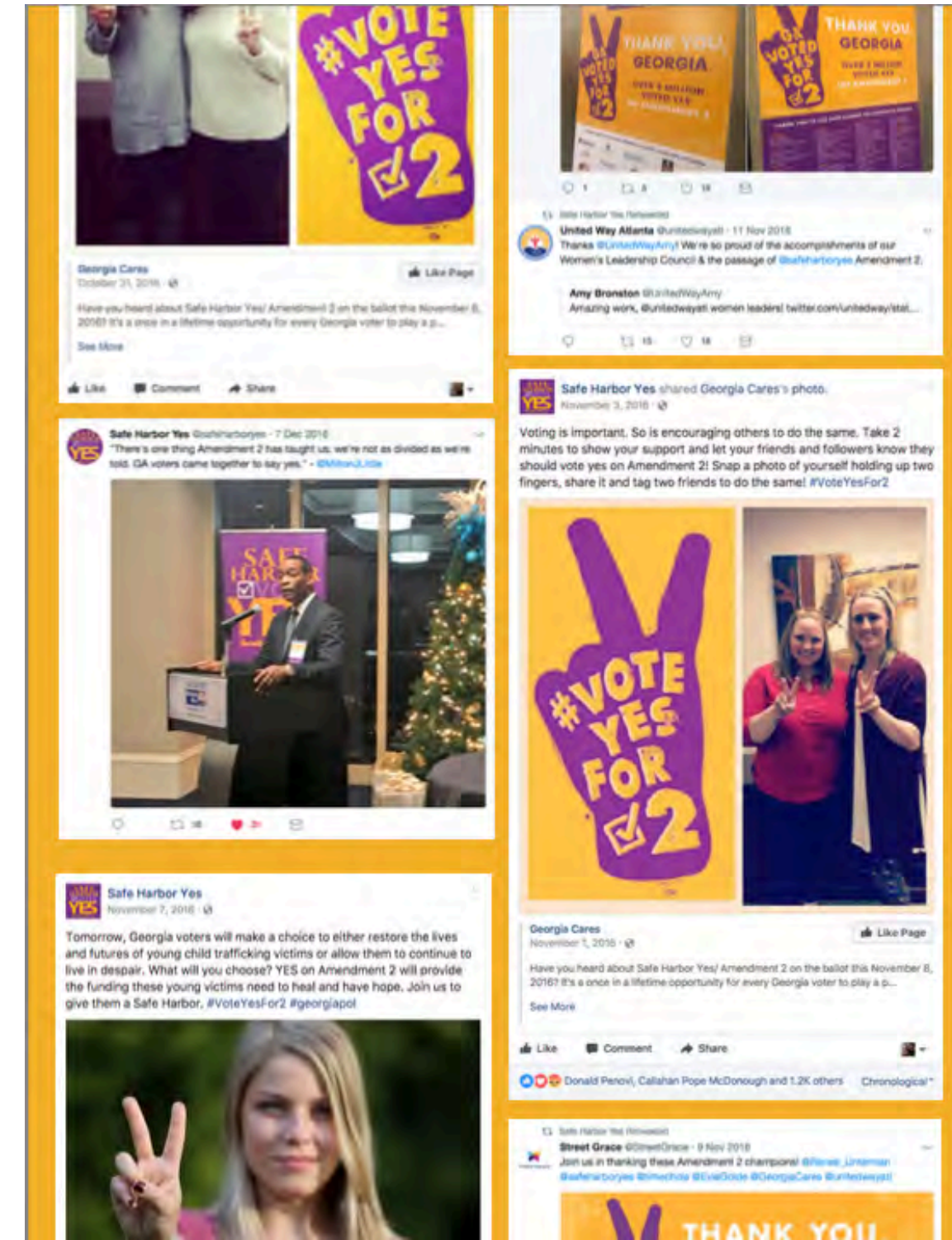
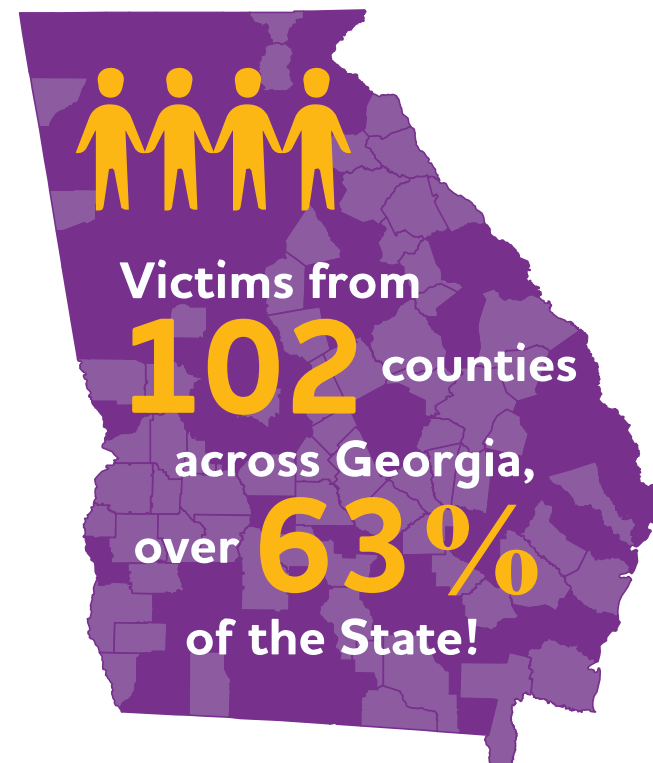
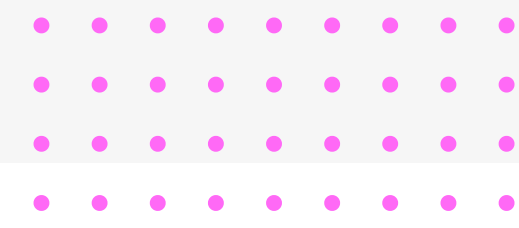
We realized we needed to create a statewide coalition of service providers to advocate on behalf of the amendment. It took a groundswell of people from communities across the state, working together, to educate Georgians about the Safe Harbor Fund and the positive impact it would have on child victims of sex trafficking. We worked to identify three main audiences about the proposed amendment: 1. The Unaware, 2. The Aware, and 3. State Legislators.

Then we created a content strategy that utilized simplified communications, direct calls to action (CTA's), non-debatable statistics, multichannel marketing, and an online marketing toolkit that empowered volunteers and advocates to help spread the word to their friends, faith community, neighbors and co-workers.

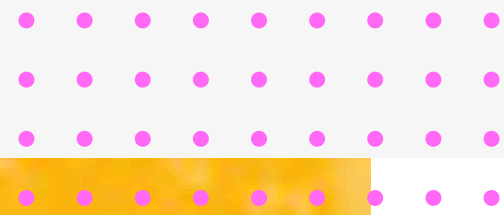
- ✓ **LEARN:** Go to SafeHarborYES.com to learn more about child sex trafficking and how you can help.
- ✓ **GIVE:** Make a tax-deductible gift online or by mail to the United Way of Greater Atlanta C/O SafeHarborYes.
- ✓ **SHARE:** Tell your friends about [@SafeHarborYES](https://twitter.com/SafeHarborYES).
- ✓ **VOTE:** Pledge to vote YES on **November 8th** at SafeHarborYES.com.



3E. SIMILAR EXPERIENCE: SAFE HARBOR YES



3E. SIMILAR EXPERIENCE: SAFE HARBOR YES



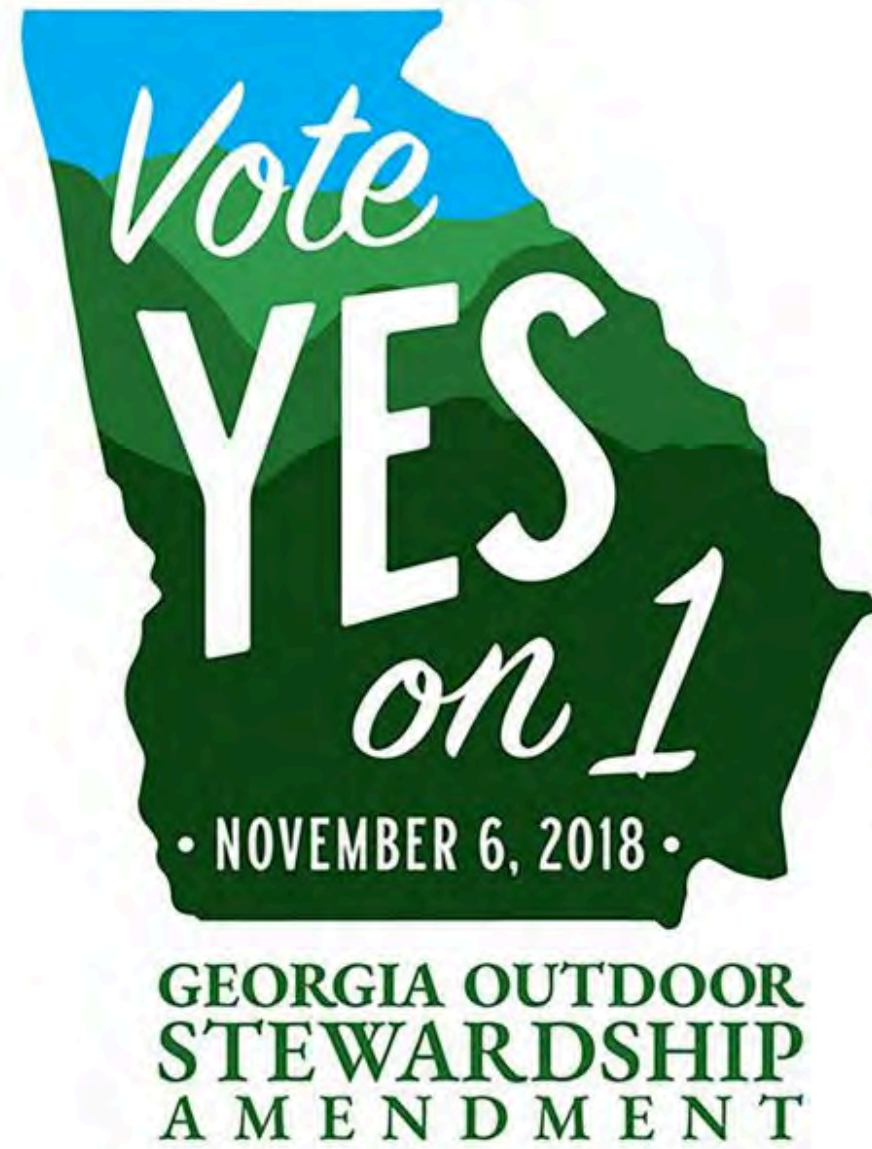
RESULTS

- 3 million people voted yes for Constitutional Amendment 2, which passed at 83.3%. It was the highest passing percentage for a constitutional amendment in state history.
- Over 643k individuals reached, over \$500k donated, recognition by former President Jimmy Carter, over 90k website visitors, 267k video views and 1,100 shares in the 4 days leading up to the vote.

"It is to Chris's credit that Amendment 2 was adopted by 83.3 percent of the Georgians casting a ballot in the November 2016 General Election. This is the largest margin by which any constitutional amendment has ever been adopted in Georgia history, including that establishing the Lottery for Education fund."

Ann Mintz | Former Sr. Director for Public Policy and Advocacy for the United Way of Greater Atlanta

3F. SIMILAR EXPERIENCE: GEORGIA OUTDOOR STEWARDSHIP AMENDMENT



3F. SIMILAR EXPERIENCE: GEORGIA OUTDOOR STEWARDSHIP AMENDMENT



A HISTORIC OPPORTUNITY TO PROTECT GEORGIA'S WATERS AND LANDS.

THE CHALLENGE

To raise awareness and educate Georgia voters that 1) We have a historic opportunity to pass the Georgia Outdoor Stewardship Amendment (GOSA) and protect Georgia waters and lands and 2) We are **not** raising or adding a new tax with GOSA because we are constitutionally dedicating a portion of an **existing sales tax** on outdoor sporting goods without raising any taxes or creating new fees for Georgia consumers.

THE SOLUTION

Build a coalition of partners from around the state and engage communities across the state. Create an engagement and content strategy that utilized direct calls to action (CTA's), non-debatable statics, digestible content, activation of a multichannel marketing strategy and the creation of an online marketing toolkit that empowered volunteers and advocates to help spread the word to their friends, neighbors and co-workers.

RESULTS

The Georgia Outdoor Stewardship Coalition was comprised of The Conservation Fund, The Georgia Conservancy, Georgia Wildlife Federation, The Nature Conservancy, Park Pride, and The Trust for Public Land. On November 6, 2018, Georgia voters passed the amendment with 83% support.

Campaign Website: <https://d35240da17.nxcli.net/>

3F. SIMILAR EXPERIENCE: GEORGIA OUTDOOR STEWARDSHIP AMENDMENT



GEORGIA OUTDOOR STEWARDSHIP AMENDMENT

About FAQ News & Resources Toolkit Join [Donate](#)

Vote YES on 1
- NOVEMBER 6, 2018 -
GEORGIA OUTDOOR STEWARDSHIP AMENDMENT

A historic opportunity to protect Georgia's waters and lands.
Vote Yes on Georgia Outdoor Stewardship Amendment 1 - November 6th, 2018

Georgia's economy and quality of life are directly tied to both the water quality of our rivers, lakes and streams and the availability and beauty of our outdoor spaces, wildlife habitats and parks.

This fall, we have a **historic opportunity** to pass the **Georgia Outdoor Stewardship Amendment** and protect our waters and lands by constitutionally dedicating a portion of the existing sales tax on outdoor sporting goods **without raising any taxes or creating new fees.**

Protect Georgia's waters and lands
Vote YES on Amendment 1

Name *
First Last
Email *

Vote YES on 1
NOV 6, 2018 · AMENDMENT 1
PROTECT GEORGIA'S WATERS & LANDS FOR FUTURE GENERATIONS
Vote YES on 1
GEORGIA OUTDOOR STEWARDSHIP AMENDMENT

Vote YES on 1
· NOVEMBER 6, 2018 ·
GEORGIA OUTDOOR STEWARDSHIP AMENDMENT

3G. SIMILAR EXPERIENCE: NCR



3G. SIMILAR EXPERIENCE: NCR



The Challenge

For decades, NCR was generally a manufacturer of ATMs and Point-of-Sale. To stay relevant, they needed to undergo a digital transformation that repositioned the company as a software and service business that helps their hospitality, retail and banking clients get the most out of a wide array of technology solutions.

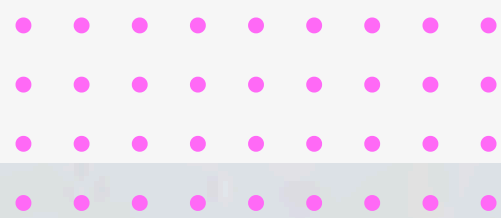
The Solution

By utilizing an unbroken, uncomplicated line that forms the many shapes of an individual client journey, we not only highlighted NCR's presence everywhere the client wants to be — but reinforced the fact that NCR is a constant partner along that journey: Always simplifying, always progressing, evolving and adaptable in its own journey, to be the number one provider of transaction software and hardware in the world.

We developed the “Simple Made Possible” campaign and a global launch plan, which was unveiled in 2020.



3G. SIMILAR EXPERIENCE: NCR



**Simple isn't easy,
but it is possible.**

Every day, we're working to make business owners like you unlock the power of simplicity to make operations easier, transactions run smoothly, and connections seamless. Giving you the freedom to focus on what really matters.

#simpleispossible



3G. SIMILAR EXPERIENCE: NCR



Simple isn't easy, but it is possible.

Every day, we're working to help business owners like you unleash the power of simplicity to make operations easier, transactions run smoothly, and connections seamless, giving you the freedom to focus on what really matters.

#simplemadepossible

Simple, made possible.

Restaurant tech running itself? Simple, made possible.

Every day, we're working to help business owners like you unleash the power of simplicity to make operations easier, transactions run smoothly, and connections seamless, giving you the freedom to focus on what really matters.

#simplemadepossible

Simple, made possible.

Automatic banking operations? Simple, made possible.

Every day, we're working to help business owners like you unleash the power of simplicity to make operations easier, transactions run smoothly, and connections seamless, giving you the freedom to focus on what really matters.

#simplemadepossible

Simple, made possible.

Unleash the power of simplicity for your retail operations.

Every day, we're working to help business owners like you unleash the power of simplicity to make operations easier, transactions run smoothly, and connections seamless, giving you the freedom to focus on what really matters.

#simplemadepossible

Simple, made possible.

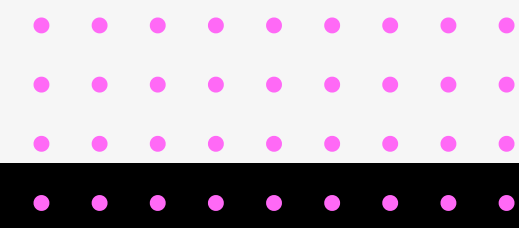
Tech that runs itself? Simple, made possible.

Every day, we're working to help business owners like you unleash the power of simplicity to make operations easier, transactions run smoothly, and connections seamless, giving you the freedom to focus on what really matters.

#simplemadepossible

Simple, made possible.

3G. SIMILAR EXPERIENCE: NCR



3G. SIMILAR EXPERIENCE: NCR



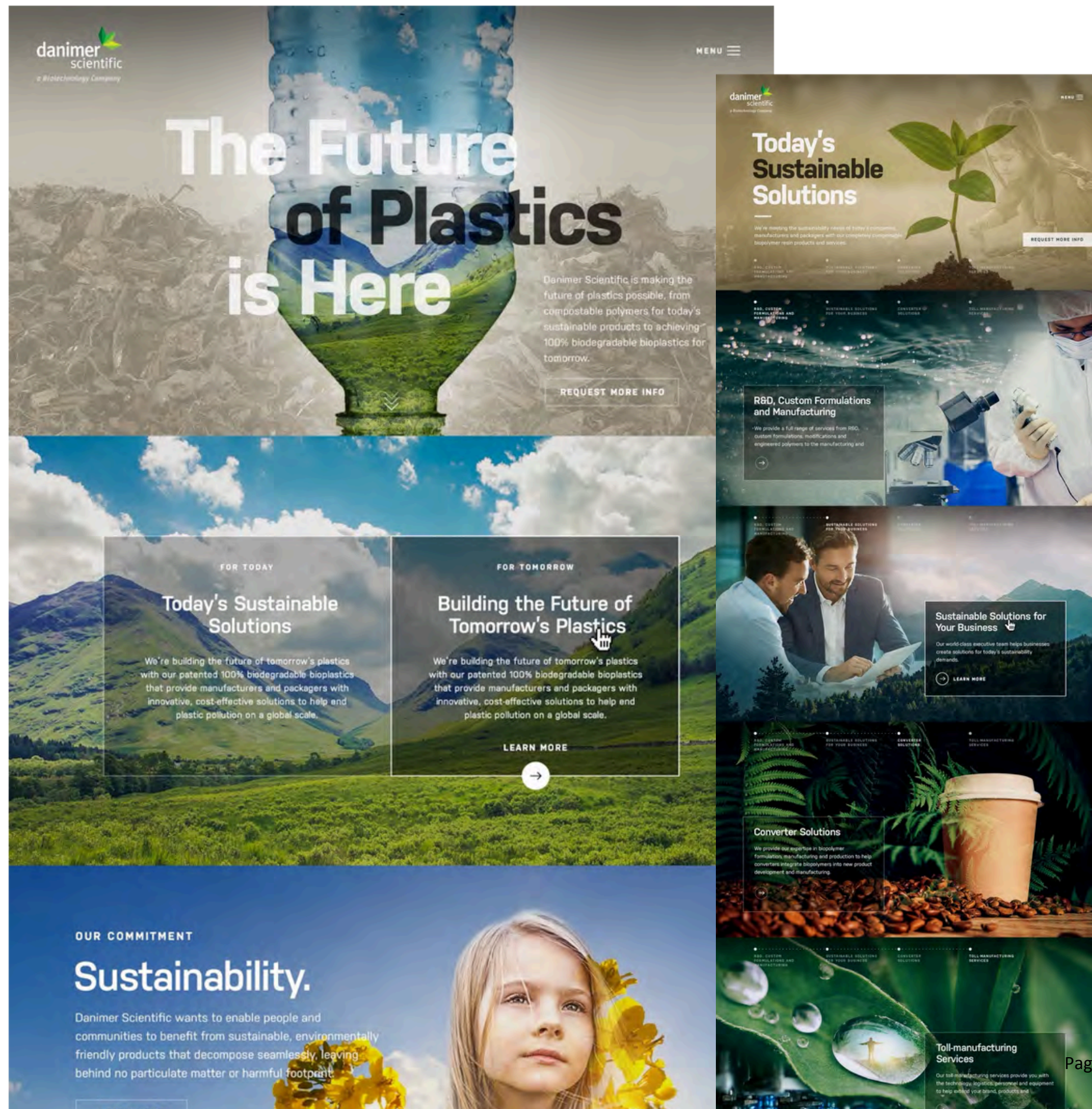
**Simple isn't easy,
but it is possible.**



3H. SIMILAR EXPERIENCE: DANIMER SCIENTIFIC



3H. SIMILAR EXPERIENCE: DANIMER SCIENTIFIC



Danimer is making the future of plastics possible, from compostable polymers for today's sustainable products to achieving the 100% biodegradable bioplastics of tomorrow.

- New brand positioning that placed Danimer Scientific as a leading innovator and a partner in sustainability – and one of the only polymer companies that has the experience, products, research and development necessary to provide its customers with proven solutions.
- The company experienced a 200% increase in marketing qualified leads after its new website launch, which was part of our work.



The Future of Plastics is Here

PROJECT PERSONNEL

4. PROJECT PERSONNEL



Chris

FOUNDER & PARTNER. INCISIVE

Chris Sizemore, Partner and Founder of INCISIVE, has delivered effective and measurable marketing and communications solutions to clients for more than 15 years. He infuses a sense of purpose into the agency's work for clients, which includes for-profit organization, government and non-profit organizations such as Bartow County, Cobb County, Douglas County, City of Atlanta, University of West Georgia and Buckhead Coalition as well private sector businesses such as The Integral Group and large, global public companies.

Prior to INCISIVE, Chris was the founder and CEO of Creative Mischief, an award-winning digital agency based in Atlanta. His worked for clients including NCR, The Carter Center, TSYS, United Way, Atlanta Brewing, First Data, Georgia Chamber of Commerce, Atlanta Technical College and Locate South Georgia.

A proud Georgian raised in Fayette County, Chris strives to create an exceptional experience for clients by listening to their needs and concerns twice as much as he talks. He calls it "My Southern Way" and it's a hallmark of his commitment to hearing and including all voices when tackling complex issues.

Chris serves as the Chair of the Atlanta Fire Rescue Foundation and is a board member of LiveSafe Resources, Emory University Center of Ethics, Fulton Education Foundation, Kennesaw State University Bagwell College of Education, Titan 100, and SelectCobb.

Chris was named an Atlanta Business Chronicle 2024 Leaders in Corporate Citizenship Award Recipient and is a member of Leadership Georgia Class of 2023, Leadership Douglas Class of 2022, Atlanta Regional Commission's Regional Leadership Institute (RLI) Class of 2021, Leadership Cobb Class of 2020 and Leadership Atlanta Class of 2019. He was named a Georgia Titan 100 CEO 2024 Hall of Fame Inductee and a 2022 and 2023 Georgia Titan 100 CEO Award Winner. He was named to both the Atlanta Business Chronicle and Georgia Trend 40 Under 40 lists.

When he's not working on behalf of clients or serving the community, you can find Chris fixing and tinkering with just about everything around the house, hanging out with his oldest son Noah, throwing a softball with his daughter Haven or cheering on the soccer field for his son Cooper.

4. PROJECT PERSONNEL



Sonji

MANAGING PARTNER, INCISIVE



Sonji Jacobs, Managing Partner of INCISIVE, brings nearly 30 years of experience in communications strategy, media relations, reputation management and public affairs experience to the agency and its clients. Prior to INCISIVE, she served as Vice President, Corporate Communications and Public Affairs at Cox Enterprises, rising through the company's ranks for a decade to lead a 30+ member team of professionals charged with executive and employee communications, digital and social media platforms, content development, public relations, and external affairs.

Before joining Cox, she was Director of Communications for the City of Atlanta from 2010-2013 and is credited for raising the city's profile and deftly crafting effective communication strategies around challenging issues, especially those involving public safety. As Vice President, Crisis, Issues Management and Public Affairs at Edelman, she helped private companies and nonprofits navigate reputational risks, legal challenges, accidents, and employee labor issues. Earlier in her career, she was a reporter for The Miami Herald and the Atlanta Journal-Constitution. She cut her teeth in marketing and advertising at the Leo Burnett Company in Chicago, working on accounts such as Reebok and Walt Disney World.

Sonji is a member of the Leadership Atlanta Class of 2016, the Atlanta Regional Commission's RLI Class of 2012, and was named to both the Atlanta Business Chronicle and Georgia Trend 40 Under 40 lists. Her teams have received numerous awards and accolades from organizations such as the International Association of Business Communicators and the Public Relations Society of America. She serves as the chair of the North Carolina Outward Bound School board of directors and is a vice chair of the Zoo Atlanta board of directors. She also serves as a member of the Hope Atlanta advisory council.

A native New Yorker, Sonji earned her Bachelor of Arts cum laude in History and Literature from Harvard University and a Master of Science in Journalism from Columbia University. In May 2023, she earned an executive MBA from Goizueta Business School at Emory University, where she was elected Class Commencement Orator and won the Marketing Faculty Honor Award. Sonji is the proud mom of Sonali, Wellesley College Class of 2026, and enjoys traveling, hiking, playing golf and reading.

INCISIVE

ABOUT INCISIVE



INCISIVE is a strategic communications and marketing firm that focuses on visual brand identity, digital/social content creation, narrative development and alignment, public affairs, and issues and reputation management.

Launched in 2022, INCISIVE stands apart from other firms because we focus on clients driven by purpose. We strive to help them become more conscious of their impact and to drive positive change by building connections and coalitions among diverse groups of people. We have a solutions-driven and people-first ethos and believe in the power of connecting like-minded individuals to overcome obstacles and achieve goals.

Our team has more than 35 years of collective experience delivering proven communications and marketing results for a range of clients, including CEOs and political leaders, corporations and government agencies, and nonprofits seeking new ways to engage and activate stakeholders and change hearts and minds.

We are trusted advisors who are passionate about helping our clients effectively tell their story. Our work is rooted in collaboration and relationship-building, and we spark positive change and growth through solutions-based branding, communications and marketing initiatives that lead to inspiring new ideas and positive outcomes.

As dedicated thought-partners, we actively listen to our clients and offer candid and game-changing counsel and insights. We add on the pillars of openness, honesty and transparency and cover it with trust, and there you have the guiding principles of everything we do at INCISIVE.

SERVICES



COMMUNICATIONS

Executive & C-Suite | Messaging | Narrative Adjustment & Alignment | Public Relations | Crisis Communications | Issues Management | Earned & Paid Media



CREATIVE + DESIGN

Brand Identity | Idea Generation | Visual & Graphic Concepts | Brand Collateral Development | Testing



MARKETING

Content Marketing | Social Media | Digital Marketing | Websites + UX | Copywriting | Data Analytics | Geofencing | Marketing Audits



PUBLIC AFFAIRS

Reputation Management | Issues Management | Stakeholder Engagement | Relationship Building | Board Governance | Research | Focus Groups & Polling | Referendum Campaign Development and Management

OUR ETHOS

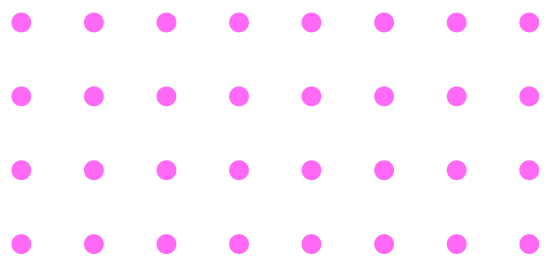


We spark positive change and growth for our clients through inspiring ideas and solutions that are rooted in principles and purpose.

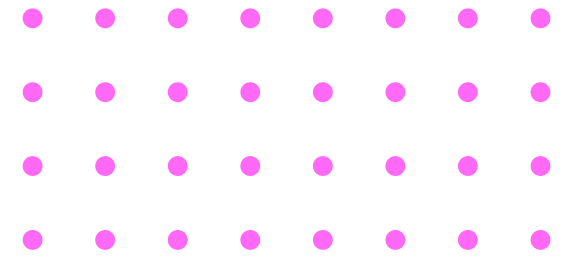
We know it all begins with integrity. That's the foundation of how we run our agency. We add on the pillars of openness, honesty and transparency and cover it with trust, and there you have the guiding principles of everything we do at **INCISIVE**.

We believe in partnering and collaborating with our clients to develop solutions that lead to other, better possibilities and opportunities. We will always do what is right for our clients and their customers, employees and stakeholders.

We are in the business of helping our clients succeed through clear-thinking, strong relationships and purposeful actions that unleash their full potential, as well as our communities and neighbors.



INCISIVE.IS



DRIVEN BY

A passion for helping our clients succeed. We are a communications, marketing, brand and public affairs agency that delivers business solutions based on data, research and smart analytics.

REFINED BY

A commitment to always doing what is right for our clients, customers, employees and stakeholders. We begin by listening first. We believe in partnership and collaboration to find other, better and often unexpected possibilities and opportunities.

BUILT ON

A long track record of earning trust through hard work and integrity. We are in the business of unleashing the full potential of our clients through candid counsel, strong relationships and purposeful actions.

A FEW CLIENT PARTNERSHIPS



THE CARTER CENTER



THANK YOU

If you have any additional questions,
please reach out at any time.

Chris Sizemore
Founder & Partner
Chris@INCISIVE.is
770.714.8655

Sonji Jacobs
Managing Partner
Sonji@INCISIVE.is
404.333.2893

www.INCISIVE.is

Cost Proposal

Scope Requirements	Cost
1. Project Launch Conversations and City Council Meetings <ul style="list-style-type: none"> ● Meetings with Economic Development team and Communications team to fully understand the expectations of the project. ● Discussions to clarify any questions surrounding “look and feel” and City of Tucker branding. ● Presentation/speaking at initial City Council meeting for proposal approval. ● Presentation of finalized materials to City Council during Regularly Scheduled meeting 	\$5,000.00
2. Deliverables Creation <ul style="list-style-type: none"> ● Creation of digital PDFs with editable versions for updating of data items over time ● Creation of high-resolution PDFs for print 	\$15,000.00
3. Printing of Deliverables <ul style="list-style-type: none"> ● Printing of high-resolution versions of all finalized deliverables – fifty (50) of each deliverable 	\$5,000.00
TOTAL Cost Proposal	\$25,000.00


Company Name: INCISIVE LLC

Address: 2275 Marietta Blvd. NW, Suite 270, Unit 346, Atlanta, GA 30318

Contact Person: Chris Sizemore, Founder and Partner

Phone Number: 770-714-8655

Email Address: chris@incisive.is

Signature: 

Request for Taxpayer Identification Number and Certification

**Give Form to the
 requester. Do not
 send to the IRS.**

▶ Go to www.irs.gov/FormW9 for instructions and the latest information.

1 Name (as shown on your income tax return). Name is required on this line; do not leave this line blank.

INCISIVE LLC

2 Business name/disregarded entity name, if different from above

3 Check appropriate box for federal tax classification of the person whose name is entered on line 1. Check only one of the following seven boxes.

Individual/sole proprietor or single-member LLC C Corporation S Corporation Partnership Trust/estate

Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ▶ _____

Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do not check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.

Other (see instructions) ▶ _____

4 Exemptions (codes apply only to certain entities, not individuals; see instructions on page 3):

Exempt payee code (if any) _____

Exemption from FATCA reporting code (if any) _____

(Applies to accounts maintained outside the U.S.)

5 Address (number, street, and apt. or suite no.) See instructions.

2275 Marietta Blvd. NW Suite 270, #346

6 City, state, and ZIP code

Atlanta, GA 30318

7 List account number(s) here (optional)

Requester's name and address (optional)

Print or type. See Specific Instructions on page 3.

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, later. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, later.

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number To Give the Requester* for guidelines on whose number to enter.

Social security number									

OR

Employer identification number									
8	6	-	3	1	4	9	2	1	1

Part II Certification

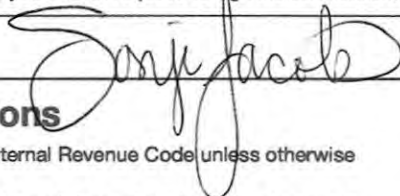
Under penalties of perjury, I certify that:

1. The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
2. I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
3. I am a U.S. citizen or other U.S. person (defined below); and
4. The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You must cross out item 2 above if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, later.

Sign Here

Signature of U.S. person ▶



Date ▶ April 21, 2024

General Instructions

Section references are to the Internal Revenue Code unless otherwise noted.

Future developments. For the latest information about developments related to Form W-9 and its instructions, such as legislation enacted after they were published, go to www.irs.gov/FormW9.

Purpose of Form

An individual or entity (Form W-9 requester) who is required to file an information return with the IRS must obtain your correct taxpayer identification number (TIN) which may be your social security number (SSN), individual taxpayer identification number (ITIN), adoption taxpayer identification number (ATIN), or employer identification number (EIN), to report on an information return the amount paid to you, or other amount reportable on an information return. Examples of information returns include, but are not limited to, the following.

- Form 1099-INT (interest earned or paid)

- Form 1099-DIV (dividends, including those from stocks or mutual funds)
 - Form 1099-MISC (various types of income, prizes, awards, or gross proceeds)
 - Form 1099-B (stock or mutual fund sales and certain other transactions by brokers)
 - Form 1099-S (proceeds from real estate transactions)
 - Form 1099-K (merchant card and third party network transactions)
 - Form 1098 (home mortgage interest), 1098-E (student loan interest), 1098-T (tuition)
 - Form 1099-C (canceled debt)
 - Form 1099-A (acquisition or abandonment of secured property)
- Use Form W-9 only if you are a U.S. person (including a resident alien), to provide your correct TIN.
- If you do not return Form W-9 to the requester with a TIN, you might be subject to backup withholding. See What is backup withholding, later.*



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/23/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Stallings Insurance Agency 6588 Church St Douglasville GA 30134		CONTACT NAME: Whitney Ward PHONE (A/C No. Ext): (678) 805-0071 E-MAIL ADDRESS: whitni@stallingsia.com	FAX (A/C, No): (678) 433-9939
INSURED Incisive 2275 Marietta Blvd NW Suite 270 #346 Atlanta GA 30318		INSURER(S) AFFORDING COVERAGE INSURER A: NORTHPOINT UNDERWRITERS INSURER B: HISCOX INSURER C: INSURER D: INSURER E: INSURER F:	

COVERAGES **CERTIFICATE NUMBER:** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	X		P103.289.541	04/23/2024	04/23/2025	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		Y / N	N / A			PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER	CANCELLATION
	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>Whitni Ward</i>



GEORGIA SECURITY AND IMMIGRATION COMPLIANCE ACT AFFIDAVIT

GEORGIA E-Verify and Public Contracts: The Georgia E-Verify law requires contractors and all sub-contractors on Georgia public contract (contracts with a government agency) for the physical performance of services over \$2,499 in value to enroll in E-Verify, regardless of the number of employees.

Contractor Name:	INCISIVE LLC
Solicitation/Bid number or Project Description:	RFP 2024-007 Economic Development Pitch Deck

By executing this affidavit, the undersigned contractor verifies its compliance with O.C.G.A. § 13-10-91, stating affirmatively that the individual, entity or corporation which is engaged in the physical performance of services under a contract on behalf of the City of Tucker, Georgia has registered with, is authorized to use and uses the federal work authorization program commonly known as E-Verify, or any subsequent replacement program, in accordance with the applicable provisions and deadlines established in O.C.G.A. § 13-10-91.

Furthermore, the undersigned contractor will continue to use the federal work authorization program throughout the contract period as required by O.C.G.A. § 13-10-91(b) and the undersigned contractor will contract for the physical performance of services in satisfaction of such contract only with subcontractors who present and affidavit to the contractor with the information required by O.C.G.A. § 13-10-91(b). Contractor hereby attests that its federal work authorization user identification number and date of authorization are as follows:

86-3149211
Federal Work Authorization User Identification Number
(EEV/E-Verify Company Identification Number)

March 21, 2023
Date of Authorization

INCISIVE LLC
Name of Contractor

I hereby declare under penalty of perjury that the foregoing is true and correct

Sonji Jacobs
Printed Name (of Authorized Officer or Agent of Contractor)

Managing Partner
Title (of Authorized Officer or Agent of Contractor)

[Signature]
Signature (of Authorized Officer or Agent)

April 18, 2024
Date Signed

SUBSCRIBED AND SWORN BEFORE ME ON THIS THE

18 DAY OF April, 20 24

[Signature]
Notary Public

[NOTARY SEAL]

My Commission Expires: 03/25/25



Contact Information Form

Please fill out this form with the appropriate contact information for your company.

Full Legal Name of Company: **INCISIVE LLC**

Date: April 21, 2024

Contractor Information:

Primary Contact Person: Sonji Jacobs
Title: Managing Partner
Telephone Number: 404-333-2893
E-mail Address: sonji@incisive.is

Secondary Contact Person: Chris Sizemore
Title: Founder & Partner
Telephone Number: 770-714-8655
E-mail Address: chris@incisive.is

Preferred Contact for Administration: (i.e. Document Processing) (Choose one)

Primary Contact Secondary Contact

Address: INCISIVE LLC.
2275 Marietta Blvd. NW
Suite 270 #346
City / State / Zip: Atlanta, GA 30318

Mailing Address (If different than above): Same as above
City / State / Zip:

Federal Employee ID Number (FEIN): 86-3149211

CITY OF TUCKER

ACKNOWLEDGE RECEIPT OF ADDENDUM #1 FORM

RFP #2024-007

ECONOMIC DEVELOPMENT PITCH DECK

Upon receipt, please print and add to your proposal.

I hereby acknowledge receipt of the supplement pertaining to the above referenced bid.

COMPANY NAME: INCISIVE LLC.

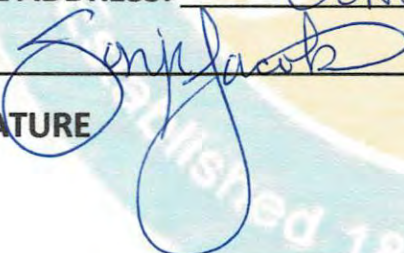
CONTACT PERSON: SONJI JACOBS

ADDRESS: 2275 MARIETTA BLVD, NW SUITE 2570, #346

CITY: ATLANTA STATE: GA ZIP: 30318

PHONE: (404) 333-2893 FAX: NA

EMAIL ADDRESS: SONJI@INCISIVE.US

 April 21, 2024

SIGNATURE DATE



City of Tucker

MEMO

To: Honorable Mayor and City Council Members
From: Courtney Smith, Community Development Director
CC: John McHenry, City Manager
Date: May 7, 2024
RE: Memo for SLUP-24-0002, CV-24-0001 and CV-24-0002 (Jim 'N Nick's)

Contract/Document Number: O2024-05-07

Description for on the Agenda:

- First read and public hearing of an ordinance for a special land use permit (SLUP-24-0002) and concurrent variances (CV-24-0001; CV-24-0002) for a drive-through restaurant at 4800 Briarcliff Road, NE for applicant Jim 'N Nick's Management, LLC.

Issue:

The applicant, Jim 'N Nick's Management, LLC, is requesting a Special Land Use Permit (SLUP) with two concurrent variances for the property located at 4800 Briarcliff Road NE to allow for a restaurant with a drive-through configuration in the NL-1 (Northlake High-Intensity Commercial) zoning district. The subject parcel is approximately 17.82 acres; however, the proposed restaurant would be situated on a small corner of the site fronting Briarcliff Road. The proposed area is currently developed with a surface parking lot for the greater Northlake Mall development.

Restaurants with a drive-through configuration are only allowed in the Northlake special zoning districts (NL-1, NL-2 and NL-3) with the approval of a SLUP to ensure compatibility with surrounding developments and consistency with the City of Tucker's Comprehensive Plan. The applicant is requesting relief from the 20' maximum front setback distance in the NL-1 zoning district (CV-24-0001) and relief from the 65 percent storefront fenestration requirement (Briarcliff frontage) in the Northlake special zoning districts (CV-24-0002).

Recommendation:

Staff recommends approval with conditions of SLUP-24-0002, CV-24-0001, and CV-24-0002.

Planning Commission recommends approval with modified conditions of SLUP-24-0002, CV-24-0001, and CV-24-0002.

Background:

The proposed restaurant would be a 4,800 square foot facility with both indoor and outdoor seating, a double drive-through configuration (two lanes), a takeout entry along the western building façade, a shared parking area with both LensCrafters and the greater Northlake Mall area and a pedestrian entry point from the existing sidewalk along Briarcliff Road. No new curb cuts are proposed along Briarcliff Road as all access will be internal to the mall property. A screened dumpster is proposed along the eastern side of the development, fronting the internal exit lanes from the mall.

Summary:

While the proposed use is not entirely consistent with the Town Center Character Area, staff does not believe this use would cause a disproportionate proliferation of drive-through facilities or be detrimental to the intents of the NL-1 zoning district and the

Town Center Character Area. Potential impacts can be mitigated by future developments that further transform the mall property from a sea of surface parking lots to a higher-density mixed-use development.

Financial Impact: N/A

AN ORDINANCE FOR SPECIAL LAND USE PERMIT (SLUP-24-0002) IN LAND LOT 209 OF THE 18th DISTRICT TO ALLOW FOR A DRIVE-THROUGH RESTAURANT AT 4800 BRIARCLIFF ROAD NE FOR JIM ‘N NICK’S MANAGEMENT, LLC.

WHEREAS: Notice to the public regarding said special land use permit and concurrent variances have been duly published in The Champion, the Official News Organ of Tucker; and

WHEREAS: A Public Hearing was held by the Mayor and City Council of Tucker on May 13, 2024 and June 10, 2024;

WHEREAS: The Mayor and City Council is the governing authority for the City of Tucker;

WHEREAS: The Mayor and City Council have reviewed the special land use and concurrent variance requests based on the criteria found in Section 46-1594 and Section 46-1633 of the Zoning Ordinance of the City of Tucker;

NOW THEREFORE, the Mayor and City Council of the City of Tucker while in Regular Session on June 10, 2024 hereby ordains and approves Special Land Use Permit 24-0002 to allow for a drive through restaurant, subject to the following conditions.

1. The property shall be developed in general conformance with the site plan stamped “RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept.”
2. The maximum front setback for the drive-through restaurant shall be increased to thirty-five (35) feet, per the site plan stamped “RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept” (CV-24-0001).
3. The fenestration requirement for the façade along Briarcliff Road shall be reduced to 18.5 percent, per the elevations stamped “RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept” (CV-24-0002).
4. A landscape plan shall be submitted with the Land Disturbance Permit (LDP), subject to review and approval of the Community Development Director.
5. A mix of trees, shrubs, and ground cover shall be planted in the landscape strip between the two vehicular travel lanes and Briarcliff Road to screen the appearance of the travel lanes between the building and the street.

6. The drive-through canopies, windows, and lanes shall comply with the requirements of Section 46-1045 and Section 46-1166.

SO EFFECTIVE this 10th day of June 2024.

Approved by:

Frank Auman, Mayor

Attest:

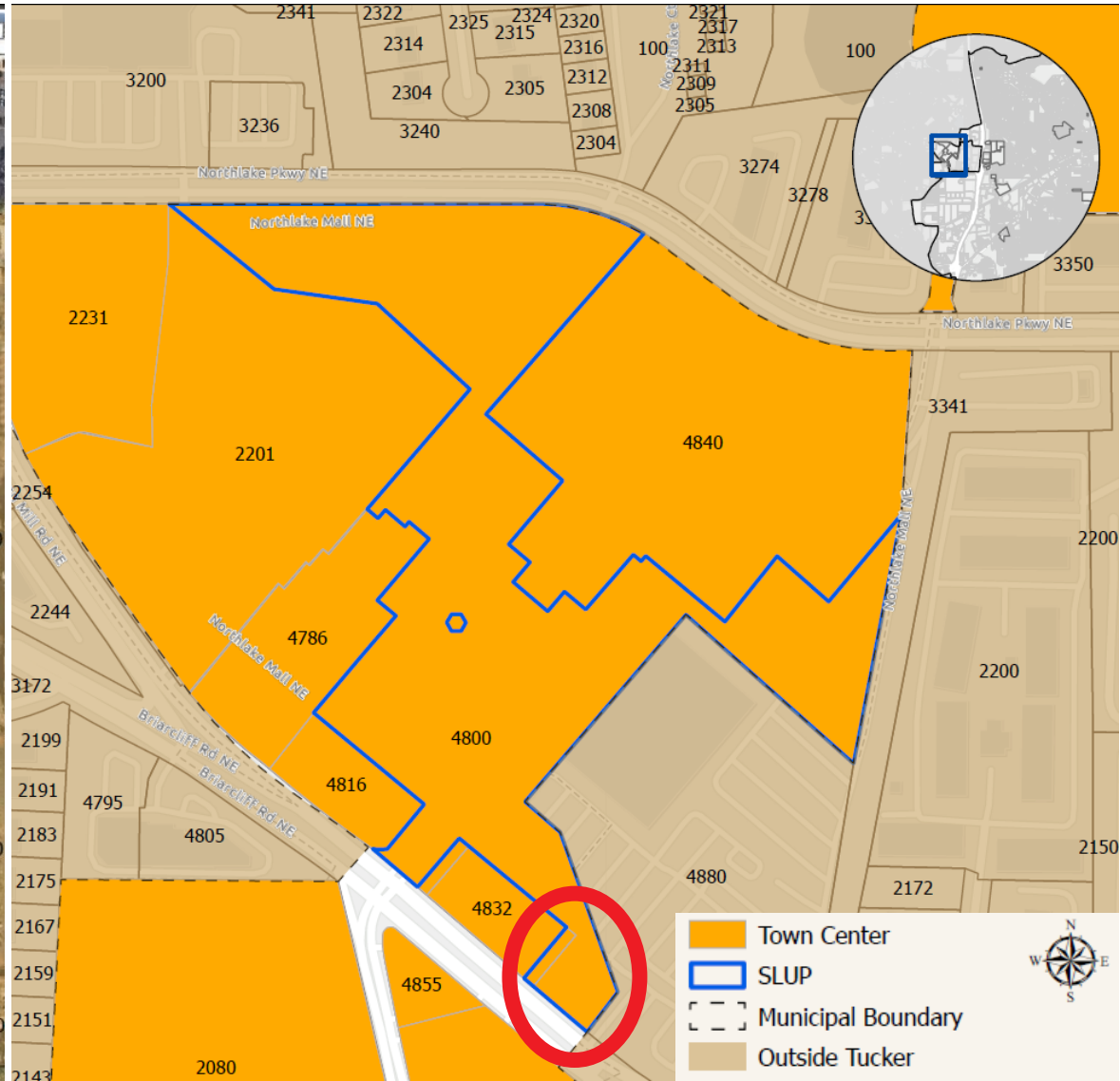
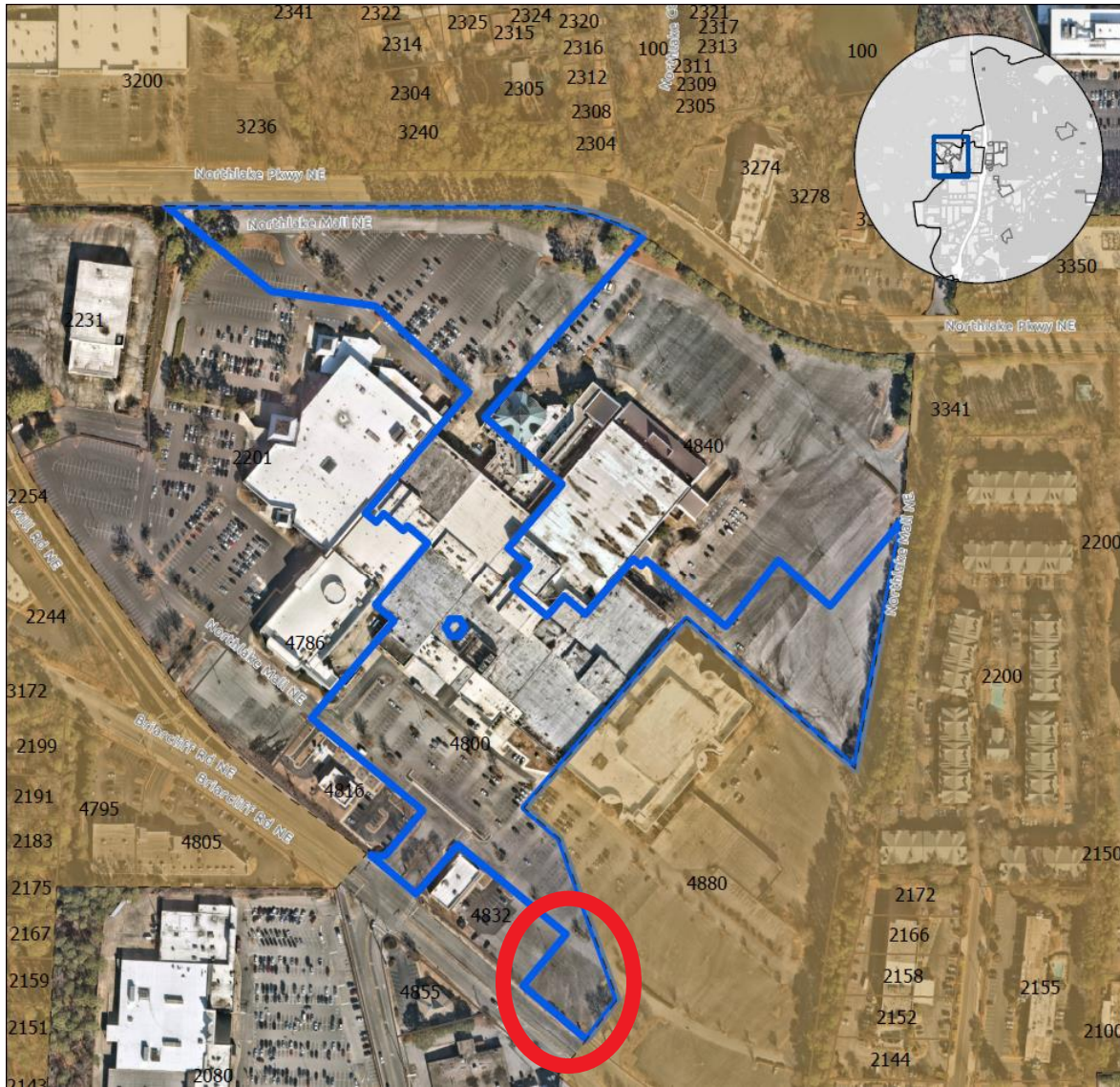
Bonnie Warne, City Clerk

SEAL

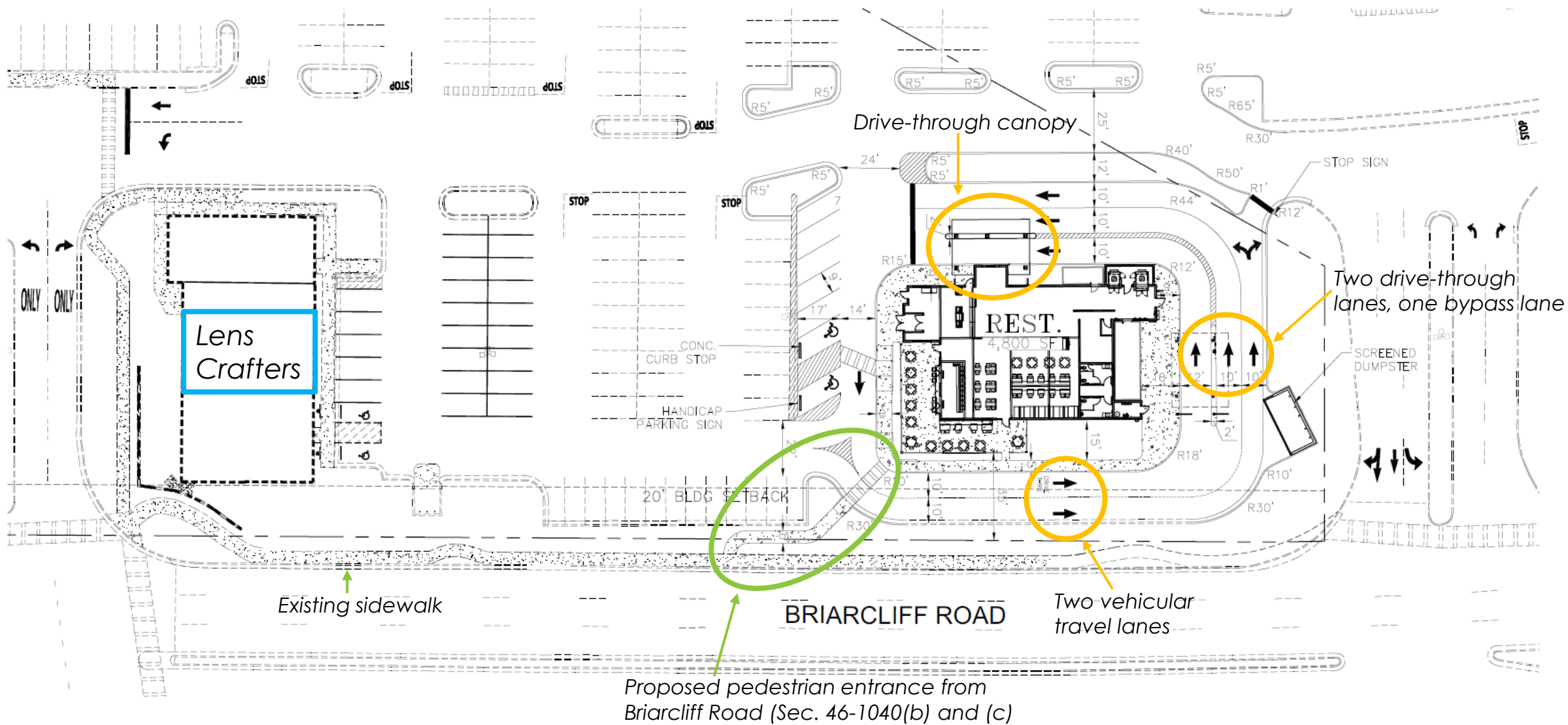
SLUP-24-0002

PROPERTY LOCATION:	4800 Briarcliff Road NE
LAND LOT/DISTRICT:	Land Lot 209, Land District 18
EXISTING ZONING:	NL-1 (Northlake High-Intensity Commercial)
CHARACTER AREA:	Town Center
PARCEL SIZE:	±17.82 acres
PETITIONER:	Jim 'N Nick's Management, LLC
REQUEST:	Special Land Use Permit to allow a double drive-through restaurant with two concurrent variances for front setback and storefront fenestration.

Aerial & Future Land Use (Character Area) Maps



Proposed Site Plan



SLUP Analysis

- Restaurants with a drive-through configuration require a SLUP in the NL districts to determine whether the use has operational characteristics and/or impacts that are significantly different from the district's principal authorized uses.
- Drive-through configurations in Northlake must adhere to regulations in both Sec. 46-1045 (only Northlake) and Sec. 46-1166 (citywide).
- The NL-1 zoning district encourages the most intense mixed-use development in Tucker, as well as the redevelopment of parking lots into retail, office, and residential uses. Other drive-through configurations, both restaurant and otherwise, exist in the area.
- The proposed restaurant would follow a string of recent developments in and around Northlake Mall (i.e., CDC Federal Credit Union, LensCrafters, Primrose Schools, Dugan's, etc.).

SLUP Analysis – Supplemental Regulations

Section 46-1045. Drive-thru facilities.

- Discusses the screening of drive-thru windows and lanes by a continuous compact evergreen hedge, or a minimum 4' screening wall in lieu of the evergreen hedge.
 - *This will be finalized during permitting.*

Section 46-1045. Drive-through facility; restaurant.

- Discusses the location of drive-through lanes and service windows in relation to the property lines and public street frontages, as well as the proximity of drive-through configurations to residential uses. Also outlines the allowable location of speaker boxes, the minimum number of stacking spaces required, and the setback requirements for drive-through lanes.
 - *At present, the proposal appears to comply with all supplemental regulations in this section.*

SLUP Analysis – Comprehensive Plan

Tucker Tomorrow - 2023 Comprehensive Plan Update

TOWN CENTER

The **Town Center Character Area** is a new category for the City of Tucker, replacing the previous designation of **Regional Center**. This change aligns with the changes DeKalb County made to their portion of the **Northlake Area** with their **2050 Unified Plan**.

The intent of the Town Center is to promote the concentration of higher intensity residential and commercial uses, which serve several communities surrounding the center, in order to reduce automobile travel, promote walkability and increased transit usage. The areas act as a focal point for several neighborhoods with moderate densities and a variety of activities such as retail, commercial, professional office, housing, and public open space that are all easily accessible by pedestrians. Town Centers are typically smaller in size and scale than Regional Centers and have a character similar to Neighborhood Centers, but at a larger scale.

Primary Land Uses

- Townhomes
- Higher density multi-family including apartments and condominiums
- Retail and service commercial
- Office
- Entertainment and cultural facilities
- Public and private recreational uses

Development Strategy

As Northlake is mostly developed, these strategies focus on redeveloping and retrofitting the area to include more residential uses, to “right-size” the amount of commercial space to meet expected demand and to enhance walkability. Strategies include:

- Encouraging relatively high-density mix of retail, office, services, and employment to serve a regional market area.
- Developing a diverse mix of higher-density housing types, including multi-family townhomes, apartments, lofts, and condominiums, including affordable and workforce housing.
- Designing the area’s streetscapes to be pedestrian-oriented, with strong, walkable connections, including improved MARTA transit connections with better route operations, stops, and shelters.
- Making connections to nearby networks of greenspace or trails, available to pedestrians and bicyclists for both recreation and transportation purposes.

Design Considerations

- Allow a mix of townhomes and higher density residential uses, with higher densities allowed for projects that provide bonus eligible elements and features.
- Encourage better connectivity within the Northlake area, for automobiles, bicyclists and pedestrians.
- Promote the integration of pedestrian and bicycle enhancements into all investments in this area, designing streetscapes to be pedestrian-oriented, with strong, walkable connections.

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Plan Implementation & Community Work Program

TOWN CENTER

- Encourage “interior” walkway paths through existing parking lots and commercial frontages to create a safer, inviting environment away from congested, primary thoroughfares.
- Require connections to nearby networks of greenspace or trails, available to pedestrians and bicyclists for both recreation and transportation purposes.



Plan Implementation & Community Work Program

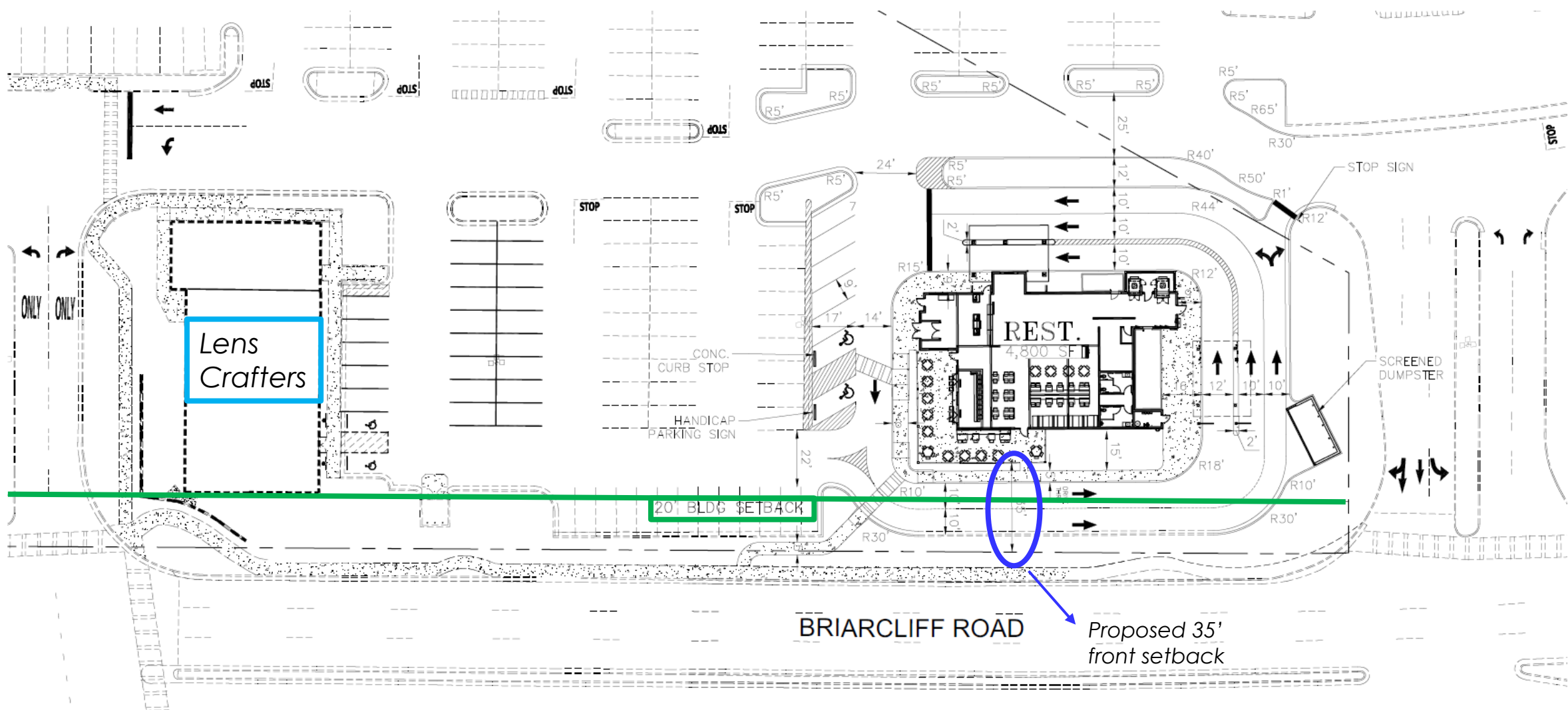
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The Town Center Character Area encourages a reduction in automobile travel, promoting walkability, and improved transit connections.

CV-24-0001

- Sec. 46-1036 (Dimension requirements, Northlake) includes a 0' min. / 20' max. front setback for properties in the NL-1 zoning district.
- **A concurrent variance is requested to increase the max. front building setback along Briarcliff Road from 20' to 35'.**

Proposed Site Plan



CV-24-0001

- The lot is somewhat shallow, in terms of accommodating a double drive-through. The need for two vehicular travel lanes pushes the building behind the 20' maximum setback.
- The applicant is requesting the minimum necessary to afford relief.
- Granting the variance would bring the overall site more into compliance by removing an area of surface parking and adding an active use along Briarcliff.
- Literal interpretation and strict application of applicable requirements could cause undue and unnecessary hardship.
- The proposal does not meet the full spirit and purpose of the Town Center Character Area; however, Staff is optimistic that continued redevelopment of the Mall will encourage an overall master plan that will achieve the vision of the
Comp. Plan.

CV-24-0002

- Sec. 46-1040(g) (Building form and design, Northlake) includes a minimum of 65 percent fenestration for a storefront along a public street.
 - Briarcliff Road is the only public street impacting this development.
- **A concurrent variance is requested to reduce the minimum storefront fenestration requirement along a public street from 65 percent to 18.5 percent.**

CV-24-0002



2 BRIARCLIFF ROAD / SOUTHEAST ELEVATION
 A2.1 1/4" = 1'-0"

65% Fenestration required on this elevation
 Wall elevation total from Height of finished floor to wall plate : 1002 sf
 Total Glass provided: 186 sf
 As percentage 18.5%
 Glass / windows are on all areas not in kitchen or restrooms.



CV-24-0002

- Possible layouts of the site are limited by the size and shape of the lot; although the proposed interior layout results in restroom and back of house space along the Briarcliff frontage, the site layout allows for the safest flow of multi-modal traffic.
- The requested variance does not go beyond the minimum necessary to afford relief, as other design elements are incorporated on the façade.
- The proposed elevation along Briarcliff Road is architecturally intriguing without meeting the 65 percent fenestration threshold.
- Literal interpretation and strict application of applicable requirements could cause undue and unnecessary hardship by substantially altering the site layout.
- The proposed variance is not entirely in line with the spirit and purpose of the Comprehensive Plan; however, since the pedestrian entry point from Briarcliff Road leads to the most engaging corner of the building, the requested variance attempts to meet the intent of the Comp. Plan.

Staff Recommendation

Based upon the findings and conclusions herein, staff recommends approval with conditions of SLUP-24-0002, CV-24-0001, and CV-24-0002.

Staff Recommended Conditions

1. The property shall be developed in general conformance with the site plan stamped “RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept.”
2. The maximum front setback for the drive-through restaurant shall be increased to thirty-five (35) feet, per the site plan stamped “RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept” (CV-24-0001).
3. The fenestration requirement for the façade along Briarcliff Road shall be reduced to 18.5 percent, per the elevations stamped “RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept” (CV-24-0002).
4. A landscape plan shall be submitted with the Land Disturbance Permit (LDP), subject to review and approval of the Community Development Director.
5. A mix of trees, shrubs, and ground cover shall be planted in the landscape strip between the two vehicular travel lanes and Briarcliff Road to screen the appearance of the travel lanes between the building and the street.
6. The drive-through canopies, windows, and lanes shall comply with the requirements of Section 46-1045 and Section 46-1166.

Planning Commission Recommended Conditions

1. The property shall be developed in general conformance with the site plan stamped “RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept.”
2. The maximum front setback for the drive-through restaurant shall be increased to thirty-five (35) feet, per the site plan stamped “RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept” (CV-24-0001).
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6. The drive-through canopies, windows, and lanes shall comply with the requirements of Section 46-1045 and Section 46-1166.
7. **The site will be in compliance with Tucker City Ordinance Sec. 22-765, Applicability Criteria for Stormwater Management Standards.**

SLUP-24-0002 DATES

Mayor & City Council, 1st Read

May 13, 2024

Mayor & City Council, 2nd Read

June 10, 2024



City of Tucker
1975 Lakeside Parkway
Tucker, GA 30084



678-597-9040



Tuckerga.gov



info@tuckerga.gov



Land Use Petitions: SLUP-24-0002, CV-24-0001, CV-24-0002

Planning Commission: April 18, 2024

Mayor and City Council, 1st Read: May 13, 2024

Mayor and City Council, 2nd Read: June 10, 2024

PROJECT LOCATION:	4800 Briarcliff Road NE
APPLICATION NUMBER:	SLUP-24-0002
DISTRICT/LANDLOT(S):	18 th District, Land Lot 209
ACREAGE:	±17.82 acres
EXISTING ZONING:	NL-1 (Northlake High-Intensity Commercial)
EXISTING LAND USE:	Northlake Mall / Surface parking area for Northlake Mall
FUTURE LAND USE MAP DESIGNATION:	Town Center
OVERLAY DISTRICT:	N/A
APPLICANT:	Jim 'N Nick's Management, LLC
OWNER:	ATR Corinth Properties
PROPOSED DEVELOPMENT:	SLUP to allow a double drive-through restaurant with two concurrent variances for front setback and storefront fenestration
STAFF RECOMMENDATION:	APPROVAL with conditions of SLUP-24-0002 (restaurant with drive-through) APPROVAL of CV-24-0001 (maximum front setback) APPROVAL of CV-24-0002 (storefront fenestration)

Project Data and Background

The applicant, Jim 'N Nick's Management, LLC, is requesting a Special Land Use Permit (SLUP) with two concurrent variances for the property located at 4800 Briarcliff Road NE to allow for a restaurant with a drive-through configuration in the NL-1 (Northlake High-Intensity Commercial) zoning district. The subject parcel is approximately 17.82 acres; however, the proposed restaurant would be situated on a small corner of the site fronting Briarcliff Road. The proposed area is currently developed with a surface parking lot for the greater Northlake Mall development.

Restaurants with a drive-through configuration are only allowed in the Northlake special zoning districts (NL-1, NL-2 and NL-3) with the approval of a SLUP to ensure compatibility with surrounding developments and consistency with the City of Tucker's Comprehensive Plan. The applicant is requesting relief from the 20' maximum front setback distance in the NL-1 zoning district (CV-24-0001) and relief from the 65 percent storefront fenestration requirement (Briarcliff frontage) in the Northlake special zoning districts (CV-24-0002).

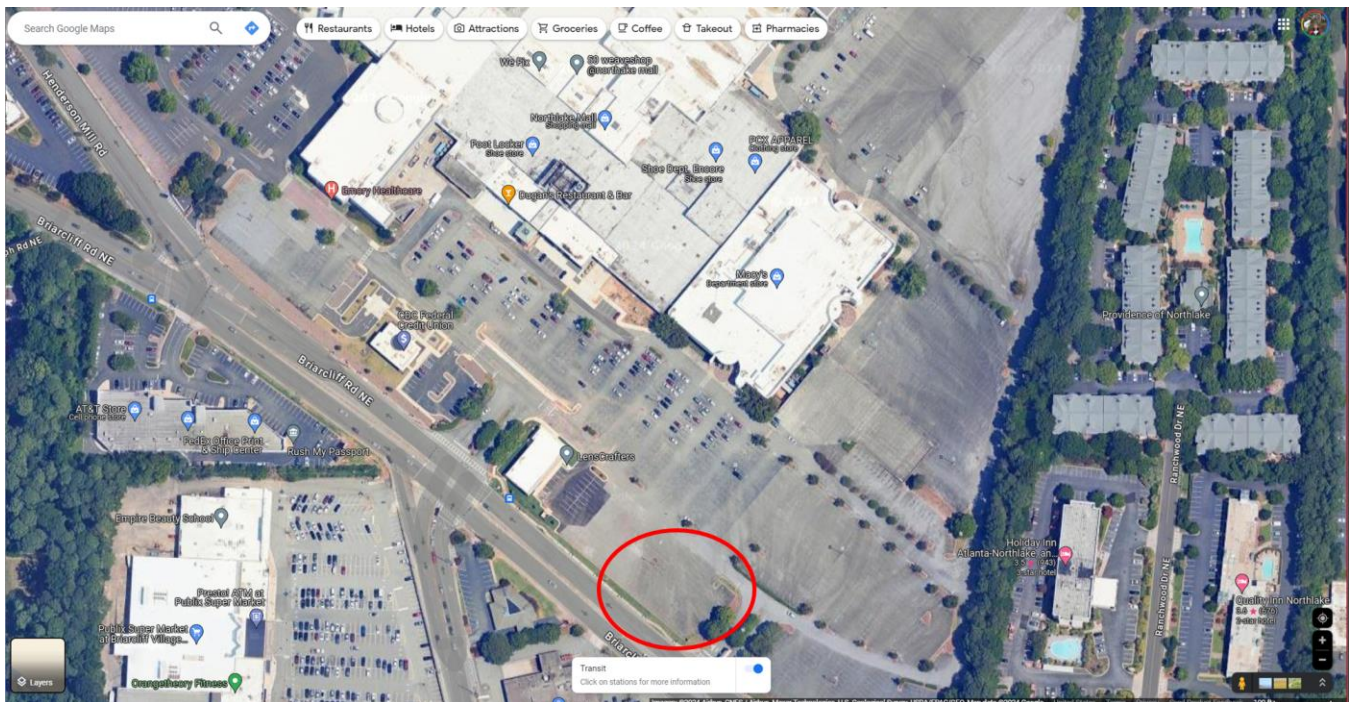


Figure 1. Aerial image of Northlake Mall from Google Maps. Red circle indicates location of proposed Jim 'N Nick's, adjacent to recently completed LensCrafters location.

Several other drive through facilities, including multiple banks and other restaurants, are located nearby, but many were developed prior to the City of Tucker incorporating in 2016. SLUP-16-004 (Ordinance O2016-12-47) was approved in 2016 for Einstein Bros Bagels with a drive-through configuration at the Tucker Meridian shopping center. Additionally, SLUP-21-0001 (Ordinance O2021-03-04) was approved in 2021 for a CDC Federal Credit Union branch with a drive-through configuration as an outparcel development at Northlake Mall. The proposed Jim 'N Nick's would be the next step in a string of recent developments on the outskirts of Northlake Mall fronting Briarcliff Road. Along with the CDC Federal

Credit Union, LensCrafters relocated from a suite inside Northlake Mall to an outparcel directly adjacent to the proposed restaurant.



Figure 2. 4800 Briarcliff Road NE (Google Streetview January 2023).

The proposed restaurant would be a 4,800 square foot facility with both indoor and outdoor seating, a double drive-through configuration (two lanes), a takeout entry along the western building façade, a shared parking area with both LensCrafters and the greater Northlake Mall area and a pedestrian entry point from the existing sidewalk along Briarcliff Road. No new curb cuts are proposed along Briarcliff Road as all access will be internal to the mall property. A screened dumpster is proposed along the eastern side of the development, fronting the internal exit lanes from the mall.

In addition to development standards found in Chapter 46, Division 3 (Northlake Zoning Districts) in the City of Tucker Code of Ordinances, restaurants with a drive-through configuration must also comply with the supplemental use regulations found in code Section 46-1166. Among other purposes, these regulations outline the required car stacking spaces and the location of drive-through menus, speaker boxes and service windows. The submitted site plan shows a double drive-through (two lanes), in addition to a pass-through lane that allows vehicles to travel around the restaurant and avoid the drive-through. Per code Section 46-1045, regulations for drive-through facilities specifically in the Northlake districts, the drive-through windows and lanes must be screened by a continuous compact evergreen hedge, or a screening wall with a minimum height of 4’.

Jim ‘N Nick’s BBQ is a national restaurant chain with locations across the Southeast, including 18 existing restaurants in Georgia. In their pre-application meeting with staff, the applicant group stated having drive-through facilities greatly helped their business operations throughout the COVID-19 pandemic, and that drive-through configurations would be a large part of their business operations moving forward.



Figure 3. Proposed western building façade; rendering shows proposed drive-through canopy, takeout entrance and outdoor patio seating.

USE ANALYSIS AND DEVELOPMENT PERMISSIONS

The purpose and intent section of the NL-1 zoning district (Sec. 46-1032) indicates the NL-1 zoning district is established “to allow for the most intense mixed-use development in Tucker. It encourages the redevelopment of parking lots into a mix of retail, office, and residential uses in the same development.” Additionally, the intent of the Northlake special zoning districts as a whole is, among other things, to encourage commercial and residential redevelopment that enhances the long-term economic viability of the Northlake area and forms a well-designed, pedestrian-friendly activity center. Drive-through facilities in the Northlake districts, both restaurants and otherwise, require a SLUP and reviewal on a case-by-case basis to ensure compatibility with the surrounding area, the intent of the zoning districts and the future land use designations in this area of the city.

The proposed double drive-through configuration could conflict with several stated intents of the Northlake districts, namely the intent to create a pedestrian-oriented community and reduce dependence on automobile travel. While adding the direct pedestrian access point from the existing sidewalk along Briarcliff Road is a meaningful step to achieve the stated intent, pedestrians would still be required to cross two vehicular travel lanes to enter the restaurant. Additionally, as there are no other active projects or proposals for surrounding surface parking areas on the greater mall property, no internal pedestrian-oriented improvements are proposed. The concurrent variance to allow relief for the 20’ maximum building setback (CV-24-0001) is being requested because the two interior vehicular travel lanes between the building and the front property line push the building back to approximately 35’ behind the property line.

Northlake Mall has long been seeking redevelopment of outparcels to spur new activity on the entire property. Along with the aforementioned CDC Federal Credit Union and LensCrafters developments, Dugan’s Restaurant & Bar recently relocated to the mall from its former location in the City of Atlanta; additionally, a new Primrose Schools location intends to open in the space previously occupied by Kohl’s. Foot Locker also moved to an exterior facing suite in the mall and underwent a façade renovation. A new restaurant would continue this recent trend of redevelopment in and around the mall to provide new amenities for those living and working in this area. It would also meet the stated intent of the NL-1 zoning district of redeveloping existing surface parking lots into active uses. In the parking and curbed areas that remain, landscaping in conformance with requirements throughout the code would be required and would be reviewed at the land disturbance permit stage.

CHARACTER AREA (Future Land Use)

The subject parcel is designated Town Center on the Future Land Use Map. The Town Center Character Area is a new designation in the City’s 5-Year Comprehensive Plan update in 2023, replacing the previous designation of Regional Center. The proposal is consistent with some aspects of the Town Center Character Area and inconsistent with others. Much of the intent of the Town Center Character Area is to promote higher intensity residential and commercial uses, reduce automobile travel and promote walkability in Town Center-designated areas. While the proposed site plan includes a new pedestrian connection from the Briarcliff Road frontage, it does not include any interior walkways through existing parking lots or to the mall. As the Trail Master Plan shows the proposed segment 6a going along the easternmost property line of Northlake Mall, there is opportunity for the proposed Jim ‘N Nick’s tying into the Trail via the existing sidewalk network along Briarcliff Road. The proposed development likely would not reduce automobile travel nor promote walkability; however, it is conveniently located along the current MARTA bus route 133, which serves the Northlake area by way of Doraville and Lindbergh Center stations. The proposed restaurant would provide a new amenity along the transit route, and the pedestrian connection from Briarcliff Road could better connect customers to the MARTA system. Outside of Northlake Mall itself, the greater mall property lacks destinations for which interior walkways and an improved multimodal transportation system (i.e., bicycle enhancements, walkable connections) could connect to. Future redevelopment of surface parking areas at Northlake Mall, whether residential or commercial, could help improve the connectivity of the proposed Jim ‘N Nick’s in the future and help better achieve the intent of the Town Center Character Area.

PUBLIC PARTICIPATION PLAN REPORT

The applicant hosted a public participation meeting on January 29, 2024. The meeting was held at 4800 Briarcliff Road, Suite 1019 (interior suite at Northlake Mall) and lasted approximately 30 minutes. Prior to the meeting, the applicant mailed a letter, the proposed site plan and building elevations to all property owners within 500’ of the subject parcel. There were seven (7) people in attendance. The applicant’s report listed questions regarding the location and hours of operation of other existing restaurants, the flow of traffic, how double drive-through configurations function, the height of the building in relation to the CDC Federal Credit Union and LensCrafters and what made the applicant want to build in Tucker. It does not appear that any changes were made to the site plan following the public participation meeting.

NEARBY/SURROUNDING LAND ANALYSIS

Adjacent & Surrounding Properties	Zoning	Existing Land Use
Adjacent: North	NL-1 (Northlake High-Intensity Commercial)	Northlake Mall
Adjacent: North	UNINCORPORATED DEKALB COUNTY	Northlake Mall (Macy’s, surface parking)
Adjacent: East	UNINCORPORATED DEKALB COUNTY	Northlake Mall (surface parking)
Adjacent: South (Across Briarcliff Road)	NL-1 (Northlake High-Intensity Commercial)	Shopping Center (4875 Briarcliff Road NE)
Adjacent: West	NL-1 (Northlake High-Intensity Commercial)	LensCrafters

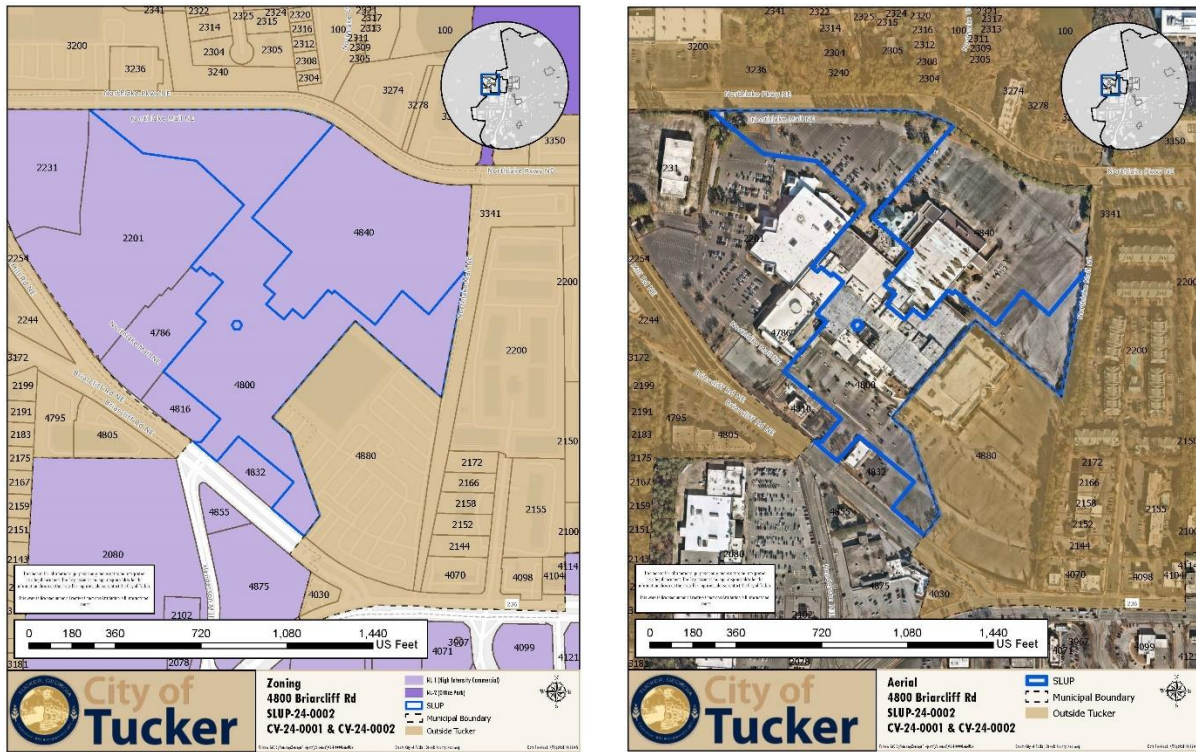


Figure 4 and 5. Zoning Map and Aerial Image.

SLUP-24-0002

CRITERIA TO BE APPLIED

Criteria (standards and factors) for special land use decisions are provided in Section 46-1594 of the City of Tucker Zoning Ordinance. The applicant is required to address these criteria (see application); below are the staff's findings which are independent of the applicant's responses to these criteria.

1. **Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.**

The development area includes approximately 0.804 acres of the larger 17.82-acre site. Adequate land area is available for the proposed restaurant with a drive-through configuration; the applicant can still meet the minimum 10 percent open space requirement in Section 46-1036, and sufficient off-street parking will still be available.

2. **Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.**

The proposed restaurant is consistent with adjacent properties, including Northlake Mall and other nearby shopping centers. This area includes some of the most intense commercial developments in the city, and a new restaurant with a drive-through fits with surrounding, similar establishments. Briarcliff Road and Lavista Road are each highly traveled corridors, both

within the city and immediately outside the City, and a new restaurant with a drive-through fits the character of these roads as currently constructed.

3. Adequacy of public services, public facilities, and utilities to serve the proposed use.

Schools. There will be no impact on public school facilities.

Stormwater management. The proposed alterations to the parking lot do not trigger stormwater management requirements.

Water and sewer. The applicant will need to gain approval from DeKalb County Department of Watershed Management (DWM) to ensure water and sewer infrastructure can manage additional strain on the system from the proposed restaurant.

4. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.

The traffic impact as a result of the proposed restaurant will be minimal in the overall Northlake area. The Trip Generation Report letter states that proposed use – “Fast Casual Restaurant with Drive Thru,” land use code 934 – will generate approximately 183 total primary peak hour trips. That number includes 102 trips (52 entering / 50 exiting) in the AM peak hour, and 81 trips (42 entering / 39 exiting) in the PM peak hour, in a 24-hour duration. While the trip generation for this type of establishment lists AM peak hour trips, Staff will note that surrounding Jim ‘N Nick’s locations do not open until 11:00am.

5. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.

It is not expected that land uses along Briarcliff Road or internal Northlake Mall roads would be adversely affected by the character of the vehicles or volume of traffic generated by the proposed drive-through restaurant.

6. Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.

The proposed site plan provides adequate vehicular ingress and egress to the restaurant. The site is situated between two entry points to Northlake Mall, and internally, there are two entry points where automobiles can access either the drive-through lanes or the wraparound lane. The proposed site plan struggles to achieve safe and convenient access for pedestrians and other users not arriving via an automobile, but the site is located in an existing surface parking lot for a large mall. There is only one crosswalk between the restaurant and the shared parking area, and there is no safe pedestrian access from the greater mall property. However, after working with staff, the applicant revised the site plan to include the pedestrian access point and crosswalk from Briarcliff Road to meet the intent of code Sections 46-1040(b) and (c). The wraparound lane and exit point at the northeast corner of the site allow for safe access and egress in the event of a fire or other emergency.

7. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.

The proposed development will not generate excessive noise, nor will it emit dust or vibrations. The applicant states the smoker used for cooking does not produce visible smoke when used; there is a possibility that odors from the cooking process could emanate beyond the site, which is not uncommon with this type of cooking.

8. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.

The hours of operation will range from 10:30am to 9:00pm, with extended service until 10:00pm on weekends. This is consistent with restaurant uses in the area and will not create adverse impacts upon adjoining uses.

9. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.

The intent of code Section 46-1036 (Dimensional requirements) is to place buildings closer to the street they front to create a more accessible pedestrian-oriented experience. Locating the two drive aisles between the building and the street could impact the pedestrian experience along Briarcliff Road, however, staff will note that there is a grade change that inhibits a more active street front. Otherwise, as long as cars are able to move through the drive-through lanes in a reasonable time frame, the proposed drive-through restaurant should not create adverse impacts upon adjoining land uses by the manner of operation.

10. Whether or not the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.

If approved by SLUP, the proposed drive-through restaurant will comply with the NL-1 zoning district.

11. Whether or not the proposed use is consistent with the policies of the comprehensive plan.

The proposed development is not entirely consistent with the adopted comprehensive plan. The stated intent of the Town Center Character Area is “to promote the concentration of higher intensity residential and commercial uses...to reduce automobile travel, promote walkability and increased transit usage.” The proposed drive-through restaurant would not reduce automobile travel, rather, it could promote increased automobile travel. It could possibly promote walkability along Briarcliff Road, but there are no internal pedestrian improvements that would improve walkability within the Northlake Mall development. The proposed restaurant could have a positive impact on transit usage, as it would provide a new amenity along the current MARTA 133 bus route. As a stand-alone development, the proposed drive-through restaurant does adequately align with the policies outlined in the comprehensive plan; however, if other remaining surface parking areas are redeveloped in the future with higher-density housing types, there is a greater possibility to develop walkable connections between

residential and commercial uses and be more consistent with the intent and policies of the comprehensive plan.

12. Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.

There are transitional buffers required with this site.

13. Whether or not there is adequate provision of refuse and service areas.

There is adequate provision of refuse and service areas. The applicant has included a designated screened dumpster that complies with code Section 46-1339.

14. Whether the length of time for which the special land use permit is granted should be limited in duration.

Staff does not recommend any limits on the length of time of the special land use permit (if granted), so long as the applicant obtains all local licensing requirements including compliance with approved conditions and annual occupational tax certificate renewal.

15. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.

It is staff's opinion that the building size, mass and scale will be appropriate in relation to surrounding land uses. The applicant indicated as part of the public participation plan report the proposed building will be shorter than the neighboring LensCrafters building.

16. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.

There are no known historic buildings, sites, districts, or archaeological resources on the subject property.

17. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.

The proposed restaurant is in compliance with the supplemental regulations for restaurants with drive-through facilities [Sec. 46-1166. – Drive-through facility; restaurant].

Sec. 46-1166. – Drive-through facility; restaurant.

Restaurants with drive-through services shall meet the following requirements:

- (1) Drive-through facilities shall not be located within 60 feet of a residentially zoned property, as measured from any menu or speaker box to the property line of adjacent residential property.**

There are no residentially zoned properties within 60' of the drive-through configuration.

- (2) No drive-through facility shall be located on a property less than 10,000 square feet in area. Stacking spaces for queuing of cars shall be provided for the drive-through area as required in article VI of this chapter.**

The proposed development area is 35,000 square feet, and the double drive-through configuration allows for adequate vehicle stacking.

- (3) Drive-through lanes and service windows shall be located to the side or rear of buildings. If on a corner lot, only the pickup window may be located on the side between the principal structure and a public street.**

The drive-through lanes and service window are situated along internal access roads for the greater Northlake Mall property; while there are two vehicular travel lanes located between the building and Briarcliff Road, the lane closest to the building transitions to a drive-through lane along the side of the building.

- (4) Drive-through canopies and other structures, where present, shall be constructed from the same materials as the primary building and with a similar level of architectural quality and detailing.**

The drive-through canopy appears to be constructed of wrought iron, similar to that used on other exterior aspects of the proposed building.

- (5) Speaker boxes shall be pointed away from adjacent residential properties. Speaker boxes shall not play music but shall only be used for communication for placing orders.**

There are no residentially zoned properties nearby.

- (6) Stacking spaces shall be provided for any use having a drive-through facility or areas having drop-off and pick-up areas in accordance with the following requirements. Stacking spaces shall be a minimum of ten feet wide and 25 feet long. Stacking spaces shall begin at the last service window for the drive-through lane (typically the "pick-up" window).**

The double drive-through configuration appears to comply with stacking requirements.

- (7) Financial institutions with drive-through windows, car washes (automated or staffed facilities), drive-through coffee sales facilities, and any other uses with drive-through facilities with the exception of restaurants with drive-through facilities, shall provide three stacking spaces for each window or drive-through service facility.**

Not applicable.

- (8) Restaurants with drive-through facilities shall provide ten stacking spaces per lane for each window or drive-through service facility.**

The double drive-through configuration appears to comply with stacking requirements.

- (9) The following general standards shall apply to all stacking spaces and drive-through facilities:**

- a. **Drive-through lanes shall not impede on and off-site traffic movements, shall not cross or pass through off-street parking areas, and shall not create a potentially unsafe condition where crossed by pedestrian access to a public entrance of a building.**

While not formally a drive-through lane at the two pedestrian crosswalks, pedestrians entering from the Briarcliff Road access point are forced to cross two vehicular travel lanes, creating potentially unsafe conditions for pedestrians trying to access the restaurant. On and off-site traffic movements, as well as off-street parking areas, are not impeded by the drive-through configuration.

- b. **Drive-through lanes shall be separated by striping or curbing from off-street parking areas. Individual lanes shall be striped, marked or otherwise distinctly delineated.**

While the two drive-through lanes appear to be separated by curbing, the outer drive-through lane and the wraparound lane do not appear to be separated on the proposed site plan; they would need to be separated by striping or curbing.

- c. **All drive-through facilities shall include a bypass lane with a minimum width of ten feet, by which traffic may navigate around the drive-through facility without traveling in the drive-through lane. The bypass lane may share space with a parking access aisle.**

The application is in compliance.

- (10) **Drive-through lanes must be set back five feet from all lot lines and roadway right-of-way lines.**

The application is in compliance.

- 18. **Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.**

The proposed use will not produce an adverse shadow effect.

- 19. **Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area.**

There are several drive-through facilities, both restaurants and otherwise, located near this site. Drive-through facilities for Chick-fil-A, Starbucks and Smoothie King are all located in the general vicinity as the proposed Jim 'N Nick's, as are several bank branches. However, this would be the only drive-through restaurant at Northlake Mall.

- 20. **Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.**

Town Center Character Area. While the proposal conflicts with the intent of the Town Center Character Area to create a more pedestrian-oriented environment and reduce automobile travel, it is not in conflict with the strategies of the Town Center Character Area to improve

transit connections and encourage a relatively high-density mix of uses to serve a regional market area. The site could eventually connect to the Tucker PATH, which will have a streetscape design that is pedestrian-oriented with strong, walkable connections between properties and uses around the City.

Staff will note redevelopment of Northlake Mall, including several outlying surface parking areas, is a priority of the city, as reactivating this site would go a long way toward realizing the Town Center vision that was developed during the 2023 comprehensive plan update.

CONCLUSION

While the proposed use is not entirely consistent with the Town Center Character Area, staff does not believe this use would cause a disproportionate proliferation of drive-through facilities or be detrimental to the intents of the NL-1 zoning district and the Town Center Character Area. Potential impacts can be mitigated by future developments that further transform the mall property from a sea of surface parking lots to a higher-density mixed-use development.

Concurrent Variance (CV-24-0001) – Maximum front setback

The City of Tucker Zoning Ordinance includes dimensional requirements for the Northlake special zoning districts, including a 0' minimum front setback / 20' maximum front setback for properties in the NL-1 zoning district. Code Section 46-1036 (Dimensional requirements) includes a provision stating “buildings may exceed the maximum setback to allow for stoops, front porches, balconies, canopies, or steps, a public space or park, and or outdoor dining.” The applicant’s submitted site plan does not meet this provision for an increased setback. Likewise, the submitted site plan does not meet the criteria outlined for an administrative variance in code Section 46-1049 and Section 46-1669.

A concurrent variance is requested to increase the maximum front building setback along Briarcliff Road from 20' to 35'.

Criteria for variance approval are provided in Section 46-1633 of the City of Tucker Zoning Ordinance.

CRITERIA TO BE APPLIED – CONCURRENT VARIANCE

- 1. By reason of exceptional narrowness, shallowness, or shape of a specific lot, or by reason of exceptional topographic and other site conditions (such as, but not limited to, floodplain, major stand of trees, steep slopes), which were not created by the owner or applicant, the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district.**

The subject property as a whole is unusual in shape, and the area of the proposed development is somewhat unusual in shallowness, especially in terms of accommodating a double drive-through restaurant; however, the parcel could be developed with the building pushed closer to Briarcliff Road. The need for two vehicular travel lanes – one converting to a drive-through lane

and the other serving as the by-pass lane, pushes the building past the 20' maximum front building setback along Briarcliff Road.

2. **The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.**

The requested variance does not go beyond the minimum necessary to afford relief by allowing the proposed restaurant to be setback more than the maximum along Briarcliff Road as the applicant is only asking to increase the maximum setback to 35' to be able to accommodate the travel lanes required for a drive-through.

3. **The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.**

The granting of the variance would not be detrimental to the public welfare, nor would it be injurious to the property. As part of the overall redevelopment of Northlake Mall, the proposal brings more compliance to the site by removing an area of surface parking area and adding more active uses closer to Briarcliff.

4. **The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship.**

The literal interpretation and strict application of the applicable provisions or requirements of this chapter could cause undue and unnecessary hardship as the redevelopment area is limited to a small section of a larger development.

5. **The requested variance would be consistent with the spirit and purpose of this chapter and the Comprehensive Plan text.**

While the proposal does not meet the full spirit and purpose of the Town Center Character Area, Staff is optimistic that continued redevelopment of Northlake Mall will allow for an overall master redevelopment plan that builds out the vision of the Comprehensive Plan for this area.

Conclusion: Staff recommends **APPROVAL of CV-24-0001.**

Concurrent Variance (CV-24-0002) – Storefront fenestration requirements

Code Section 46-1040(g) requires ground floor storefront fenestration along a public street for at least 65 percent of the exterior façade area. This requirement is intended to create a more active and open storefront, particularly when aligned with pedestrian-oriented improvements.



Figure 6. Proposed southern building façade fronting Briarcliff Road. Note on the plan indicates 18.5 percent fenestration along this façade, and “glass/windows are on all areas not in kitchen or restrooms.”

As the southern façade of the building fronting Briarcliff Road is the only side fronting a public street, the requirements in Sec. 46-1040(g) only apply to this façade. According to the submitted building elevations, the total area of this façade is approximately 1,002 square feet, of which 186 square feet is proposed to be glass; this equates to 18.5 percent of the façade area. The interior floor plan shows the restrooms are along this façade, as is another back of house room.

A concurrent variance is requested to reduce the minimum storefront fenestration requirement along a public street from 65 percent to 18.5 percent.

Criteria for variance approval are provided in Section 46-1633 of the City of Tucker Zoning Ordinance.

CRITERIA TO BE APPLIED – CONCURRENT VARIANCE

- 1. By reason of exceptional narrowness, shallowness, or shape of a specific lot, or by reason of exceptional topographic and other site conditions (such as, but not limited to, floodplain, major stand of trees, steep slopes), which were not created by the owner or applicant, the strict application of the requirements of this chapter would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district.**

While the narrowness, shallowness, nor shape of the lot necessarily impact how much fenestration is possible along the public street, the size and shape of the lot only limits the possible layouts of the building on the site. To allow for the safest flow of traffic, and to comply with other requirements in the code, the drive-through lanes are proposed along the eastern and

northern facades. This impacts how the interior of the store can be laid out, resulting in the kitchen and back of house areas along the eastern and northern facades and restrooms and another back of house space along the southern façade.

2. **The requested variance does not go beyond the minimum necessary to afford relief, and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.**

The requested variance does not go beyond the minimum necessary to afford relief as the proposal as a whole attempts to comply with the overall intent of the code while addressing multiple site challenges. Additionally, other design elements are incorporated on the façade which create visual interest.

3. **The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.**

The granting of the variance will not be materially detrimental to the public welfare. The proposed elevation along Briarcliff Road is architecturally intriguing even without meeting the 65 percent fenestration threshold, and pedestrians travelling along Briarcliff Road or entering via the pedestrian connection are exposed to the most architecturally engaging portion of the building (SE corner).

4. **The literal interpretation and strict application of the applicable provisions or requirements of this chapter would cause undue and unnecessary hardship.**

The literal interpretation and strict application of the applicable provisions or requirements of this chapter could cause undue and unnecessary hardship, as it may require substantially changing either the interior layout of the restaurant or the exterior configuration of the restaurant and vehicular travel lanes, or both, which could result in a less desirable layout.

5. **The requested variance would be consistent with the spirit and purpose of this chapter and the Comprehensive Plan text.**

The proposed variance is not entirely in line with the spirit and purpose of this chapter and the Comprehensive Plan. The intent of this requirement is to create active and engaging storefronts along public streets; likewise, the Town Center Character Area calls for improving walkability and enhancing the pedestrian experience. However, since the pedestrian entry point from Briarcliff Road leads to the most engaging corner of the building, where the percentage of fenestration is highest, the requested variance attempts to meet the intent of this chapter and the Comprehensive Plan.

Conclusion: Staff recommends **APPROVAL of CV-24-0002.**

Staff Recommendation

Based upon the findings and conclusions herein, staff recommends **APPROVAL WITH CONDITIONS** of **SLUP-24-0002, CV-24-0001, and CV-24-0002.**

1. The property shall be developed in general conformance with the site plan stamped "RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept."
2. The maximum front setback for the drive-through restaurant shall be increased to thirty-five (35) feet, per the site plan stamped "RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept" (CV-24-0001).
3. The fenestration requirement for the façade along Briarcliff Road shall be reduced to 18.5 percent, per the elevations stamped "RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept" (CV-24-0002).
4. A landscape plan shall be submitted with the Land Disturbance Permit (LDP), subject to review and approval of the Community Development Director.
5. A mix of trees, shrubs, and ground cover shall be planted in the landscape strip between the two vehicular travel lanes and Briarcliff Road to screen the appearance of the travel lanes between the building and the street.
6. The drive-through canopies, windows, and lanes shall comply with the requirements of Section 46-1045 and Section 46-1166.

Planning Commission Recommendation

Based upon the findings and conclusions herein, at its April 18, 2024, public hearing, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of **SLUP-24-0002, CV-24-0001, and CV-24-0002** subject to the following amended staff conditions: (additions = **bold**)

1. The property shall be developed in general conformance with the site plan stamped "RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept."
2. The maximum front setback for the drive-through restaurant shall be increased to thirty-five (35) feet, per the site plan stamped "RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept" (CV-24-0001).
3. The fenestration requirement for the façade along Briarcliff Road shall be reduced to 18.5 percent, per the elevations stamped "RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept" (CV-24-0002).
4. A landscape plan shall be submitted with the Land Disturbance Permit (LDP), subject to review and approval of the Community Development Director.

5. A mix of trees, shrubs, and ground cover shall be planted in the landscape strip between the two vehicular travel lanes and Briarcliff Road to screen the appearance of the travel lanes between the building and the street.
6. The drive-through canopies, windows, and lanes shall comply with the requirements of Section 46-1045 and Section 46-1166.
7. **The site will be in compliance with Tucker City Ordinance Sec. 22-765, Applicability Criteria for Stormwater Management Standards.**



Planning and Zoning
 1975 Lakeside Parkway, Suite 350
 Tucker, GA 30084
 Phone: 678-597-9040
 Website: www.tuckerga.gov

Land Use Petition Application

Type of Application: Rezoning Comprehensive Plan Amendment Special Land Use Permit
 Concurrent Variance Modification

APPLICANT INFORMATION		
Applicant is the: <input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Owner's Agent <input type="checkbox"/> Contract Purchaser		
Name: Jim 'N Nick's Management LLC		
Address: 10 Inverness Center Parkway, Suite 250		
City: Birmingham	State: AL	Zip: 35242
Contact Name: Sandi LeBlanc, Processor		
Phone: 804.389.9449	Email: Sandif@Ldreeves.com	
OWNER INFORMATION		
Name: Corinth Properties		
Address: 4645 N. Central Exp.		
City: Dallas	State: TX	Zip: 75205
Contact Name: Frank Mihalopoulos		
Phone: 214.628.7160	Email: Frank@corinthproperties.com	
PROPERTY INFORMATION		
Property Address: Northlake Mall 4800 Briarcliff Rd Tucker GA		
Present Zoning District(s): NL-1	Requested Zoning District(s):	
Present Land Use Category: Local Commercial	Requested Land Use Category:	
Land District:	Land Lot(s):	Acreage:
Proposed Development: Jim 'N Nick's Community BBQ Restaruant		
Concurrent Variance(s): Two (2): Maximum front setback under code Sec. 46-1036; Storefront fenestration under code Sec. 46-1040		
RESIDENTIAL DEVELOPMENT		
No. of Lots/Dwelling Units:	Dwelling Unit Size (Sq. Ft.):	Density:
NON-RESIDENTIAL DEVELOPMENT		
No. of Buildings/Lots: 1	Total Building Sq. Ft.: 4,800SF	Density:

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February 26 2024
Planning and Zoning Dept.
SLUP-24-0002, CV-24-0001
CV-24-0002

APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW STATES UNDER OATH THAT THEY ARE AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 24 MONTHS FROM THE DATE OF LAST ACTION BY THE MAYOR AND CITY COUNCIL.

[Handwritten Signature]

2/26/2024

Signature of Applicant

Date

Sandi LeBlanc - Processor

Type or Print Name and Title

[Handwritten Signature]

2/26/24

exp 8/31/25

Signature of Notary Public

Date

Notary Seal

CYNTHIA L. BERGAMINI
NOTARY PUBLIC
REGISTRATION # 369291
COMMONWEALTH OF VIRGINIA

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City of Tucker
February 26 2024
Planning and Zoning Dept.
SLUP-24-0002, CV-24-0001
CV-24-0002

PROPERTY OWNER'S CERTIFICATION

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of DeKalb County, Georgia, of the property identified below, which is the subject of the attached Land Use Petition before the City of Tucker, Georgia. As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Rezoning (RZ), Comprehensive Plan Amendment (CA), Special Land Use Permit (SLUP), Modification (M) & Concurrent Variance (CV) in request of the items indicated below.

I, FRANK MIHALOPOULOS, authorize, Jim N Nicks Manangement LLC,
(Property Owner) (Applicant)

to file for SLUP and CV, at Northlake Mall, 4800 Briarcliff Road Tucker, GA
(RZ, CA, SLUP, M, CV) (Address)

on this date FEBRUARY 13th, 2024
(Month) (Day)

- I understand that if a rezoning is denied or assigned a zoning classification other than the classification requested in the application, then no portion of the same property may again be considered for rezoning for a period of twenty-four (24) months from the date of the mayor and city councils' final decision.
- I understand that if an application for a special land use permit affecting all or a portion of the same property for which an application for the same special land use was denied shall not be submitted before twenty-four (24) months have passed from the date of final decision by the mayor and city council on the previous special land use permit.
- I understand that failure to supply all required information (per the relevant Applicant Checklists and requirements of the Tucker Zoning Ordinance) will result in REJECTION OF THE APPLICATION.
- I understand that preliminary approval of my design plan does not authorize final approval of my zoning or signage request. I agree to arrange additional permitting separately, after approval is obtained.
- I understand that representation associated with this application on behalf of the property owner, project coordinator, potential property owner, agent or such other representative shall be binding.

[Signature]
Signature of Property Owner

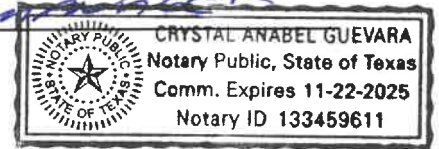
2/13/2024
Date

FRANK MIHALOPOULOS
Type or Print Name and Title

17's manager

[Signature]
Signature of Notary Public

2/13/2024
Date



Notary Seal

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City of Tucker
February 26 2024
Planning and Zoning Dept.
SLUP-24-0002, CV-24-0001
CV-24-0002

DISCLOSURE REPORT FORM

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.

CIRCLE ONE:

YES (if YES, complete points 1 through 4);



(if NO, complete only point 4)

1. CIRCLE ONE: **Party to Petition** (If party to petition, complete sections 2, 3 and 4 below)

In Opposition to Petition (If in opposition, proceed to sections 3 and 4 below)


2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition:

1. _____	5. _____
2. _____	6. _____
3. _____	7. _____
4. _____	8. _____

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) Peggy Jones
 Signature:  Date: 2-14-24

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February 26 2024
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SLUP-24-0002, CV-24-0001
CV-24-0002

DISCLOSURE REPORT FORM

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.

CIRCLE ONE: YES (if YES, complete points 1 through 4); NO (if NO, complete only point 4)

1. CIRCLE ONE: **Party to Petition** (If party to petition, complete sections 2, 3 and 4 below)

In Opposition to Petition (If in opposition, proceed to sections 3 and 4 below)

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition:

1. _____	5. _____
2. _____	6. _____
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4. _____	8. _____

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) FRANK MIHALOPOULOS
 Signature: *Frank Michalopoulos* Date: 2/13/2024

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February 26 2024

DISCLOSURE REPORT FORM

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.

CIRCLE ONE: **YES** (if YES, complete points 1 through 4);

NO (if NO, complete only point 4)

1. **CIRCLE ONE:** **Party to Petition** (If party to petition, complete sections 2, 3 and 4 below)

In Opposition to Petition (If in opposition, proceed to sections 3 and 4 below)

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition:

1. _____	5. _____
2. _____	6. _____
3. _____	7. _____
4. _____	8. _____

3. **CAMPAIGN CONTRIBUTIONS:**

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information, and belief.

Name (print) Sandi LeBlanc

Signature: 

Date: 2/22/24

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February 26 2024
Planning and Zoning Dept.
SLUP-24-0002, CV-24-0001
CV-24-0002



Planning and Zoning
 1975 Lakeside Parkway, Suite 350
 Tucker, GA 30084
 Phone: 678-597-9040
 Website: www.tuckerga.gov

Land Use Petition Application Checklist

FOR ALL REZONINGS, COMPREHENSIVE PLAN AMENDMENTS, SPECIAL LAND USE PERMITS, MODIFICATIONS, AND CONCURRENT VARIANCES

REQUIRED ITEMS	NUMBER OF COPIES	CHECK <input checked="" type="checkbox"/>
One (1) digital copy of all submitted materials	• One (1) flash drive or CD in .JPEG, .PDF format	<input checked="" type="checkbox"/>
Pre-Application Meeting Form	• One (1) Copy	<input checked="" type="checkbox"/>
Public Participation Report	• One (1) Copy	<input checked="" type="checkbox"/>
Application, Signature Pages, Disclosure Form	• One (1) Copy each	<input checked="" type="checkbox"/>
Written Legal Description	• One (1) 8 ½" x 11" Legal Description	<input checked="" type="checkbox"/>
Boundary Survey and Proposed Site Plan (See Page 9 for Requirements)	• Five (5) Full-Size (24" x 36") Copies of each • One (1) 8 ½" x 11" or 11x17 Site Plan of each	<input checked="" type="checkbox"/>
Building Elevations (renderings or architectural drawings to show compliance with Article 5)	• One (1) Copy	<input checked="" type="checkbox"/>
Letter of Intent	• One (1) Copy	<input checked="" type="checkbox"/>
Analysis of Standards/Criteria (See page 5)	• One (1) Copy	<input checked="" type="checkbox"/>
Environmental Site Analysis Form	• One (1) Copy	<input checked="" type="checkbox"/>
Trip Generation Letter (ITE Trip Generation Manual)	• One (1) Copy	<input checked="" type="checkbox"/>
THE FOLLOWING ITEMS MAY BE REQUIRED		
Traffic Impact Study (See Sec. 46-1309)	• One (1) Copy	<input type="checkbox"/>
Development of Regional Impact Review Form	• Three (3) Copies	<input type="checkbox"/>
Environmental Impact Report	• One (1) Copy	<input type="checkbox"/>
Noise Study Report	• One (1) Copy	<input type="checkbox"/>
Meeting with GDOT if impact to I-285 Eastside Express Lanes	• One (1) Copy	<input type="checkbox"/>
Other items required per the Zoning Ordinance	• One (1) Copy	<input type="checkbox"/>
LAND USE PETITION FEE SCHEDULE		
Residential Rezoning	\$500	<input type="checkbox"/>
Multifamily/Non-Residential Rezoning	\$750	<input type="checkbox"/>
Special Land Use Permit	\$400	<input checked="" type="checkbox"/>
Comprehensive Plan Amendment	\$1000	<input type="checkbox"/>
Modification	\$250	<input type="checkbox"/>
Variance (includes Concurrent Variance)	\$300 x's 2 = \$600.00	<input checked="" type="checkbox"/>
Public Notice Sign Fee	\$80 (per required sign)	<input type="checkbox"/>

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Legal Description for Proposed Jim 'N Nicks Community BBQ Site

BEING an approximately 35,000 square foot portion of "Tract 4," said Tract 4 being commonly identified as Parcel ID 18 209 02 028, and being legally described as follows:

All that tract or parcel of land lying and being in Lot 209 of the 18th District, City of Tucker, DeKalb County, Georgia, being known as Tract 4, per Subdivision Plat for Northlake Mall, recorded in Plat Book 287, Pages 70 through 72, DeKalb County, Georgia records.

Said 35,000 square foot portion of Tract 4 is depicted below:





Letter of Intent

Jim N Nicks Management LLC is interested in opening a new location at Northlake Mall, 4800 Briarcliff Road, Tucker, GA. We are submitting a request for a Special Land Use Permit (SLUP) and two concurrent variances to do so. Our proposed plan includes the addition of restaurant drive-thru lanes and a variation to the front setback and storefront fenestration.

The SLUP request is to add a double drive-thru service for our patrons to allow additional service options without leaving one's vehicle. We will abide by the conditions set forth to operate a drive-through in compliance with Ordinance Sec 46-1166 and the Northlake Zoning District Sec. 46-1045.

We are requesting two (2) variances to the Northlake Zoning District High-Intensity Commercial Ordinance NL-1 code:

1. We request relief to code Sec 46-1036, which requires a maximum front setback of 20'. We seek a front setback of 35' to accommodate the addition of a double-lane drive-thru and emergency service lane.
2. We request relief to code Sec 46-1040, which requires a minimum fenestration percentage of 65 percent window glass coverage to the storefront along Briarcliff Road. Our restaurant floor plans include restrooms and a back-of-the-house kitchen area, which prevents us from adding additional windows to cover the entire storefront.

We have made numerous design revisions to meet the Northlake Design requirements, and we hope that our request for relief to the above requirements and the allowance of a drive-thru for a future Jim 'N Nick's Restaurant will be approved.

Sincerely,

A handwritten signature in blue ink, appearing to read "S. Lee".

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Special Land Use Permit Criteria

Request for Drive-Thru

Section 46-1594 of the City of Tucker Zoning Ordinance lists specific criteria that shall be considered by the planning and zoning department, the planning commission, and the mayor and city council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the mayor and city council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and the application is in compliance with all applicable regulations in Article 4. The applicant shall write a detailed written analysis of criteria as it relates to their proposed project.

1. Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.
 - a. The proposed Jim 'N Nick's site is adequate to handle the proposed development of the 4,800 SF restaurant, parking, and double drive-thru lanes. All required open spaces, landscaping, utilities, and parking within the Northlake zoning district requirements will be represented per the code.
2. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.
 - a. The proposed restaurant use is compatible with the surrounding mixed-use restaurant, retail, and office uses.
3. Adequacy of public services, public facilities, and utilities to serve the proposed use.
 - a. Public transit is located within walking distance of the proposed restaurant and public utilities are serving the site.
4. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.
 - a. The existing traffic infrastructure is adequate to handle the additional traffic, which will not create congestion in the area due to the proposed double drive-through concept.

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5. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.
 - a. The existing traffic infrastructure is adequate to handle the additional traffic, which will not create congestion in the area due to the proposed double drive-through concept.

6. Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.
 - a. All ingress and egress exist on the property and no modifications have been planned. Additional drive-thru access lanes proposed will reduce any traffic issues and allow emergency vehicles to move around the building with ease.

7. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.
 - a. The proposed restaurant will not cause any adverse impacts to the adjoining retail / mixed-used areas; the Smoker used for cooking uses very little wood in the smoking process, in addition when the smoker is in operation there is no visible smoke emitted.

8. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.
 - a. The proposed hours of operation are Monday- Sunday 10:30 am to 9:00 pm with possible hours until 10 pm on the weekends. This is similar hours to the adjacent properties.

9. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.
 - a. The proposed restaurant will not cause any adverse impacts upon any adjoining land uses and will likely bring additional patrons to their location.

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10. Whether or not the proposed use is consistent with the requirements of the zoning district classification in which the use is proposed to be located.
 - a. The proposed restaurant use is by right under the current zoning designation. Jim 'N Nicks' is requesting the additional use of a drive-thru.

11. Whether or not the proposed use is consistent with the policies of the comprehensive plan.
 - a. The proposed restaurant use is consistent with the comprehensive plans and the proposed redevelopment of the area.

12. Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.
 - a. The proposed restaurant does not have any buffer zone requirements and will follow all zoning regulations required for the site.

13. Whether or not there is adequate provision of refuse and service areas.
 - a. A separate refuse service area will be created for the restaurant's use within an enclosed area listed on the site plan.

14. Whether the length of time for which the special land use permit is granted should be limited in duration.
 - a. If the special land use is granted it should be indefinite for the proposed Jim 'N Nicks' use. If the proposed use for the site changes or the property is vacant for more than 1 year the SLUP should be reviewed.

15. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.
 - a. The size, scale, and massing of the proposed building are in appropriate relation to the adjacent/nearby lots and buildings at 4,800SF.

16. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.
 - a. The proposed building is not within a historical site, districts, or an archaeological resource site.

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17. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.
 - a. The proposed request to allow the addition of the Drive-Thru use to the Restaurant meets all of the additional regulations for the special land use permit.

18. Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.
 - a. The building height is 18 feet and will not create a negative shadow on the adjoining lot.

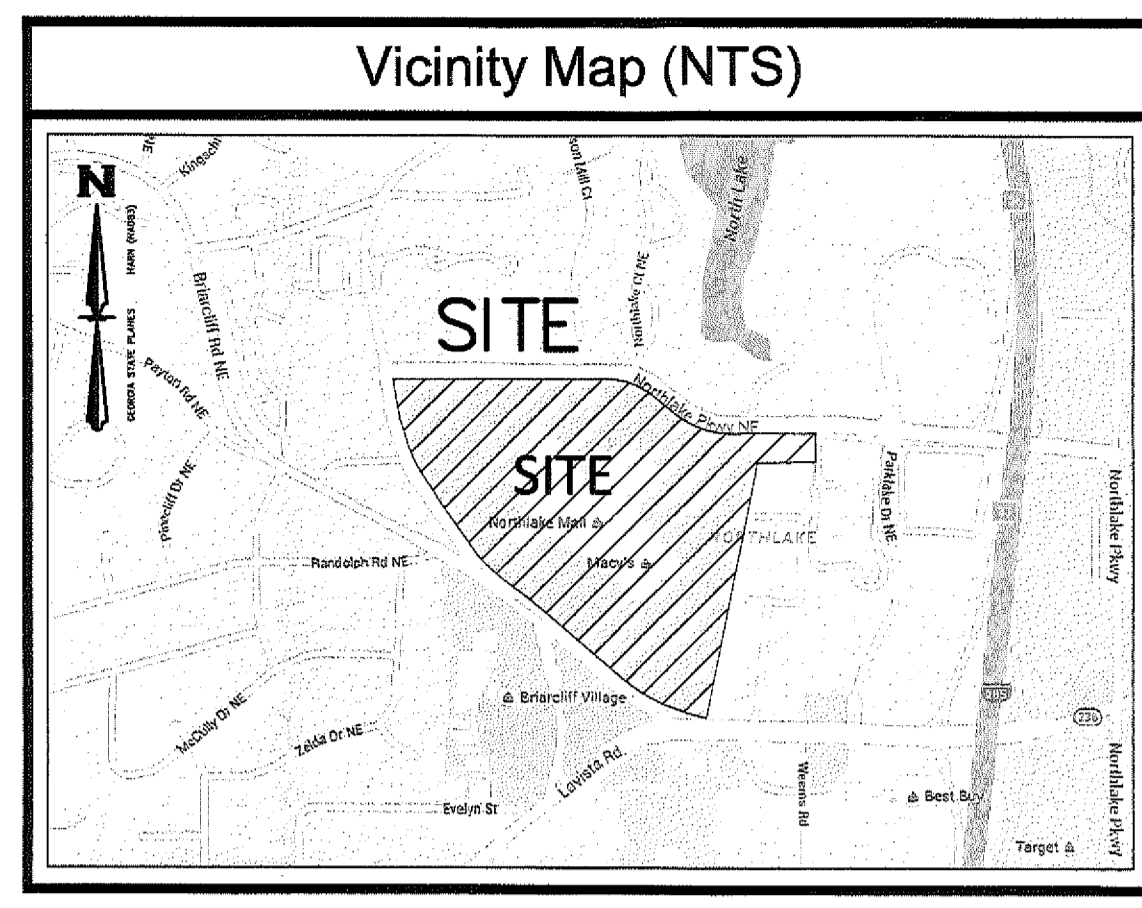
19. Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area.
 - a. Within the City of Tucker there are other fast-food restaurants with a dual drive-thru in use, therefore the proposed Jim 'N Nick's will not cause any disproportionate proliferation.

20. Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.
 - a. The proposed Jim 'N Nick's Community BBQ is very proud of the word COMMUNITY in our name. We love serving great Bar-B-Q, but we're just as enthusiastic about supporting our local communities. Our business has grown over the years, but our philosophy remains the same — give back to those who need it the most. Jim 'N Nick's BBQ is confident we are compatible with the neighborhood and overall objective of the comprehensive plan.

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CV-24-0002

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

LOT DIVISION FOR:
NORTHLAKE MALL
 LOCATED IN LAND LOT 209 & 210
 OF THE 18TH DISTRICT
 DEKALB COUNTY, GA
 TAX PARCEL: 18 209 02 028
AP# 1243073



GRANT SHEPHERD & ASSOCIATES, INC.
 Construction Layout • GPS Modeling
 Land Surveying • Site Development
 735 LONGLEAF BOULEVARD, SUITE A, LAWRENCEVILLE, GA 30046
 PHONE: 770.418.9823 FAX: 770.418.9289
 www.gasurveying.com
 COA/LSF 000459
 THE USE OF THIS DOCUMENT FORMAT IS STRICTLY PROHIBITED AND CONTINUED UPON WRITTEN CONSENT AND PERMISSION OF GRANT SHEPHERD & ASSOCIATES, INC.

OWNER'S ACKNOWLEDGEMENT

I, Anthony Ruggeri, THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, ACKNOWLEDGES THAT THIS PLAT WAS MADE FROM AN ACTUAL SURVEY, AND FOR VALUE RECEIVED THE SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DO HEREBY CONVEY ALL STREETS AND RIGHTS-OF-WAY, WATER MAINS AND SEWER LINES SHOWN HEREON IN FEE SIMPLE TO DEKALB COUNTY, AND FURTHER DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES HEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS HEREIN EXPRESSED. IN CONSIDERATION OF THE APPROVAL OF THIS DEVELOPMENT PLAN AND OTHER VALUABLE CONSIDERATIONS, THE OWNER FURTHER RELEASES AND HOLDS HARMLESS DEKALB COUNTY FROM ANY AND ALL CLAIMS, DAMAGES OR DEMANDS ARISING ON ACCOUNT OF THE DESIGN, CONSTRUCTION AND MAINTENANCE OF THE PROPERTY SHOWN HEREON; ON ACCOUNT OF THE ROADS, FILLS, EMBANKMENTS, DITCHES, CROSS-DRAINS, CULVERTS, WATER MAINS, SEWER LINES, AND BRIDGES WITHIN THE PROPOSED RIGHTS-OF-WAY AND EASEMENTS SHOWN; AND ON ACCOUNT OF BACKWATER, THE COLLECTION AND DISCHARGE OF SURFACE WATER, OR THE CHANGING OF COURSES OF STREAMS.

AND FURTHER THE OWNER WARRANTS THAT THE OWNS FEES SIMPLE TITLE TO THE PROPERTY SHOWN HEREON AND AGREES THAT DEKALB COUNTY SHALL NOT BE LIABLE TO HIM/HER, HIS/HER HEIRS, SUCCESSORS OR ASSIGNS FOR ANY CLAIMS OR DAMAGES RESULTING FROM THE CONSTRUCTION OR MAINTENANCE OF CROSS-DRAIN EXTENSIONS, DRIVES, STRUCTURES, STREETS, CULVERTS, CURBS, OR SIDEWALKS, THE CHANGING OF COURSES OF STREAMS AND RIVERS, FLOODING FROM NATURAL CREEKS AND RIVERS, SURFACE WATERS AND ANY OTHER MATTER WHATSOEVER. I FURTHER WARRANT THAT I HAVE THE RIGHT TO SELL AND CONVEY THE LAND ACCORDING TO THIS PLAT AND DO HEREBY BIND MYSELF AND OWNERS SUBSEQUENT IN TITLE TO DEFEND BY VIRTUE OF THESE PRESENT.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND.

Owner/Developer

OWNER
 Northlake ATRCorinth Partners, LLC
 12700 PARK CENTRAL DRIVE
 SUITE 100
 DALLAS, GEORGIA 75251
 214-273-3600
 tonyr@atrdallas.com

CONTACT
 TONY RUGGERI
 12700 PARK CENTRAL DRIVE
 SUITE 100
 DALLAS, GEORGIA 75251
 214-273-3600
 tonyr@atrdallas.com

Certificate of Conformity

I, SEATON G. SHEPHERD, JR., THE ENGINEER/SURVEYOR FOR THE PROPERTY KNOWN AS 4800 BRIARCLIFF ROAD, TAX PARCEL ID# 18 209 02 028, 18 209 02 031 & 18 209 02 030, DEKALB COUNTY, GEORGIA, LOCATED IN LAND LOTS 209 & 210 OF THE 18TH DISTRICT, HEREBY CERTIFY THAT NO LOTS PLATTED WITHIN THE SUBJECT PROPERTIES ARE NON-CONFORMING OR WILL RESULT IN ANY NON-CONFORMING LOTS.

[Signature] 4/3/19
 SIGNATURE

SEATON G. SHEPHERD, JR.
 735 LONGLEAF BOULEVARD, SUITE A
 LAWRENCEVILLE, GA 30046

Map or Plat Closure Statement & Notes

1. THE FIELD DATA FOR THIS SURVEY WAS OBTAINED WITH A NIKON DTM 550 TOTAL STATION AND A TOPCON GRS-1 GPS ROVER (CORRECTED WITH THE I-NET REALTIME GPS NETWORK) ON JANUARY 20, 2015.
2. THIS PLAT OR MAP HAS BEEN CALCULATED FOR CLOSURE AND HAS A CLOSURE PRECISION RATIO OF 1" IN ±982,524'.
3. ALL DISTANCES SHOWN HEREIN ARE HORIZONTAL, GROUND DISTANCES.
4. UNLESS OTHERWISE NOTED ON THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED, ALL PROPERTY CORNERS IDENTIFIED AS SET, ARE SET WITH A 1/2" REBAR (#4-REBAR) BEARING A PLASTIC CAP STAMPED WITH THE SURVEYORS REGISTRATION / LICENSE NUMBER.
5. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED HAS A HORIZONTAL DATUM OF GEORGIA STATE PLANES, WEST ZONE NAD83.
6. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED HAS A VERTICAL DATUM OF (NAVD88, FROM GPS OBSERVATIONS AND/OR GPS ESTABLISHED BENCHMARK, VERTICAL RELIEF SHOWN HEREIN BY (2' CONTOUR INTERVAL).
7. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSON(S) OR ENTITY NAMED WITHIN TITLE BLOCK AND/OR SURVEYORS CERTIFICATION. SURVEYOR MAKES NO WARRANTIES, EITHER EXPRESSED OR IMPLIED, WITH RESPECT TO THE INFORMATION SHOWN HEREIN, EXTENDED BEYOND THOSE NAMED DIRECTLY.
8. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED HAS BEEN PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. ITEMS PERTAINING TO TITLE SUCH AS EASEMENTS, ZONING, ZONING CONDITIONS AND OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD HOWEVER MAY NOT BE SHOWN OR DEPICTED HEREIN.

Flood Hazard Statement

THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA BASED ON THE FLOOD INSURANCE RATE MAP FOR THIS AREA. THE MAP NUMBER FOR THIS AREA IS 13089C00571, CONTAINING A LATEST DATE OF 05/16/2013. THIS DETERMINATION WAS MADE BY GRAPHICALLY DETERMINING THE POSITION OF THE SITE ON SAID FIRM (FEDERAL INSURANCE RATE MAP) MAP UNLESS OTHERWISE NOTED.

Zoning

CURRENT ZONING: C-1

SETBACKS:
 FRONT - 75'
 SIDE - 50'
 INTERIOR SIDE - 20'
 REAR - 30'
 MIN. LOT FRONT - 100'
 MAX. LOT COVERAGE - 80%
 MAX. BUILDING HEIGHT - 2 STORIES, 35'

Zoning information obtained from DeKalb County Website - Municode

Information has not been verified thru Planning and Sustainability Department DeKalb County.

THIS 11th DAY OF March, 2019

[Signature]
 WITNESS
[Signature] by Anthony Ruggeri
 NOTARY PUBLIC

DEKALB COUNTY
 PLANNING/DEVELOPMENT DEPT
 REVIEWED

DATE: Jan 18, 2019
[Signature]
 DEPT. CH. 4/4/19

Zoning Conditions CZ-93075

REV. 3/09 DEKALB COUNTY BOARD OF COMMISSIONERS

PREL. _____ ACTION _____ PUB. HRS. X

HEARING DATE: September 18, 2018

RESOLUTION _____ ORDINANCE X PROCLAMATION _____

SUBJECT: Rezoning Application - LRB Engineering, Inc.
 COMMISSION DISCUSSION: 3 & 7

DEPARTMENT: Planning PUBLIC HEARING: X Yes _____ No _____

ATTACHMENT: X Yes _____ No 9 PP _____ INFORMATION CONTACT: Ray White or Charles Coleman PHONE NUMBER: 371-2155 CC

PURPOSE:
 2-93075 To consider the application of LRB Engineering, Inc., to rezone property located at the northerly intersection of Briarcliff Road and LaVista Road, 250' west of Ranchwood Drive, from R-100 to C-1. The property has a frontage of 49' and contains 1.08 acres.

SUBJECT PROPERTY:
 18-209-1-pt. 28 (0000 Briarcliff Road).

RECOMMENDATION(S):
PLANNING DEPARTMENT: Approval with conditions. The current zoning as applied to this land area is inconsistent with the Comprehensive Plan and incompatible with all other area zoning. The requested zoning is appropriate and in keeping with the zoning applied to the majority of adjoining properties. Staff recommends approval subject to the following:
 1. A screening fence or vegetation is maintained along the back of lots 13-18 which front Ranchwood Drive.
 2. Any development of this land is tied into the adjoining shopping center.
 3. No direct access to LaVista Road from this tract.

PLANNING COMMISSION: Approval as recommended by the Planning Department.
COMMUNITY COUNCIL: Approval.

Page 2

647 FOR USE BY COMMISSION OFFICE/CLERK ONLY

ACTION:

MOTION was made by Commissioner Williams, seconded by Commissioner Scott, and passed 7-0-0-0, to approve the application per the recommendation of the Planning Department.

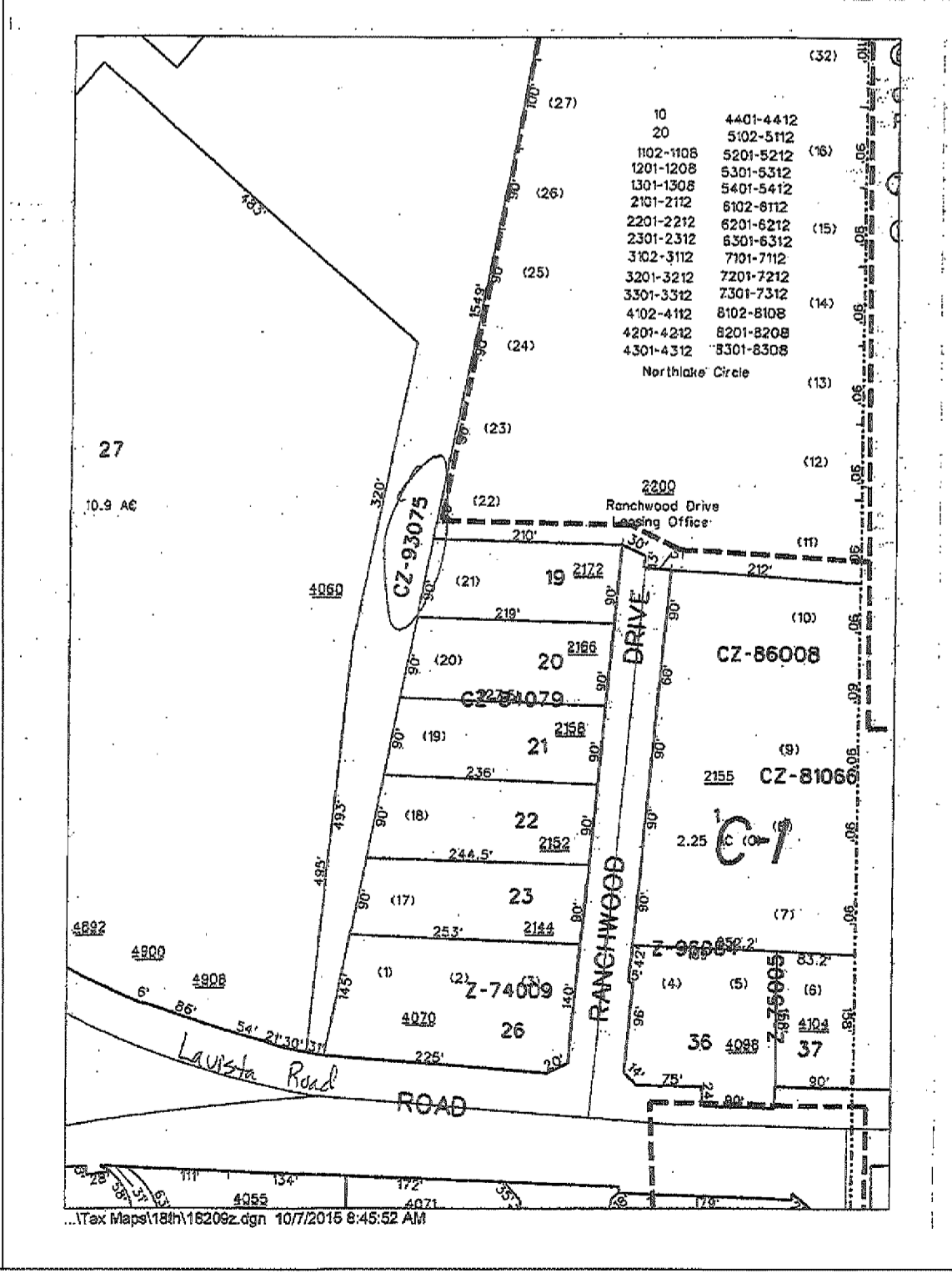
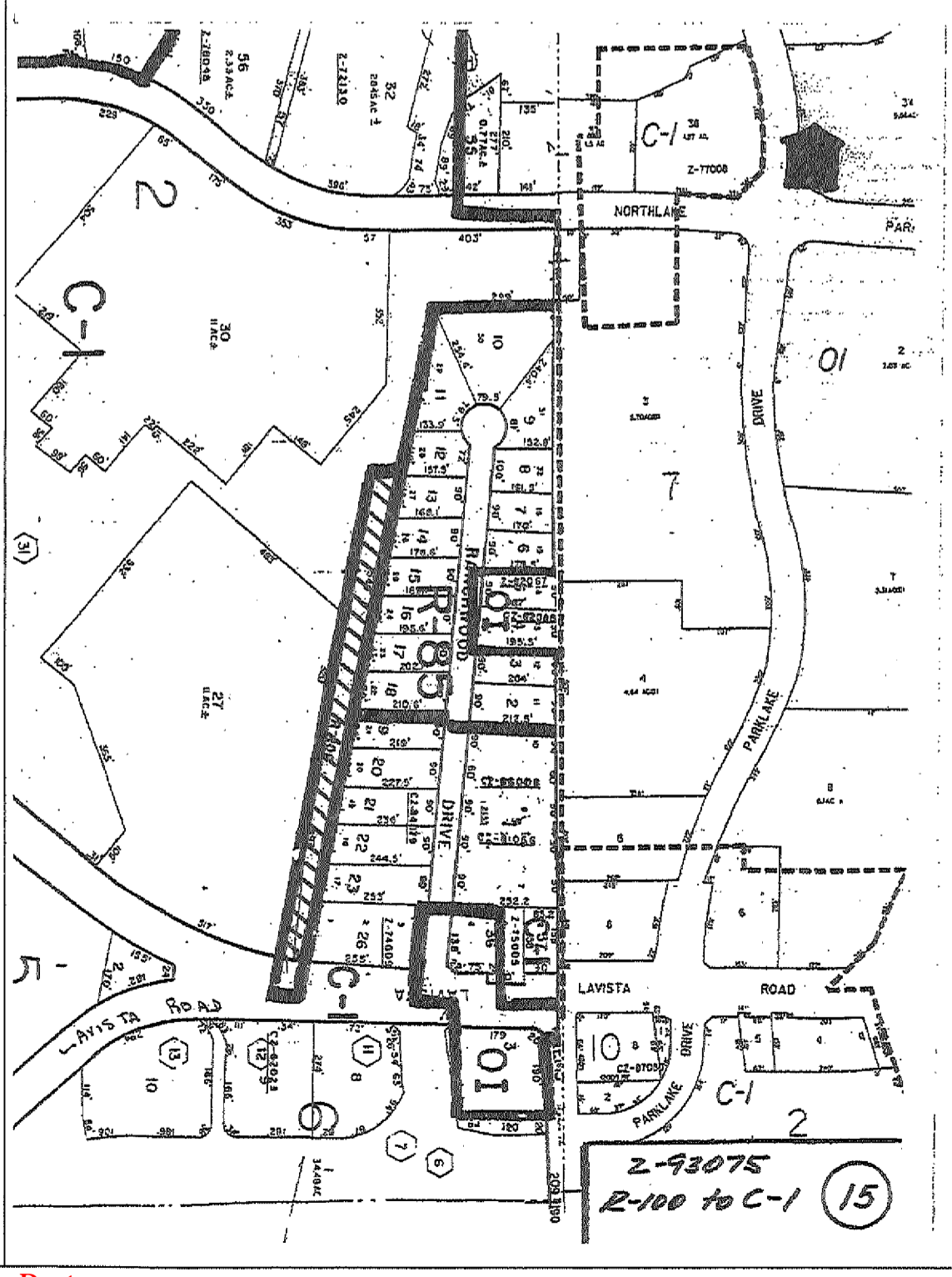
No one spoke for or against the application.

ADOPTED: SEP 28 1893 CERTIFIED: SEP 28 1893
 (DATE) (DATE)

[Signature] *[Signature]*
 PRESIDING OFFICER CLERK
 DEKALB COUNTY BOARD OF COMMISSIONERS DEKALB COUNTY BOARD OF COMMISSIONERS

REMARKS:

ATTACHMENT/	FOR	AGAINST	ABSTENTION	ABSENT
DISTRICT 1 - ELAINE BOVER	✓			
DISTRICT 2 - GALE WALLDORFF	✓			
DISTRICT 3 - JESSIE WILLIAMS	✓			
DISTRICT 4 - KEN DAVIS	✓			
DISTRICT 5 - WILLIAM C. "BILL" BROWN	✓			
DISTRICT 6 - JUDY HAYS	✓			
DISTRICT 7 - JACQUELINE SCOTT	✓			



GENERAL PLAT NOTE:
 THE PURPOSE OF THIS PLAT IS TO
 DIVIDE PARCEL NO. 18 209 02 028

Map or Plat Certification

As required by subsection (c) of O.C.G.A. Section 15-6-67, this map or plat has been prepared and issued for submittal and approval by the local jurisdiction as is evidenced by the approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of the survey or map as to intended use of any parcel.

Furthermore, the undersigned land surveyor certifies that: IN MY OPINION, THAT THIS MAP, PLAT, OR PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT OCGA 15-6-67.

[Signature] 4/3/19
 SEATON G. SHEPHERD, JR.
 Registered Land Surveyor No. 1136
 In the State of Georgia
 Date of Plat or Map: October 23, 2018
 Last Revised: 4/3/19

DEKALB COUNTY DEVELOPMENT DEPARTMENT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS BY ENGINEERS OR OTHER DESIGN PROFESSIONALS ON DESIGN OR COUNTY CODE REQUIREMENTS OF THIS PROJECT.

LOT DIVISION OF:
NORTHLAKE MALL
 Parcel No.: 18 209 02 028
 4800 Briarcliff Road
 LAND LOT 209 & 210 OF THE 18TH LAND DISTRICT
 DEKALB COUNTY, GA

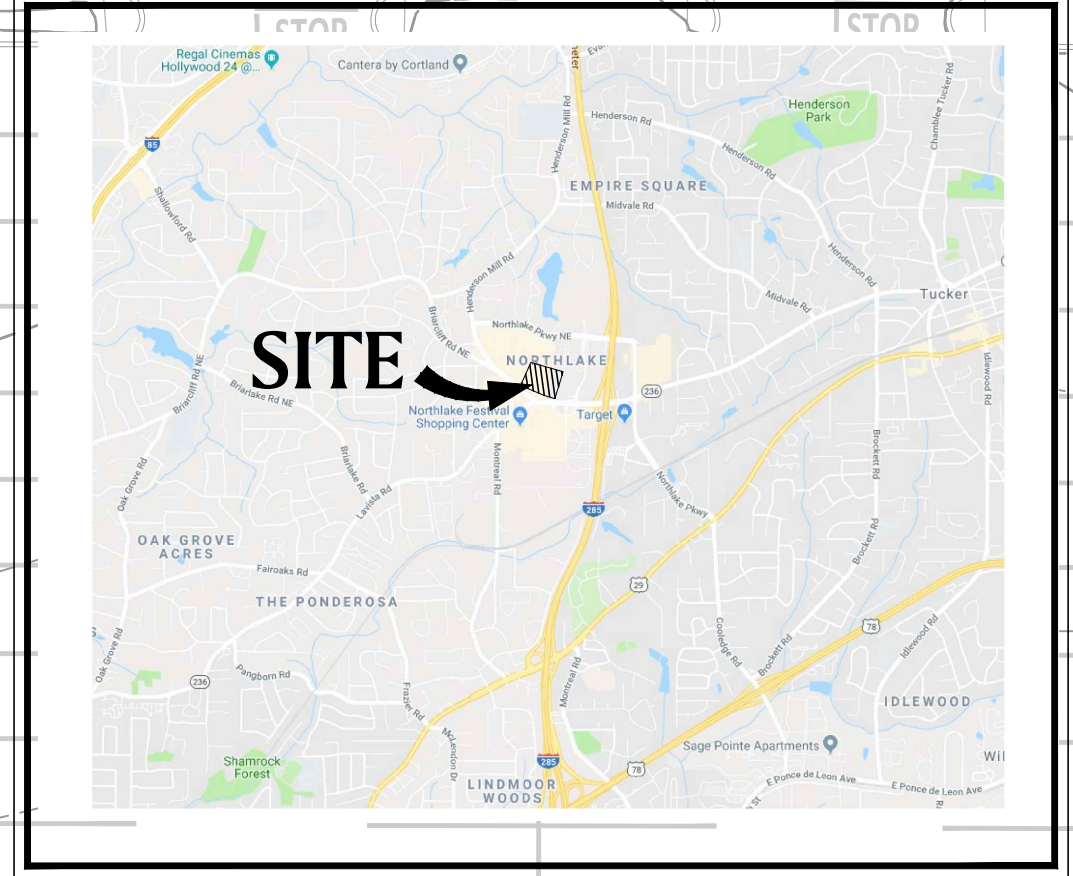
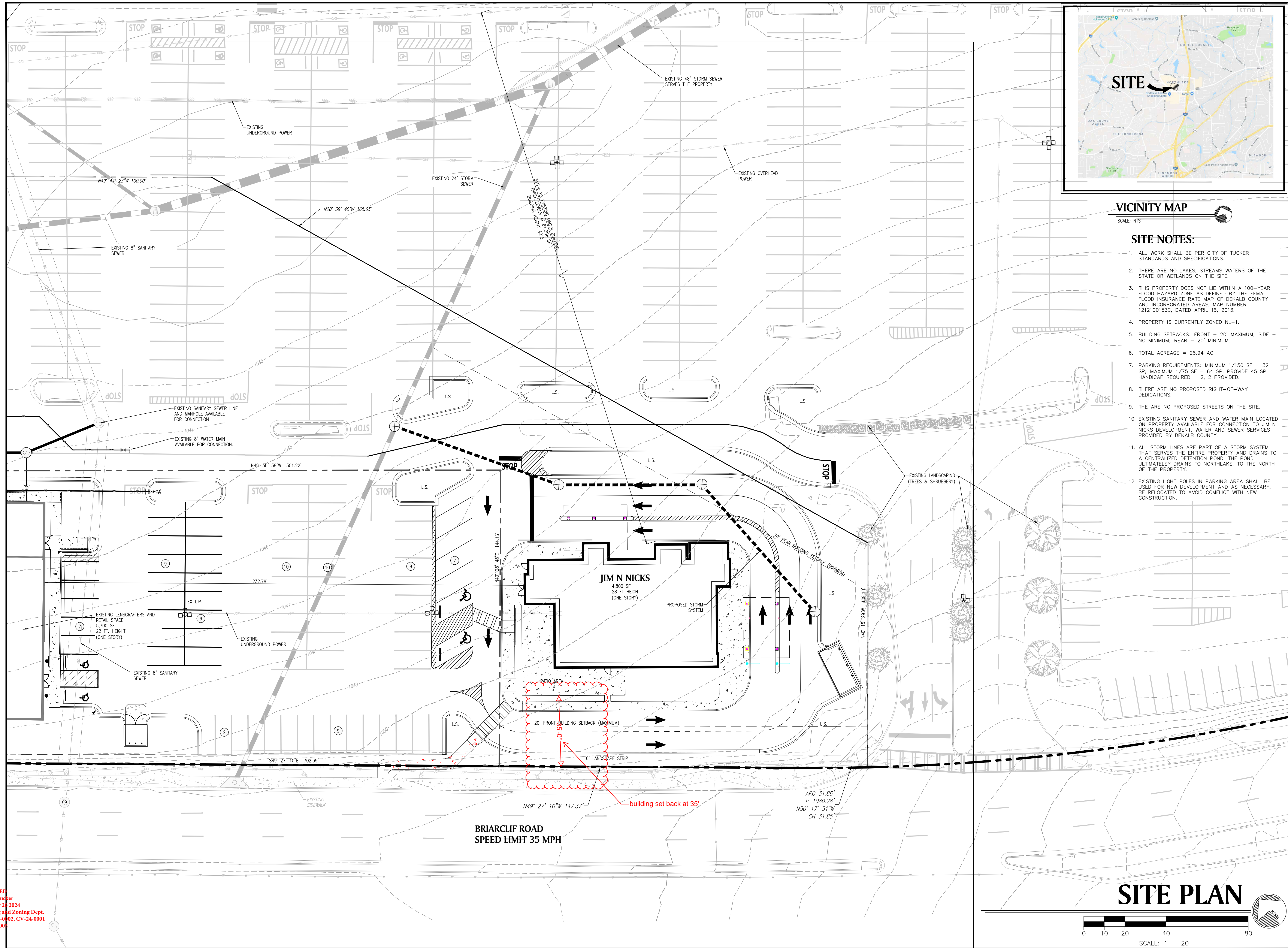
Sheet / Drawing Scale
 1" = 100'
 Unless Otherwise Noted

GSA Project No.
 18-09-500

Drawn By / Field Crew
 SCM Crew No. 1
 N/A

Sheet No. 01 OF 03

1/23/2023 10:20:10 Preliminary (Special Use Plan) 20230322c.dwg, WHICH FILE BLEED 7 (4'00" x 36.00" INCHES), SCHEME PLOTTER, DWG TO PDF, HPGL, WPCO, 2/28/24 11:14 AM



VICINITY MAP

SCALE: NTS

SITE NOTES:

1. ALL WORK SHALL BE PER CITY OF TUCKER STANDARDS AND SPECIFICATIONS.
2. THERE ARE NO LAKES, STREAMS, WATERS OF THE STATE OR WETLANDS ON THE SITE.
3. THIS PROPERTY DOES NOT LIE WITHIN A 100-YEAR FLOOD HAZARD ZONE AS DEFINED BY THE FEMA FLOOD INSURANCE RATE MAP OF DEKALB COUNTY AND INCORPORATED AREAS, MAP NUMBER 12121C0153C, DATED APRIL 16, 2013.
4. PROPERTY IS CURRENTLY ZONED NL-1.
5. BUILDING SETBACKS: FRONT - 20' MAXIMUM; SIDE - NO MINIMUM; REAR - 20' MINIMUM.
6. TOTAL ACREAGE = 26.94 AC.
7. PARKING REQUIREMENTS: MINIMUM 1/150 SF = 32 SP; MAXIMUM 1/75 SF = 64 SP; PROVIDE 45 SP. HANDICAP REQUIRED = 2, 2 PROVIDED.
8. THERE ARE NO PROPOSED RIGHT-OF-WAY DEDICATIONS.
9. THERE ARE NO PROPOSED STREETS ON THE SITE.
10. EXISTING SANITARY SEWER AND WATER MAIN LOCATED ON PROPERTY AVAILABLE FOR CONNECTION TO JIM N NICKS DEVELOPMENT. WATER AND SEWER SERVICES PROVIDED BY DEKALB COUNTY.
11. ALL STORM LINES ARE PART OF A STORM SYSTEM THAT SERVES THE ENTIRE PROPERTY AND DRAINS TO A CENTRALIZED DETENTION POND. THE POND ULTIMATELY DRAINS TO NORTHLAKE, TO THE NORTH OF THE PROPERTY.
12. EXISTING LIGHT POLES IN PARKING AREA SHALL BE USED FOR NEW DEVELOPMENT AND AS NECESSARY, BE RELOCATED TO AVOID CONFLICT WITH NEW CONSTRUCTION.

LAND PLANNERS
ENGINEERS • SURVEYORS
TRANSPORTATION
LANDSCAPE ARCHITECTS

85-A MILL STREET
SUITE 200
ROSWELL, GEORGIA 30075
VOICE 770.650.7685
FAX 770.650.7684
www.paulsonmitchell.com

PAULSON MITCHELL
INCORPORATED

PROJECT:

**NORTHLAKE MALL
REDEVELOPMENT
JIM N NICKS**

4832 BRIARCLIFF ROAD
LAND LOTS 209 & 210
DISTRICT 18
CITY OF TUCKER
DEKALB COUNTY, GA

FOR:

**NORTH LAKE ATR
CORINTH
PARTNERS, LLC**

12700 PARK CENTRAL DRIVE
SUITE 110
DALLAS, TX 75251

COA-PF001716 • EXP. - 6/30/2024

REVISIONS

NO.	DESCRIPTION	DATE



24 HR EMERGENCY CONTACT
MR. TONY RUGGERI
214-725-1128

20232032c.dwg 02.22.24

**SITE PLAN
JIM N NICKS**

SITE PLAN



RECEIVED
City of Tucker
February 24, 2024
Planning and Zoning Dept.
SLUP-24-002, CV-24-0001
CV-24-0003

RECEIVED
City of Tucker
February 26 2024
Planning and Zoning Dept.
SLUP-24-0002, CV-24-0001
CV-24-0002

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

Line #	Length	Direction
L1	15.00'	S49° 44' 23"E
L2	74.00'	N40° 15' 37"E
L3	9.00'	S49° 44' 23"E
L4	74.00'	N40° 15' 37"E
L5	15.00'	S49° 44' 23"E
L6	60.00'	S49° 44' 23"E
L7	56.00'	S40° 15' 37"W
L8	98.00'	S49° 44' 23"E
L9	56.00'	N40° 15' 37"E
L10	60.00'	N40° 15' 37"E
L11	22.00'	S49° 44' 23"E
L12	15.00'	N40° 15' 37"E

Legend of Symbols & Abbreviations

- POWER POLE
- LIGHT POLE
- GUY WIRE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC VAULT
- TRANSFORMER
- AIR CONDITIONER UNIT
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE BOX
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- STORM PIPE
- GREASE TRAP
- COMPUTED POINT
- PLANTER
- TRAFFIC SIGNAL BOX
- SIGNAL LIGHT POLE
- SIGNAL LIGHT
- VAULT
- SIGN (AS NOTED)
- TOWER
- MONITORING WELL
- FLAG POLE
- BENCHMARK
- WATER VALVE
- FIRE HYDRANT
- SIAMSE FIRE HYDRANT
- WATER MANHOLE
- BACKFLOW PREVENTER
- WATER METER
- WELL HEAD
- POINT OF ACCESS
- SANITARY MANHOLE
- CLEAN OUT
- GAS MANHOLE
- GAS VALVE
- GAS METER
- HANDICAPPED PARKING
- MITERED END SECTION
- BENCHMARK
- (R) RECORD
- (M) MEASURED
- (C) CALCULATED
- VOL. VOLUME
- P.G. PAGE
- O.R. OFFICIAL RECORDS
- P.B. PLAT BOOK

Field Observation Notes

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- THERE WAS NOT OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- THERE WAS NOT OBSERVABLE EVIDENCE OF CHANGES IN STREET RIGHT-OF-WAY LINES AND/OR STREET OR SIDEWALK REPAIRS.
- THERE WAS NOT OBSERVABLE EVIDENCE OF SITE BEING USED AS A SOLID WASTE DUMP OR LANDFILL.
- THERE WAS NOT OBSERVABLE EVIDENCE OF EXISTING OR PROPOSED BURY PITS LOCATED ON THIS PROPERTY.

Utility Notes

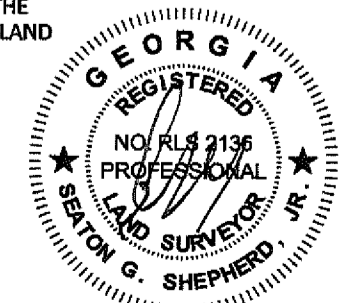
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- WATER SERVICE TO BE PROVIDED BY DEKALB COUNTY.

Map or Plat Certification

As required by subsection (c) of O.C.G.A. Section 15-6-67, this map or plat has been prepared and issued for submission and approval by the local jurisdiction as is evidenced by the approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of the survey or map as to intended use of any parcel.

Furthermore, the undersigned land surveyor certifies that: IN MY OPINION, THAT THIS MAP, PLAT, OR PLAN CONFORMS WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT OCGA 15-6-67.

Stanton G. Shepherd, II
Registered Land Surveyor No. 2136
In the State of Georgia
Date of Plat or Map: October 22, 2018
Date of Last Revision: April 3, 2019

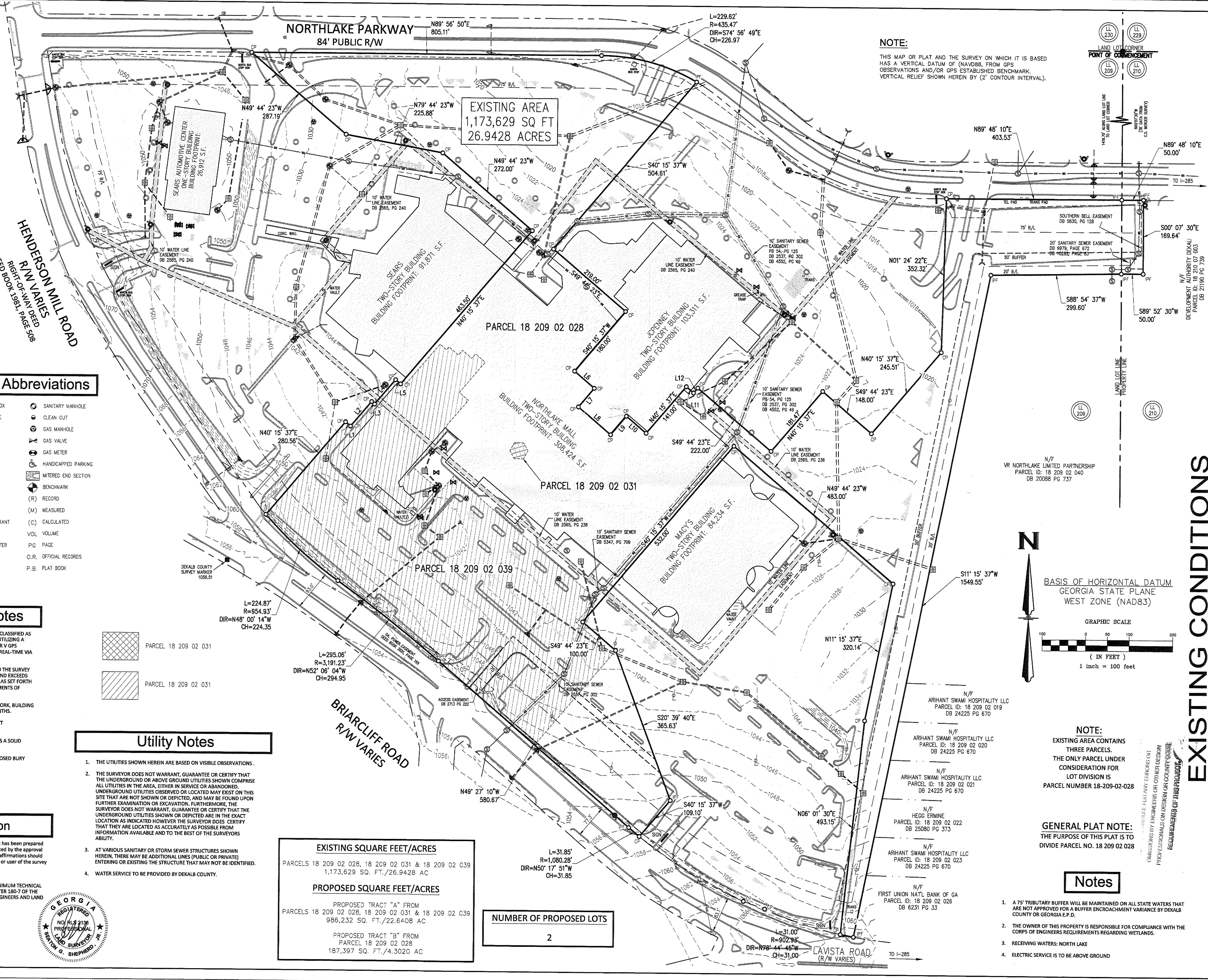


EXISTING SQUARE FEET/ACRES
PARCELS 18 209 02 028, 18 209 02 031 & 18 209 02 039
1,173,629 SQ. FT./26.9428 AC

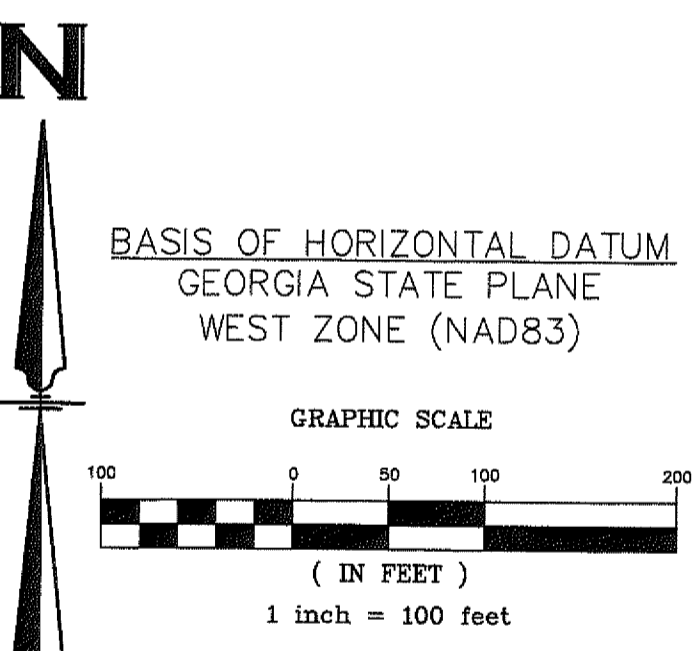
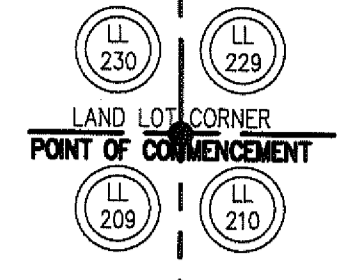
PROPOSED SQUARE FEET/ACRES
PROPOSED TRACT "A" FROM
PARCELS 18 209 02 028, 18 209 02 031 & 18 209 02 039
986,232 SQ. FT./22.6408 AC

PROPOSED TRACT "B" FROM
PARCEL 18 209 02 028
187,397 SQ. FT./4.3020 AC

NUMBER OF PROPOSED LOTS
2



NOTE:
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BASIS OF HORIZONTAL DATUM
GEORGIA STATE PLANE
WEST ZONE (NAD83)

NOTE:
EXISTING AREA CONTAINS
THREE PARCELS.
THE ONLY PARCEL UNDER
CONSIDERATION FOR
LOT DIVISION IS
PARCEL NUMBER 18-209-02-028

GENERAL PLAT NOTE:
THE PURPOSE OF THIS PLAT IS TO
DIVIDE PARCEL NO. 18 209 02 028

Notes

- A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GEORGIA E.P.D.
- THE OWNER OF THIS PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS.
- RECEIVING WATERS: NORTH LAKE
- ELECTRIC SERVICE IS TO BE ABOVE GROUND

GRANT SHEPHERD & ASSOCIATES, INC.
Construction Layout • GPS Modeling
Land Surveying • Site Development
735 LONGLEAF BOULEVARD, SUITE A LAWRENCEVILLE, GA 30046
PHONE: 770.418.9823 FAX: 770.418.9289
WWW.GSSSURVEYING.COM
COA/LSF 000459

LOT DIVISION OF:
NORTHLAKE MALL
Parcel No.: 18 209 02 028
4800 Briarcliff Road
LAND LOT 209 & 210 OF THE 18TH LAND DISTRICT
DEKALB COUNTY, GA

Sheet / Drawing Scale
1" = 100'
Unless Otherwise Noted
GSA Project No.
18-09-500
Drawn By / Field Crew
SCM Crew No. 1
N/A
Sheet No. 02 OF 03

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 SLUP-24-0002, CV-24-0001
 CV-24-0002

THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

Line #	Length	Direction
L13	15.00'	S49° 44' 23"E
L14	74.00'	N40° 15' 37"E
L15	9.00'	S49° 44' 23"E
L16	74.00'	N40° 15' 37"E
L17	15.00'	S49° 44' 23"E
L18	60.00'	S49° 44' 23"E
L19	56.00'	S40° 15' 37"W
L20	98.00'	S49° 44' 23"E
L21	56.00'	N40° 15' 37"E
L22	60.00'	S49° 44' 23"E
L23	22.00'	S49° 44' 23"E
L24	15.00'	N40° 15' 37"E

Legend of Symbols & Abbreviations

POWER POLE	TRAFFIC SIGNAL BOX	SANITARY MANHOLE
LIGHT POLE	SIGNAL LIGHT POLE	CLEAN OUT
GUY WIRE	SIGNAL LIGHT	GAS MANHOLE
ELECTRIC MANHOLE	VAULT	GAS VALVE
ELECTRIC METER	SIGN (AS NOTED)	GAS METER
ELECTRIC VAULT	TOWER	HANDICAPPED PARKING
TRANSFORMER	MONITORING WELL	MITERED END SECTION
AIR CONDITIONER UNIT	FLAG POLE	BENCHMARK
TELEPHONE MANHOLE	WATER VALVE	(R) RECORD
TELEPHONE PEDESTAL	FIRE HYDRANT	(M) MEASURED
CABLE BOX	SMASSE FIRE HYDRANT	(C) CALCULATED
STORM DRAIN MANHOLE	WATER MANHOLE	VOL. VOLUME
STORM DRAIN INLET	BACKFLOW PREVENTER	PG. PAGE
STORM PIPE	WATER METER	C.R. OFFICIAL RECORDS
GREASE TRAP	WELL HEAD	P.B. PLAT BOOK
PLANTER	POINT OF ACCESS	CP - COMPUTED POINT
		IP - IRON PIN FOUND

Field Observation Notes

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Seaton G. Shepherd, Jr.
 Registered Land Surveyor No. 2136
 In the State of Georgia
 Date of Plat or Map: October 22, 2018
 Date of Last Revision: April 3, 2019



PARCEL A
 986,232 SQ FT
 22.6408 ACRES

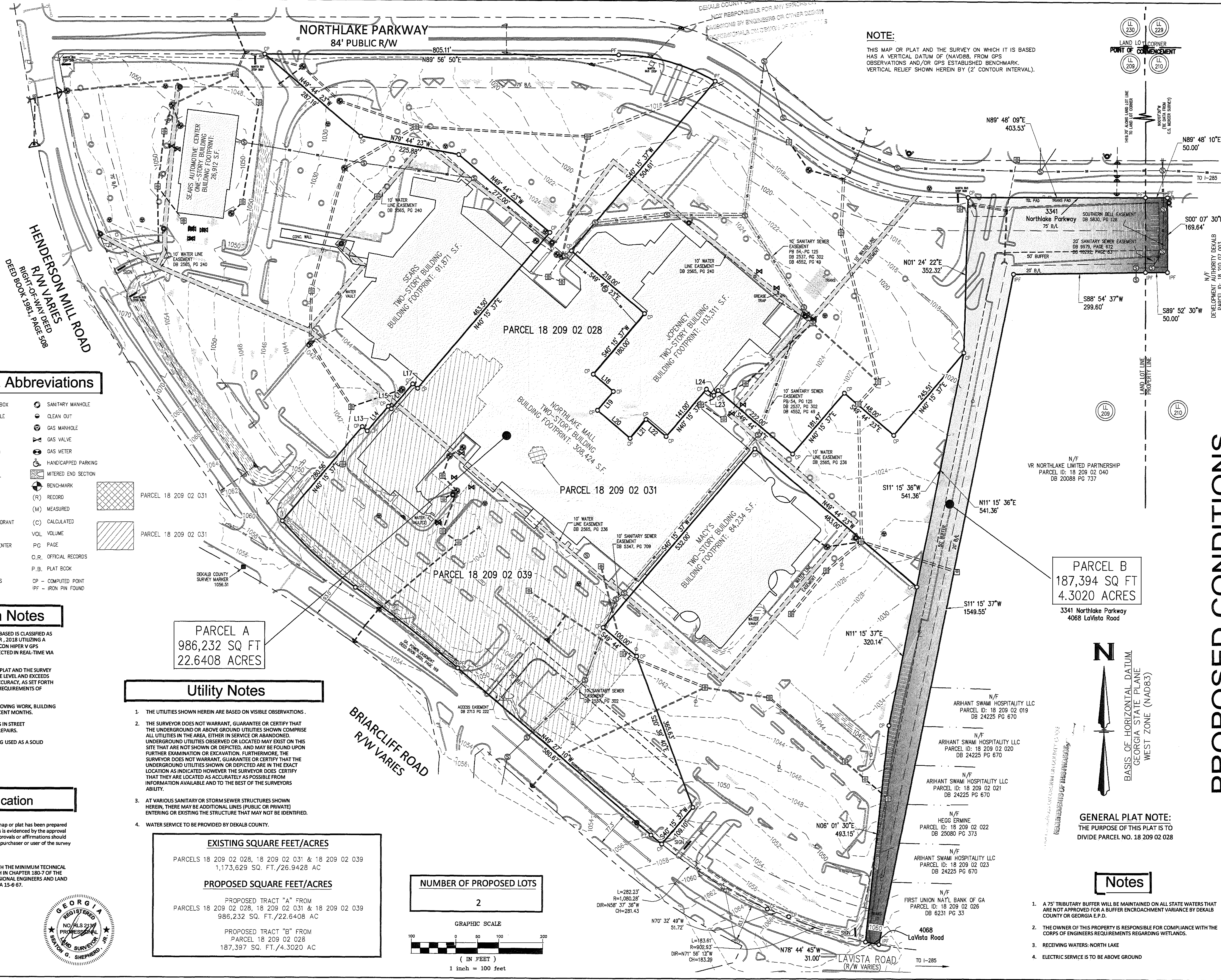
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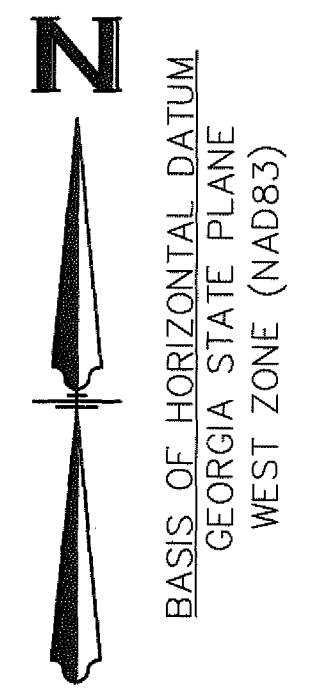
EXISTING SQUARE FEET/ACRES
PARCELS 18 209 02 028, 18 209 02 031 & 18 209 02 039 1,173,629 SQ. FT./26.9428 AC
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PROPOSED TRACT "B" FROM PARCEL 18 209 02 028 187,397 SQ. FT./4.3020 AC

NUMBER OF PROPOSED LOTS
 2

GRAPHIC SCALE
 1 inch = 100 feet



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GENERAL PLAT NOTE:
 THE PURPOSE OF THIS PLAT IS TO DIVIDE PARCEL NO. 18 209 02 028

Notes

- A 75' TRIBUTARY BUFFER WILL BE MAINTAINED ON ALL STATE WATERS THAT ARE NOT APPROVED FOR A BUFFER ENCROACHMENT VARIANCE BY DEKALB COUNTY OR GEORGIA E.P.D.
- THE OWNER OF THIS PROPERTY IS RESPONSIBLE FOR COMPLIANCE WITH THE CORPUS OF ENGINEERS REQUIREMENTS REGARDING WETLANDS.
- RECEIVING WATERS: NORTH LAKE
- ELECTRIC SERVICE IS TO BE ABOVE GROUND

GRANT SHEPHERD & ASSOCIATES, INC.
 Construction Layout • GPS Modeling
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 WWW.GSASURVEYING.COM

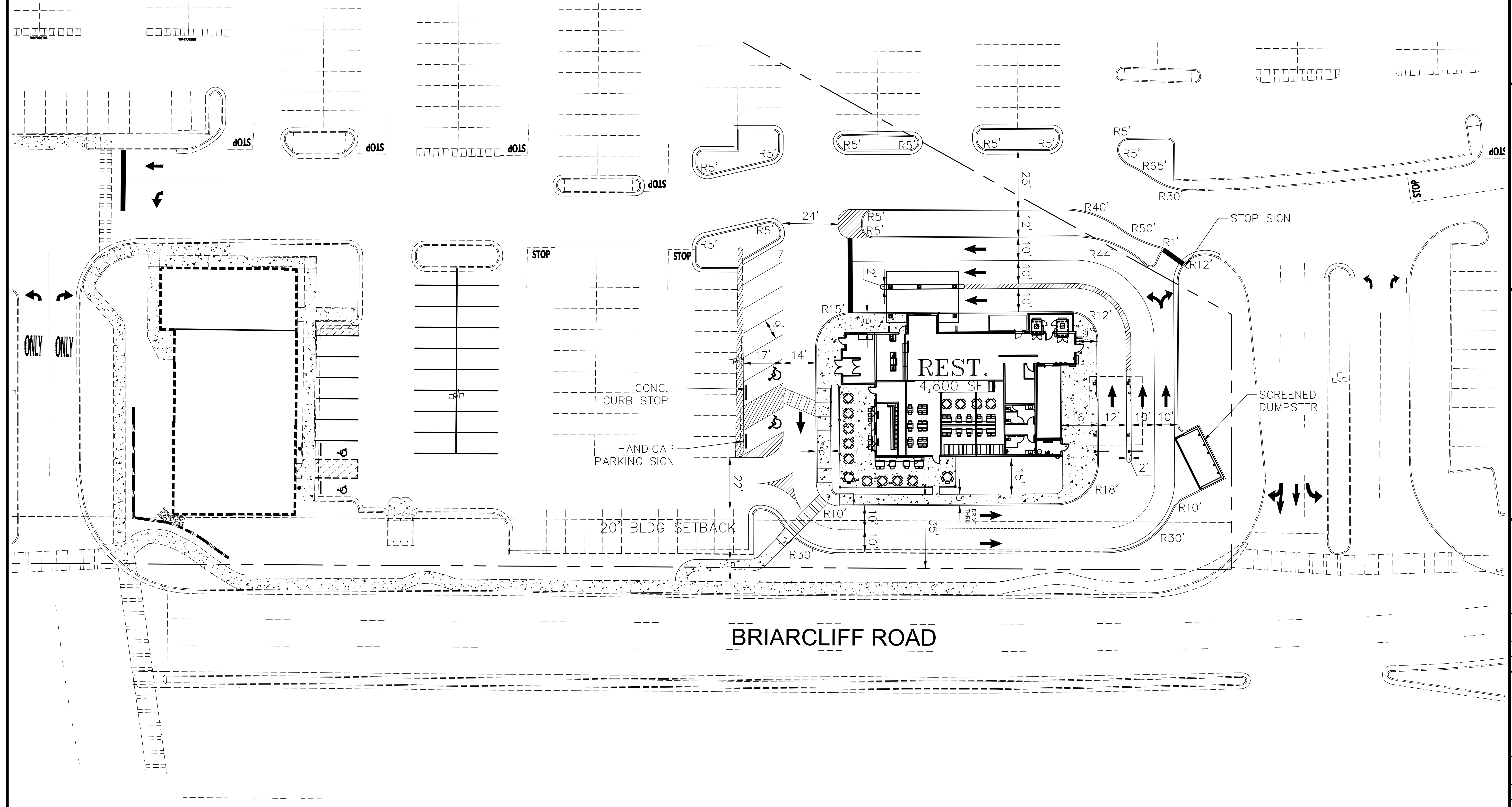
735 LONGLEAF BOULEVARD, SUITE A, LAWRENCEVILLE, GA 30046
 PHONE: 770.418.9623, FAX: 770.418.9289
 COX/L/SF 000459

PROPOSED CONDITIONS

LOT DIVISION OF:
NORTHLAKE MALL
 Parcel No: 18 209 02 028
 4-800 Briarcliff Road
 LAND LOT 209 & 210 OF THE 18TH LAND DISTRICT
 DEKALB COUNTY, GA

Sheet / Drawing Scale
 1" = 100'
 Unless Otherwise Noted
 GSA Project No.
 18-09-500
 Drawn By / Field Crew
 SCM Crew No. 1
 N/A
 Sheet No. 03 OF 03

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 CV-24-0002

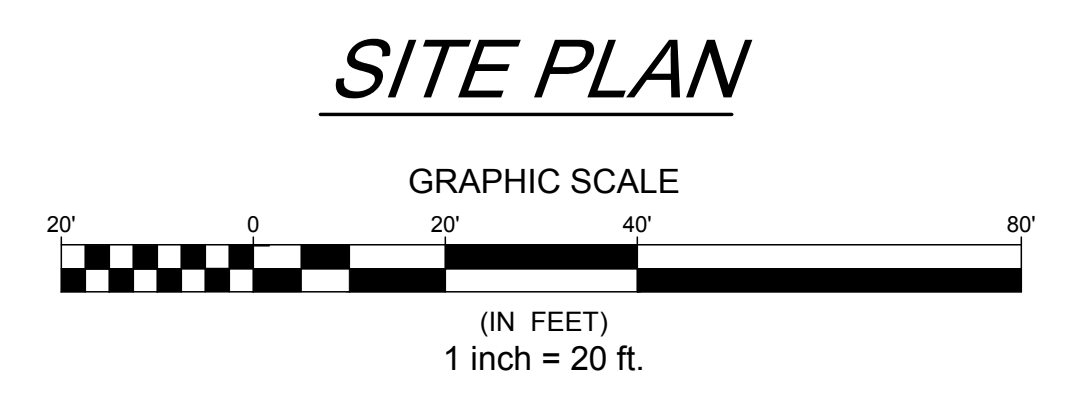


A PROJECT OF:
JIM'N NICK'S
 COMMUNITY
BAR-B-Q

JIM'N NICK'S NORTHLAKE
 4880 Briarcliff Road NE Atlanta, GA 30345

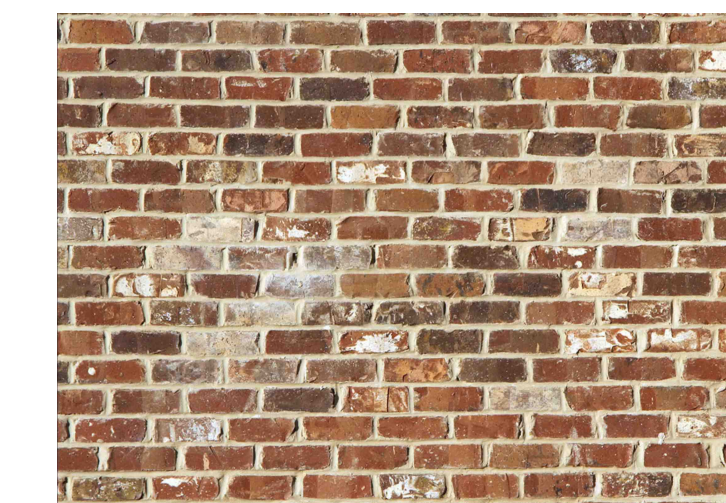
NO.	BY	DATE	DESCRIPTION

DRAWN BY SCA	CHECKED BY SCA
DATE 01/11/2024	
SHEET TITLE PLAN	
SHEET NUMBER SP-6	





WD1 Stained Wood Cedar Post and Beam



BR1 - Cherokee Brick Old New Orleans



C1 - Cementitious Side



PT1 BM Wrought Iron



1 NORTHWEST ELEVATION
 A2.1 1/4" = 1'-0"

30% Fenestration required on this elevation
 Wall elevation total from Height of finished floor to wall plate : 536 sf
 Total Glass provided: 173 sf
 As percentage 32.2%

COLORED ELEVATIONS. CONSTRUCTION
 DETAILS AND FURTHER INFORMATION ARE
 CONTAINED ON THE ARCHITECTURAL
 DOCUMENTS
 SHEETS A2.1, A2.2 AND FINISH SCHEDULE
 ON ID.05

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 Planning and Zoning Dept.
 SLUP-24-0002, CV-24-0001
 CV-24-0002

JIM 'N NICK'S

OWNER:
 JIM 'N NICK'S
 10 INVERNESS CENTER PARKWAY
 SUITE 250
 BIRMINGHAM, AL 35242

JIM 'N NICK'S

DOCUMENT DATE:
 March 3, 2024
 JOB#:
 170910.03

DRAWN BY:
 Andy Simpson

△	R1	1.1.2023
△	R2	6.5.2023
△		
△		
△		
△		

ID.01

Exterior elevations

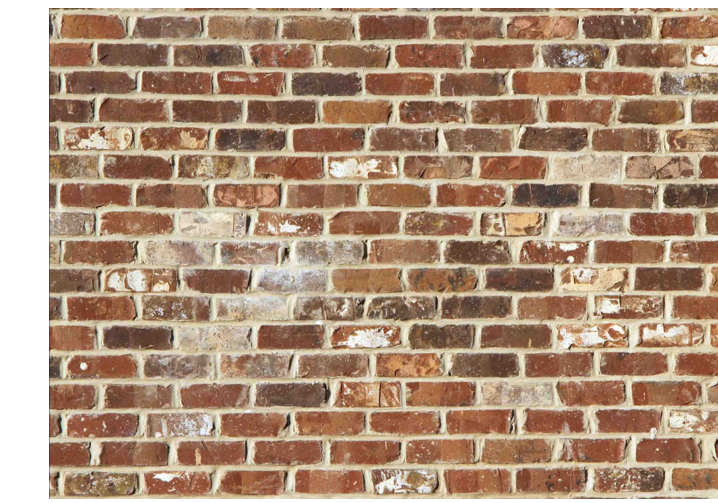


2 BRIARCLIFF ROAD / SOUTHEAST ELEVATION
 A2.1 1/4" = 1'-0"

65% Fenestration required on this elevation
 Wall elevation total from Height of finished floor to wall plate : 1002 sf
 Total Glass provided: 186 sf
 As percentage 18.5%
 Glass / windows are on all areas not in kitchen or restrooms.



WD1 Stained Wood Cedar Post and Beam



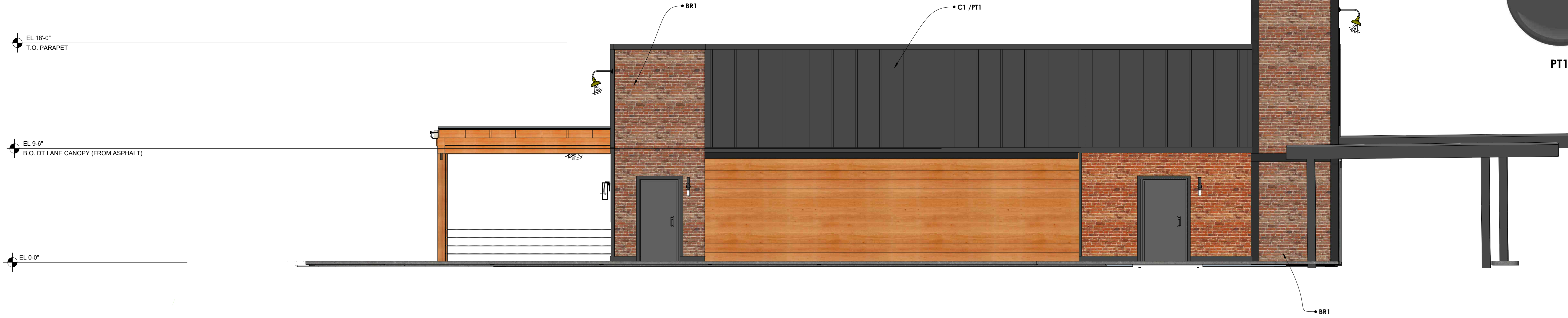
BR1 - Cherokee Brick Old New Orleans



C1 - Cementitious Side



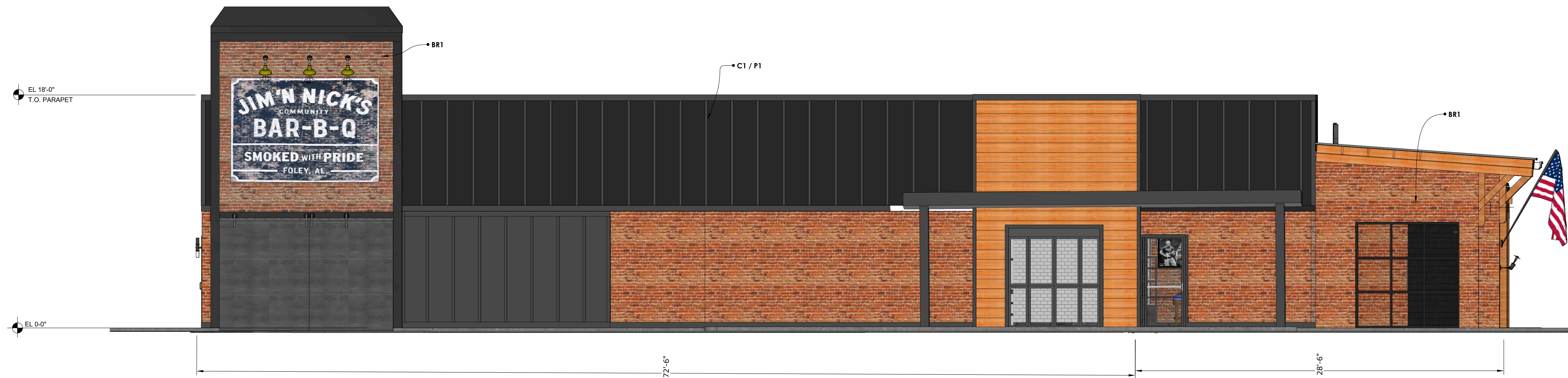
PT1 BM Wrought Iron



1
 A2.2
 SOUTHEAST ELEVATION
 1/4" = 1'-0"

Note: This entire elevation is the kitchen of the restaurant

COLORED ELEVATIONS. CONSTRUCTION DETAILS AND FURTHER INFORMATION ARE CONTAINED ON THE ARCHITECTURAL DOCUMENTS SHEETS A2.1, A2.2 AND FINISH SCHEDULE ON ID.05



2
 A2.2
 NORTHEAST ELEVATION
 1/4" = 1'-0"

Note: This area is the restaurant kitchen

Public area.

RESOLUTE
 creating experiences people want to be part of

JIM 'N NICK'S

OWNER:
 JIM 'N NICK'S
 10 INVERNESS CENTER PARKWAY
 SUITE 250
 BIRMINGHAM, AL 35242

DOCUMENT DATE:
 March 3, 2024
 JOB#:
 170910.03

DRAWN BY:
 Andy Simpson

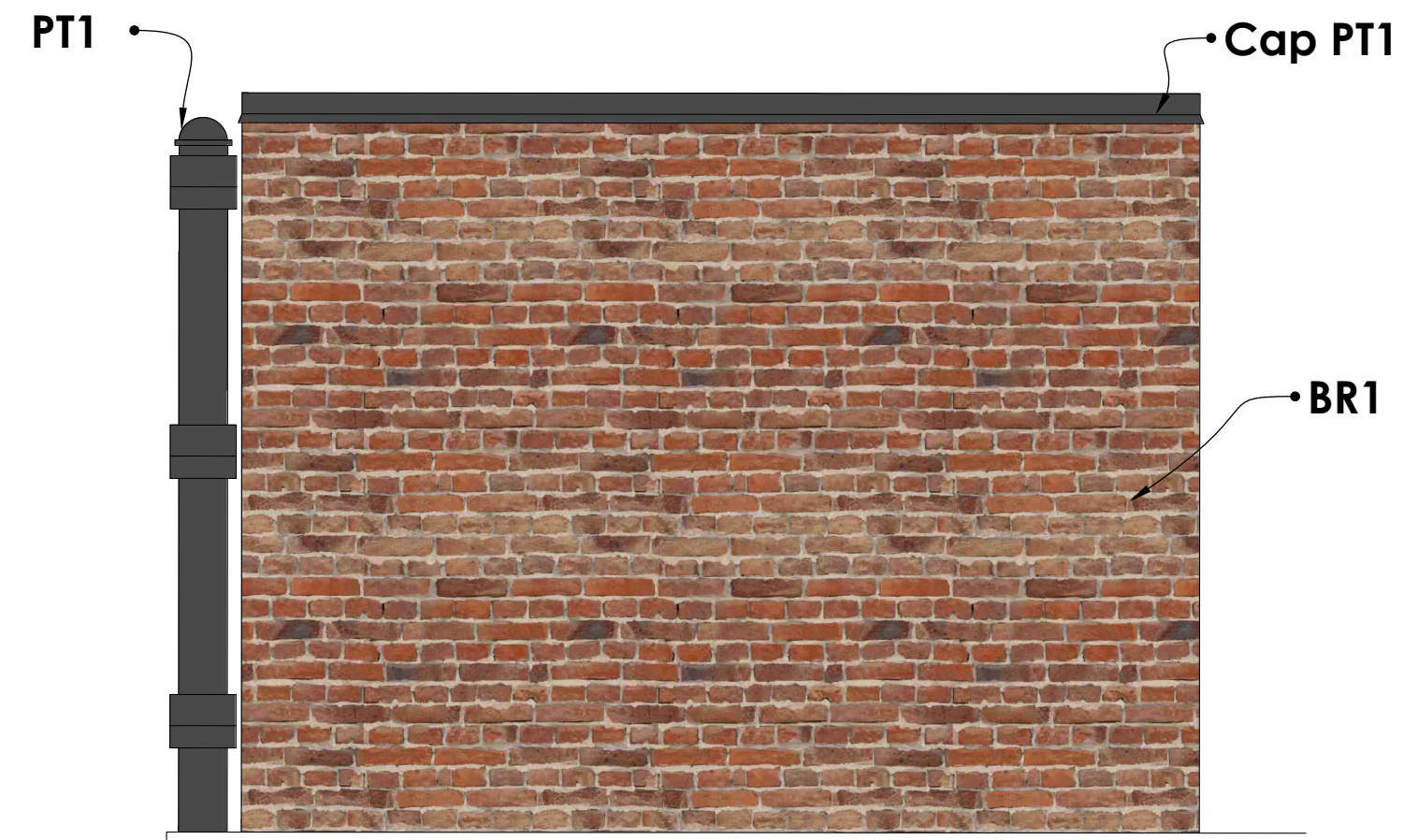
JIM 'N NICK'S

- △ R1 1.1.2023
- △ R2 6.5.2023
- △
- △
- △

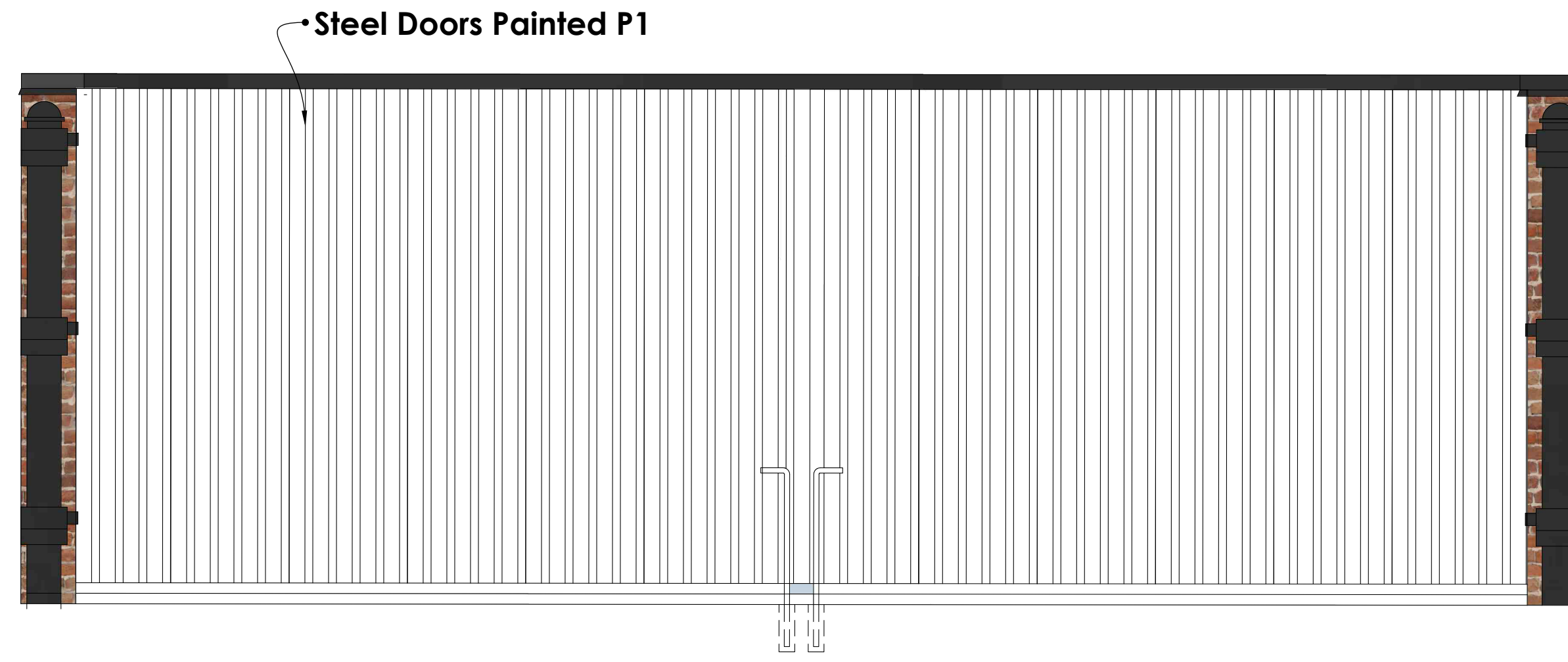
ID.02

Exterior Elevations

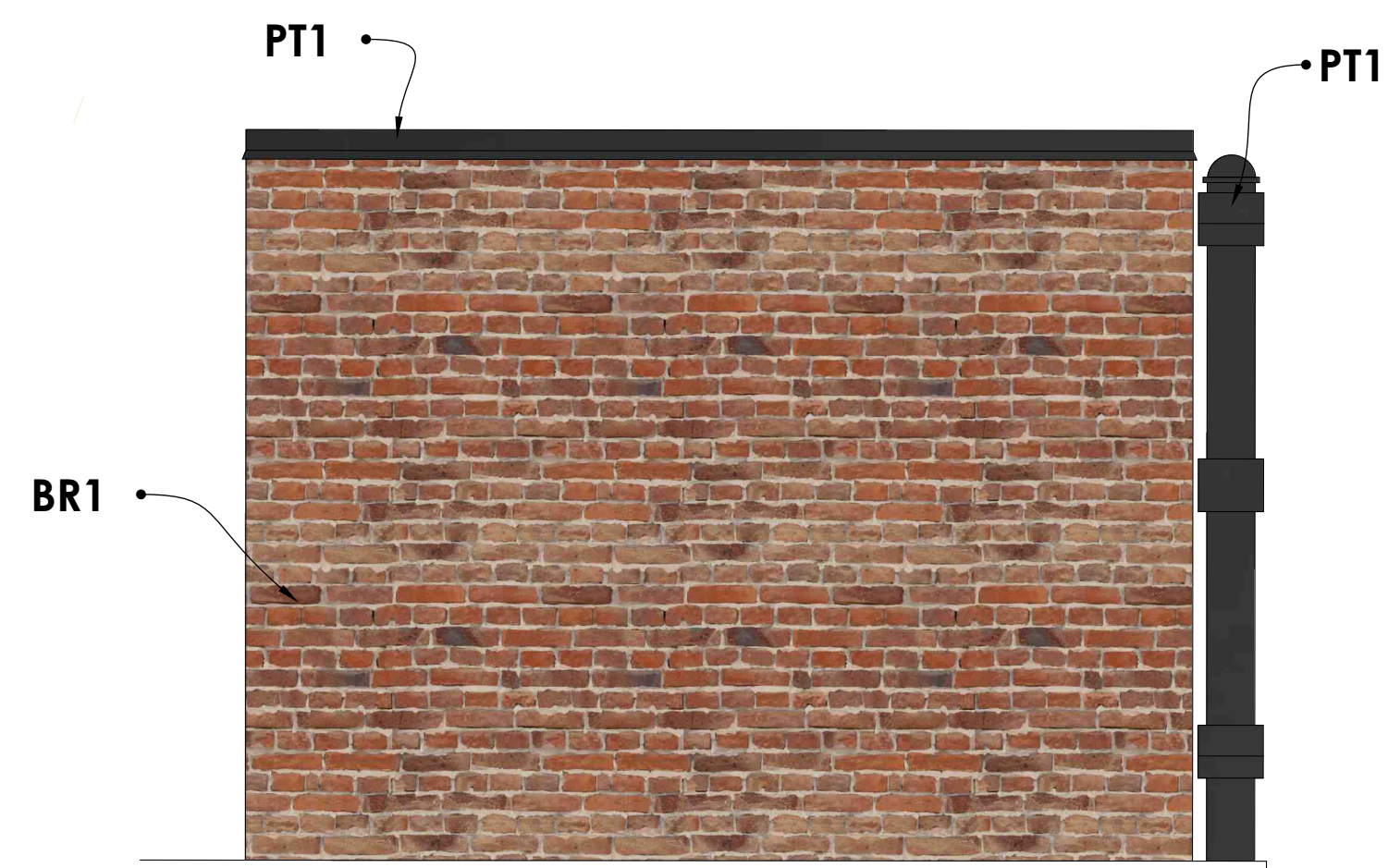
TRASH STRUCTURE



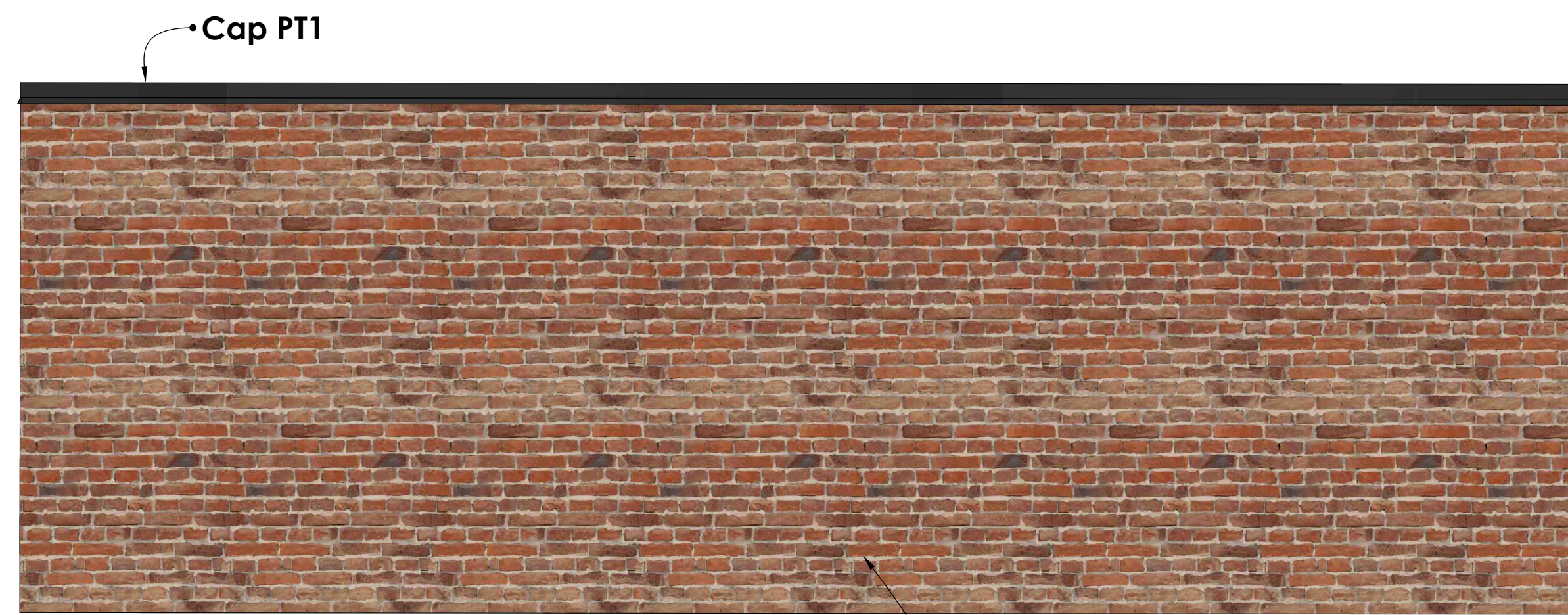
1 Side Elevation
1/2" = 1'-0"



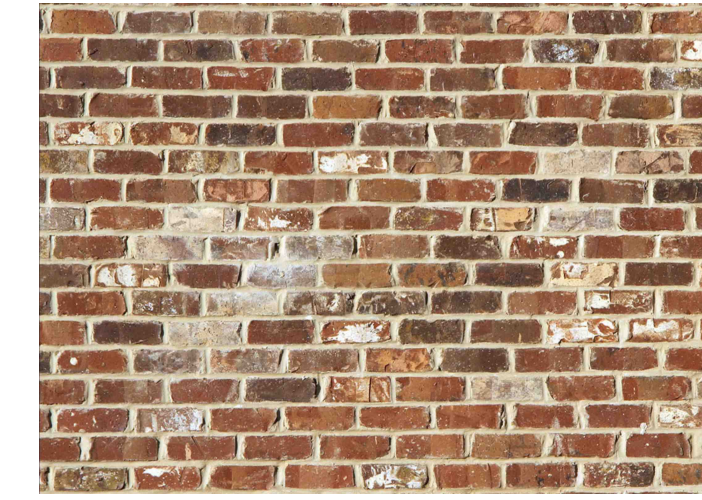
2 Face Elevation
1/2" = 1'-0"



3 Side Elevation
1/2" = 1'-0"



4 Rear Elevation
1/2" = 1'-0"



BR1 - Cherokee Brick Old New Orleans



PT1 BM Wrought Iron

RESOLUTE
creating experiences people
want to be part of

OWNER:
JIM 'N NICK'S
10 INVERNESS CENTER PARKWAY
SUITE 250
BIRMINGHAM, AL 35242

JIM 'N NICK'S
DRAWN BY:
Andy Simpson
DOCUMENT DATE:
March 3, 2024
JOB#:
170910.03

- △ R1 1.1.2023
- △ R2 6.5.2023
- △
- △
- △
- △

ID.03

Trash Structure Elevations



RESOLUTE
creating experiences people
want to be part of

JIM 'N NICK'S

OWNER:
JIM 'N NICK'S
10 INVERNESS CENTER PARKWAY
SUITE 250
BIRMINGHAM, AL 35242

DOCUMENT DATE:
March 3, 2024
JOB#:
170910.03

DRAWN BY:
Andy Simpson

- △ R1 1.1.2023
- △ R2 6.5.2023
- △
- △
- △
- △

ID.04

renderings



RESOLUTE
creating experiences people
want to be part of

JIM 'N NICK'S

OWNER:
JIM 'N NICK'S
10 INVERNESS CENTER PARKWAY
SUITE 250
BIRMINGHAM, AL 35242

DOCUMENT DATE:
March 3, 2024
JOB#:
170910.03

DRAWN BY:
Andy Simpson

- △ R1 1.1.2023
- △ R2 6.5.2023
- △
- △
- △
- △

ID.05

CONCURRENT VARIANCE CRITERIA

Increased setback request to 35'

Section 46-1633 of the City of Tucker Zoning Ordinance lists specific criteria the board shall use in determining whether or not to grant a variance. The applicant shall provide a written analysis of how the request complies with these criteria if they are requesting a concurrent variance.

Variances from the provisions or requirements of this division other than variances described in [section 46-1634](#) shall be authorized only upon making all of the following findings in writing:

1. By reason of exceptional narrowness, shallowness, or shape of a specific lot, or by reason of exceptional topographic and other site conditions (such as, but not limited to, floodplain, major stand of trees, steep slope), which were not created by the owner or applicant, the strict application of the requirements of this division would deprive the property owner of rights and privileges enjoyed by other property owners in the same zoning district.
 - a. No impact on the proposed variance request.
2. The requested variance does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.
 - a. The proposed request to extend the front setback from a maximum of 20ft to 35ft is to meet the requirements for a drive-thru established within zoning Ordinance Sec 46-1166 and the Northlake Zoning District sec.46-1045.
 - i. All drive-through facilities shall include a bypass lane with a minimum width of 10ft.
3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.
 - a. The proposed building will meet all other design guidelines and provide an additional bypass lane for emergencies. The overall building design is harmonious with the surrounding/adjacent properties.

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SL Page 175 of 293 24-0001
CV-24-0002

4. The literal interpretation and strict application of the applicable provisions or requirements of this division would cause undue and unnecessary hardship.
 - a. The request for the variance is to meet the overall business model of a faster service to restaurant customers by allowing service via drive-thru and walk-in customers; This will allow all persons of the City to be able to gain faster service. Without the variance request, we would not be able to meet the requirements of the drive-through ordinances.

5. The requested variance would be consistent with the spirit and purpose of this division and the comprehensive plan text.
 - a. The requested variance is consistent with the comprehensive plans for the redevelopment of Northlake Mall.

CONCURRENT VARIANCE CRITERIA

Reduce Fenestration Requirements

Section 46-1633 of the City of Tucker Zoning Ordinance lists specific criteria the board shall use in determining whether or not to grant a variance. The applicant shall provide a written analysis of how the request complies with these criteria if they are requesting a concurrent variance.

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 - a. No impact on the proposed variance request.

2. The requested variance does not go beyond the minimum necessary to afford relief and does not constitute a grant of special privilege inconsistent with the limitations upon other properties in the zoning district in which the subject property is located.
 - a. The proposed request to reduce the fenestration minimum percentage of window glass coverage will not constitute a grant of special privilege since the required fenestration within the Northlake Design area relates to retail business; The restaurant has back-of-house kitchens and restrooms which prevent the use of window glass. Various designs were introduced to maximize the use of glass.

3. The grant of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the zoning district in which the subject property is located.
 - a. The proposed building will meet all other design guidelines and provide glass windows and doors in all pedestrian access locations. The overall building design is harmonious with the surrounding/adjacent properties.

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4. The literal interpretation and strict application of the applicable provisions or requirements of this division would cause undue and unnecessary hardship.
 - a. Restaurant use requires public restrooms and kitchen/ back of house if the variance request were not approved the hardship would cause the business to seek other locations within the surrounding counties to open and operate.

5. The requested variance would be consistent with the spirit and purpose of this division and the comprehensive plan text.
 - a. The requested variance is consistent with the comprehensive plans for the redevelopment of Northlake Mall; The Jim 'N Nick's is also providing additional pedestrian/patron use with the proposed outdoor patio area.

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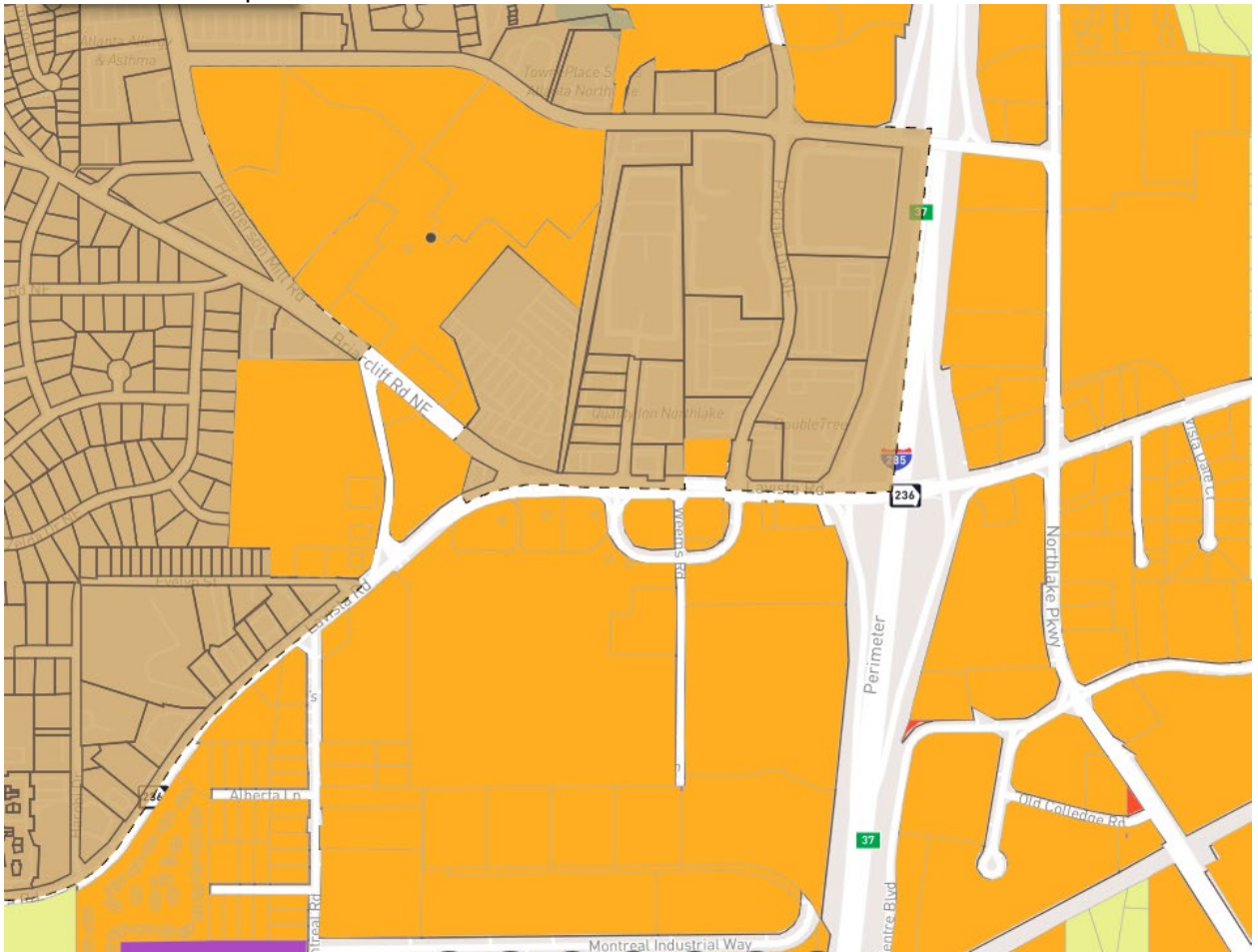
ENVIRONMENTAL SITE ANALYSIS FORM

1. CONFORMANCE WITH THE COMPREHENSIVE PLAN.

The proposed construction of the Jim 'N Nicks' BB'Q restaurant within the NorthLake Mall conforms with the Town Center redevelopment opportunities at the Northlake mall site and the future employment growth opportunities provided by the restaurant. The Northlake mall retail area is one of the Cities largest Industries within the City.

The proposed restaurant will be adding additional sidewalk access to the site to increase the Tucker-Northlake walkable downtown, also the outdoor patio will bring additional pedestrian-oriented attraction/use to the site.

Future Land Use Map- Town Center



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2. **ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT**

- a. Wetlands
 - Absent or no wetlands on the property
- b. Floodplain
 - Absent or no floodplain within the property
- c. Streams/stream buffers
 - Absent or no stream/stream buffers are found within property
- d. Slopes exceeding 25 percent over a 10-foot rise in elevation
 - Slopes do not exceed 25% within a 10-foot rise in elevation.
- e. Vegetation
 - Additional vegetation will be added to the proposed site within the Landscape plans proposed.
- f. Wildlife Species (including fish)
 - There will be no impact on the wildlife species.
- g. Archeological/Historical Sites
 - This site is not a historical site nor are there any archaeological finding on the property.

3. **PROJECT IMPLEMENTATION MEASURES**

- a. Protection of environmentally sensitive areas, i.e., floodplain, slopes exceeding 25 percent, river corridors.
 - The proposed building is not in sensitive areas such as floodplains, slopes exceeding 25% percent, river corridors, etc.
- b. Protection of water quality
 - The existing building is not in sensitive areas such as floodplains, slopes exceeding 25% percent, river corridors, etc.
- c. Minimization of negative impacts on existing infrastructure
 - The proposed site is a vacant undeveloped pad, there is no negative impacts.
- d. Minimization of archeological/historically significant areas
 - The proposed building is not in archeological/ historically significant areas.
- e. Minimization of negative impacts on environmentally stressed communities where environmentally stressed communities are defined as communities exposed to a minimum of two environmentally adverse conditions resulting from public and private municipal (e.g., solid waste and wastewater treatment facilities, utilities, airports, and railroads) and industrial (e.g., landfills, quarries, and manufacturing facilities) uses

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- The proposed building construction was on of the master plan for the development. No adverse conditions or stress are to be placed on the un-development parcel.
- f. Creation and preservation of green space and open space
 - Additional vegetation will be added to the proposed site within the Landscape plans proposed.
- g. Protection of citizens from the negative impacts of noise and lighting
 - Additional vegetation will be added to proposed site within the Landscape plans proposed to add screening from drive thru and increase setbacks has been requested.
 - The proposed location is not within a residential area and all lighting will be screened.
- h. Protection of parks and recreational green space
 - The proposed building isn't located near parks or recreational green spaces.
- i. Minimization of impacts to wildlife habitats
 - There will be no impact to wildlife habitats.

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Proposed Land Use 934 Fast Casual Restaurant with Drive Thru

What is a fast casual restaurant type?

Fast casual restaurant concepts offer the convenience of fast food without the full service of fine dining. Fast casual dining consists of a more inviting sit-down ambiance, and often, the ability to build your own meal. The menu consists of better-quality ingredients that can be found at most fast-food establishments.

TRIP GENERATION

The results of the site-generated traffic analysis for the proposed development are shown in Table 1 below.

**TRAFFIC IMPACT STUDY
SCOPING/METHODOLOGY STATEMENT**

TABLE 1

Land Use	Land Use Code ⁽¹⁾	Size	Daily Trips	Period	Peak Hour Trips			Pass by ⁽²⁾			Primary		
					In	Out	Total	In	Out	Total	In	Out	Total
Fast Food restaurant with Drive thru	934	4,989 SF	2,350	AM	102	99	201	50	49	99	52	50	102
				PM	85	78	163	43	39	82	42	39	81

(1) Based on the Institute of Transportation Engineers Trip Generation, 10th Edition

(1) Pass-By rates of 49% for the AM Peak Hour and 50% for the PM Peak Hour were extracted from the ITE Trip Generation Handbook, 3rd Edition

Based on a Fast Casual Restaurant with Drive Thru lane with an average of 10 vehicle stacking and average wait time of 8 minutes.

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Public Participation Plan Report

Project Name: Jim 'N Nick's Community Bar-B-Q – Tucker

Contact Name: Perry Jones

Meeting Date: January 29, 2024

Meeting Location: Northlake Mall, 4800 Briarcliff Rd., Suite 1019

Meeting Start Time: 12:00 p.m.

Meeting End Time: 12:30 p.m.

Number of people in attendance: 7

Date of Filing of Land Use Petition Application: February 22, 2024

General Introduction:

The purpose of this meeting was to share information about the proposed Jim 'N Nick's restaurant with members of the local community and to address any questions or concerns those members have about our business. A letter, which included a description of Jim 'N Nick's origin and the type of food served, along with the proposed site plan and color elevation drawings, was sent to all residents who live within 500 ft. of the proposed location. The letter included the date, time and location of the meeting and an invitation to attend. Two representatives from Jim 'N Nick's conducted the meeting: Perry Jones, VP of Real Estate & Development and Donna Sharp, Sr. Project Manager of Restaurant Development. The meeting was a Q&A format where Mr. Jones provided an overview of Jim 'N Nick's as a company and answered questions, while Ms. Sharp displayed images of the proposed site plan, elevations, and renderings on a TV screen that all of the attendees could see.

Summary of Concerns & Issues:

1. What are your hours of operation?

Applicant response: We're open 7 days per week. We open for lunch at 11 a.m. and close at 9 p.m. on weekdays. Some locations close at 9 p.m. on weekends also but most locations are open until 10 p.m. on Fridays and Saturdays.

2. Where will your restaurant be located?

Applicant response: It will be located at the southeast corner of the [Northlake] mall, adjacent to the Lens Crafters building. (Jones pointed to an image of the proposed site plan displayed on a large TV in the meeting space)



3. Do you have other new locations in Georgia?
Applicant response: Yes we have several locations in Georgia. We just opened a new one in Statesboro last week and in Augusta a couple of weeks before that. We also recently opened new locations in Covington, Athens, and Rome.
4. So you are moving in from Alabama?
Applicant response: Yes, Alabama is where we were founded but we've built 6-7 new restaurants in Georgia in the past 5 months or so and we'd like to build about 15 more. We also have locations in Marietta, Suwanee and Smyrna that have been open for several years now.
5. Do you still have your location in Destin [Florida]?
Applicant response: No, I unfortunately had to close that one about a year ago; it had some issues during COVID. We do have a location in Niceville, Florida nearby but that one is drive-thru only.
6. But this one [proposed Tucker location] will be eat-in?
Applicant response: Yes, we'll have about 90 seats inside and about 50-60 outside on the patio.
7. Will the menu be similar to the other places?
Applicant response: Yes, this menu will be the exact same as our other locations.
8. How many restaurants do you have open right now?
Applicant response: We have 45. We have 6 in the Atlanta area.
9. Are all the restaurants owned by the same company?
Applicant response: Yes we're owned by a group called Roark Capital.
10. And you have a bar?
Applicant response: Yes we have a full bar.
11. And what days are you open again?
Applicant response: Seven days a week.
12. Tell me again, are you going to be located out front (Participant points towards main entrance of the mall)?
Applicant response: (Pointing to the site plan on the TV screen) Yes ma'am we will be in front of the mall and opposite of Lens Crafters.



13. So to clarify the flow of traffic, it will come from Northlake Parkway, into the mall, and to the left, and then you'll come around the building (while pointing at site plan)?

Applicant response: Correct, there are two entrances here (points at site plan) into the mall that will both take you to the restaurant and then the drive-thru traffic will flow around the building and then exits here (Jones uses site plan to show drive-thru traffic).

14. Is this a sidewalk here? (Participant points to sidewalk shown on site plan)

Applicant response: Yes ma'am this is a sidewalk that runs along here (traces finger along sidewalk next to building) and then there will be an accessible ramp, about 5' long, that runs down into the parking lot.

15. How tall is the front of your store in relevance to Lens Crafters & the credit union? Same or taller?

Applicant response: No, our building will not be as tall as the Lens Crafters building. (Points to elevations drawing) The tallest part of our building is the smoker tower which is 20'.

16. How does a double drive-thru work?

Applicant response: (Displays the rendering which shows cars in the drive-thru) There are two car lanes that wrap around the building. Each lane has its own menu board, and the lanes are separate from enter to exit. It's the same as most Chick-fil-A drive thru's and has helped us increase our speed in getting orders out to our customers.

17. What made you want to build in Tucker?

Applicant response: The Atlanta market is an important market to Jim 'N Nick's. One of the main reasons I joined the company was to expand our locations within the Atlanta area. Looking at the map of our locations in Atlanta, there was an obvious "hole" in this area. Our market research of the area showed that Tucker would be a favorable location for us to build. Also, I have had past business deals with the owners of the mall on some of their other properties which were positive, so all of these factors combined makes us believe we can be successful here.

18. When do you think you will open?

Applicant response: We have a few more steps to complete with the application process. We have a couple of variances we need to gain approval for as well as the special land use permit for the drive-thru. We are hoping to receive a permit by early summer and begin building in July or August. If we are able to begin building then, we would be looking at an early 2025 opening. If you all don't mind sending us your email addresses, we would love to invite all of you to our Pre-Grand Opening event, a.k.a. 'Friends & Family Weekend' so you can try our food at no cost and experience our brand before everyone else!



City of Tucker

Public Participation Plan Report

I, the undersigned, as the applicant or an authorized representative of the applicant do solemnly swear and attest that the information provided is true and accurate. I have included a complete record of the neighborhood meeting, as well as an honest response regarding the intentions for development.

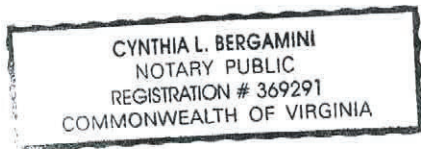
[Handwritten Signature] 2/22/24
Signature of Applicant or Authorized Representative Date

Sandi LeBlanc 2/22/24
Type or Print Name of Applicant or Authorized Representative Date

Commonwealth of Virginia
City/County of Prince George

Sworn to and subscribed before me on
the 22 day of February, 2024

[Handwritten Signature]
Notary Public's Signature
My Commission # 36921 Expires Aug 31, 2025



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Dear Neighbors of Northlake Mall,

Jim N Nicks Management LLC is interested in developing at 4800 Briarcliff Road for a new Jim N' Nick's BBQ restaurant. The request requires a Special Land Use Permit (SLUP) for the drive-thru with concurrent variances to the Northlake Zoning Design requirements.

Who is Jim N' Nicks BBQ? It all started in 1985 when Jim and his son reclaimed an old pizza parlor in Birmingham, AL. It would be the very first Jim 'N Nick's Bar-B-Q, an authentic bar-b-q restaurant with chefs and pitmasters. No freezers, no microwaves, and no shortcuts. 12-hour slow-smoked pork and beef but served real fast with our double drive-thru windows concept in addition to our sit-down dining. Since then, we've grown to become a Southern institution, with 45 restaurants in six states.

The first step in the process is to hold a Public Participation (neighborhood) meeting with the community to discuss our proposal with you and receive feedback. This meeting is required before we can submit our application for a SLUP to the city. You are receiving this letter as you own property within 500' of our project. We hope you will be able to meet with us at the following time:

Meeting Date/Time: **January 29, 2024, at 12:00pm**

Meeting Location: **Northlake Mall 4800 Briarcliff Road Suite 1019 Tucker, GA**

We've included a site plan of our current proposal in which we look forward to discussing with you and getting feedback on January 29, 2024. If you are unable to attend or wish to reach out beforehand, we can be reached at jimnnicks.tucker@gmail.com or 205-484-0008.

A flyer outlining the land use petition process in the City of Tucker is also included. Questions relating to city matters can be addressed to info@tuckerga.gov.

Sincerely,

Perry Jones
Jim N Nick's Community BBQ
Vice President Real Estate & Development

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Land Use Petition Process for Rezoning, Special Land Use Permits, and Comprehensive Plan Amendments

1

Before filing, the applicant must host a neighborhood meeting per our Public Participation Plan requirements. The point of this meeting is for the potential applicant to discuss the proposal with neighbors and get feedback or requests for changes. More information can be found here: tuckerga.gov/ppp

2

The applicant files an application with the City of Tucker. Deadlines are listed in the Land Use Petition Application.

3

Staff completes a technical analysis of the application based on the City of Tucker Zoning Ordinance and Comprehensive Plan. This report includes a staff recommendation.

4

The City holds Public Meetings

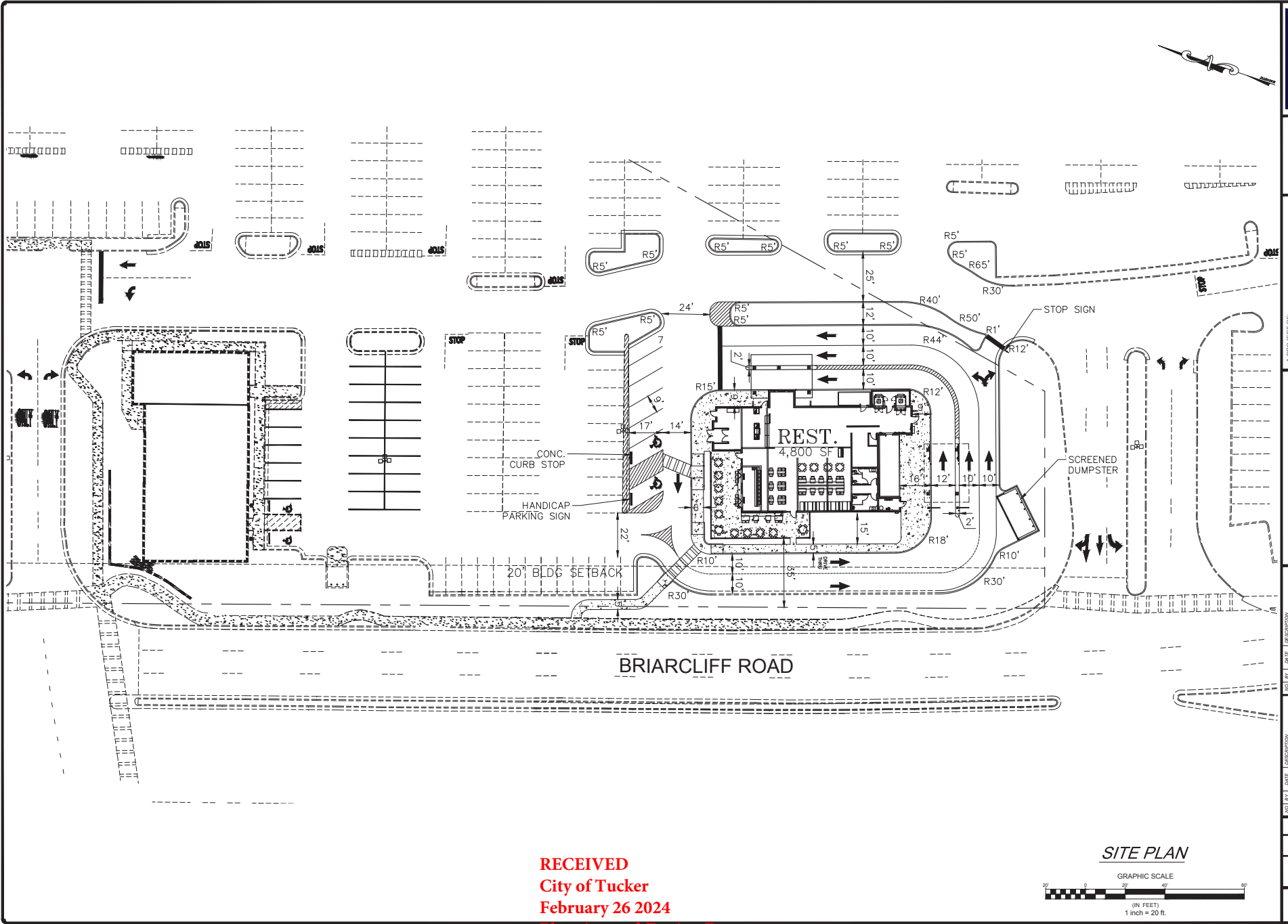
- Planning Commission
 - Staff presentation of the staff report and staff recommendation
 - Public Hearing, which includes the applicant's presentation and a chance for the public to speak for or against the application
 - The Planning Commission votes on a recommendation to forward to City Council
- Mayor & City Council – 1st Read
 - Staff presentation of the staff report and staff recommendation
 - Public Hearing, which includes the applicant's presentation and a chance for the public to speak for or against the application
- Mayor & City Council – 2nd Read
 - Staff presentation of the staff report and staff recommendation
 - Public Hearing, which includes the applicant's presentation and a chance for the public to speak for or against the application
 - City Council can take a vote for final action on the request

Decisions on applications are based on the criteria that is set forth in the zoning ordinance.

The criteria is located here: tuckerga.gov/landusecriteria

Please note that some applications, such as those that meet the Development of Regional Impact (DRI) standards, will have additional steps between filing an application and the Public Hearing.

For information about current land use petitions, including application information and public meeting dates, please visit: tuckerga.gov/landusepetitions



HANES EPSON & ASSOCIATES
Civil - Structural - Bridge

JIM 'N NICK'S
COMMUNITY
BAR-B-Q

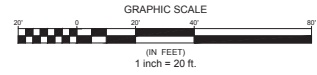
JIM 'N NICK'S NORTHLAKE
4880 Briarcliff Road NE Atlanta, GA 30345

NO.	BY	DATE	DESCRIPTION

ISSUED BY	CHECKED BY

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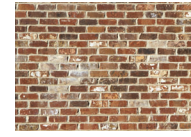
SITE PLAN



HGA JOB NO. 2023-021



WD1 Stained Wood Cedar Post and Beam



BR1 - Cherokee Brick Old New Orleans



C1- Cementitious Side



PT1 BM Wrought Iron



1 FRONT EXTERIOR ELEVATION
 A2.1 1/4" = 1'-0"

North Elevation

COLORED ELEVATIONS. CONSTRUCTION
 DETAILS AND FURTHER INFORMATION ARE
 CONTAINED ON THE ARCHITECTURAL
 DOCUMENTS SHEETS A2.1, A2.2 AND FINISH SCHEDULE
 ON ID.05



LEFT SIDE EXTERIOR ELEVATION
 A2.1 1/4" = 1'-0"

East Elevation BRIARCLIFF ROAD

JIM 'N NICK'S
 11300 TOWN CENTER DRIVE
 COVINGTON, GA 30014

OWNER:
 JIM 'N NICK'S
 10 AVENUE CENTER PARWAY
 SUITE 250
 BIRMINGHAM, AL 35242

DOCUMENT DATE:
 12/12/2024
 JOB#:
 170910.03

DRAWN BY:
 Ashley Simpson

JIM 'N NICK'S

- △ R1 1.1.2023
- △ R2 6.5.2023
- △
- △
- △

ID.01

Exterior elevations

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WD1 Stained Wood Cedar Post and Beam



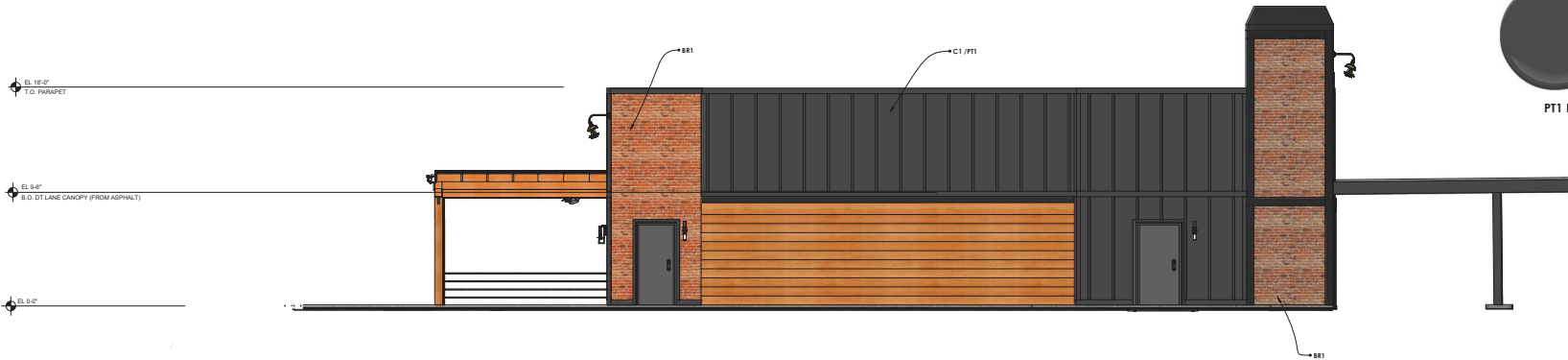
BR1 - Cherokee Brick Old New Orleans



C1 - Cementitious Side



PT1 BM Wrought Iron



1 REAR EXTERIOR ELEVATION
 A2.2 1/4" = 1'-0"

South Elevation

COLORED ELEVATIONS. CONSTRUCTION DETAILS AND FURTHER INFORMATION ARE CONTAINED ON THE ARCHITECTURAL DOCUMENTS SHEETS A2.1, A2.2 AND FINISH SCHEDULE ON ID.05

JIM 'N NICK'S
 11300 TOWN CENTER DRIVE
 COVINGTON, GA 30014

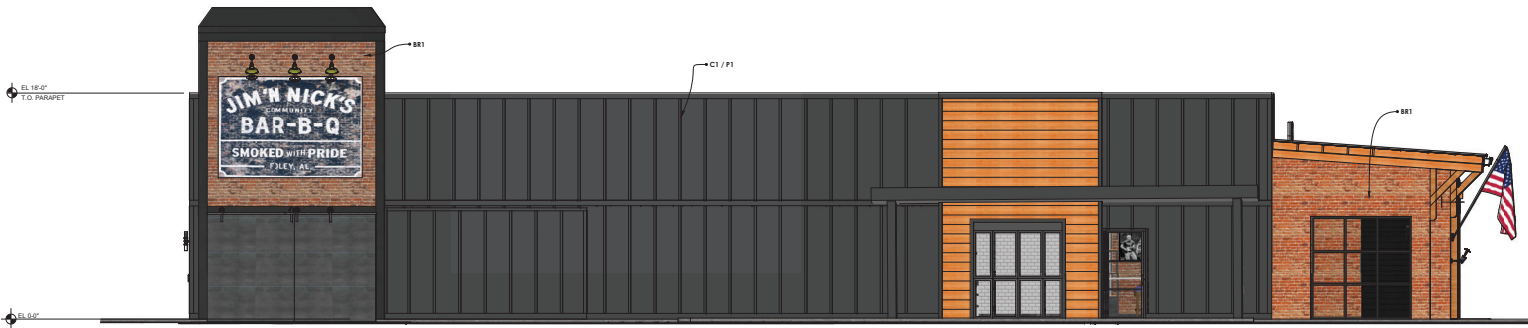
OWNER:
 JIM 'N NICK'S
 10 AVENUE CENTER PARWAY
 SUITE 250
 BIRMINGHAM, AL 35242

JIM 'N NICK'S
 DOCUMENT DATE:
 12/12/2024
 JOB#:
 170910.03
 DRAWN BY:
 Aley Simpson

- △ R1 1.1.2023
- △ R2 6.5.2023
- △
- △
- △

ID.02

Exterior Elevations



A2.2 RIGHT EXTERIOR ELEVATION
 1/4" = 1'-0"

West Elevation



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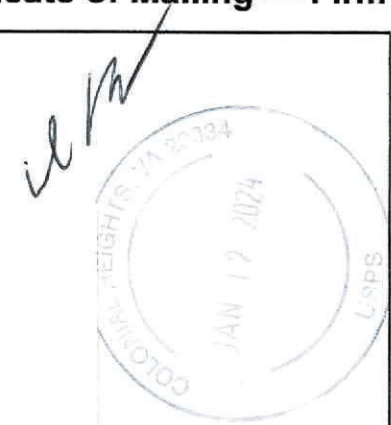
Business	Care of	Address	City	State	ZIP
NM OFFICE OWNER LLC		4645 N CENTRAL EXPWY STE 300	DALLAS	TX	75205
NORTHLAKE ATRCORINTH PARTNERS LLC		4645 N CENTRAL EXPWY STE 300	DALLAS	TX	75205
4816 BRIARCLIFF PAD 1 LLC		4645 N 4645 N. CENTRAL EXPRESSWAY STE 200	DALLAS	TX	75205
COX BROADCASTING INC	NORTHLAKE FESTIVAL LLC	P O BOX 260888	PLANO	TX	75026
KAMRYN B ALFONSO		2304 HENDERSON MILL CT NE	ATLANTA	GA	30345
CARL CAMANN	MARGO L EDEN-CAMANN	2315 HENDERSON MILL CT NE	ATLANTA	GA	30345
ELIZABETH A SCHERR LIVING TRUST ELIZABETH A SCHERR TRUSTEE		2317 NORTHLAKE CT NE	ATLANTA	GA	30345
STEPHEN WILLIAMS C		2313 NORTHLAKE CT NE	ATLANTA	GA	30345
ATLANTA GSA CIS LLC		P.O. BOX 13470	RICHMOND	VA	23235
BEL NORTHLAKE LLC		2 INTERNATIONAL PL	BOSTON	MA	2110
LOCAL SANDY GA LLC		777 BRICKELL AVE STE 630	MIAMI	FL	33131
COX BROADCASTING INC	NORTHLAKE FESTIVAL LLC	P O BOX 260888	PLANO	TX	75026
TRIANGLE PARTNERS LLC		5415 REDFIELD DR	DUNWOODY	GA	30338
GARY ANTHONY UHL		2321 NORTHLAKE CT NE	ATLANTA	GA	30345
2 BARAKA LLC		1948 DAY DR	DULUTH	GA	30096
NORTHLAKE PAD 2 LLC		4645 N CENTRAL EXPRESSWAY STE 300	DALLAS	TX	75205
PLAZA LIMITED PARTNERSHIP	ROBERT S GRIFFITH	PO BOX 790830	SAN ANTONIO	TX	78279
JAMES B SMITH		2305 HENDERSON MILL CT NE	ATLANTA	GA	30345
BOXER F2 LP		720 N POST OAK RD 500	HOUSTON	TX	77024
DAN DAUGHERTY	LEIGH DAUGHERTY	2312 NORTHLAKE CT	ATLANTA	GA	30345
PATRICIA J DAY		2319 NORTHLAKE CT	ATLANTA	GA	30345
2200 ATLANTA INVESTORS LLC		710 PEACHTREE ST NE STE 10	ATLANTA	GA	30308
PRITI ENTERPRISE INC		2155 RANCHWOOD DR NE	ATLANTA	GA	30345
2 BARAKA LLC		1948 DAY DR	DULUTH	GA	30096
2 BARAKA LLC		1948 DAY DR	DULUTH	GA	30096
DEVELOPMENT AUTHORITY OF DEKALB COUNTY		P. O. BOX 3018	OPELIKA	AL	36803
IRINA BABKINA		2829 GLADE DALE DR SE	CONYERS	GA	30094
JAMES M COX		2308 NORTHLAKE CT NE	ATLANTA	GA	30345
ATLANTA NORTHLAKE CO		2700 CUMBERLAND PKWY SE # 350	ATLANTA	GA	30339
BETH E JOHNSON		2330 NORTHLAKE CT NE	ATLANTA	GA	30345
ATLANTA NORTHLAKE CO		2700 CUMBERLAND PKWY SE # 350	ATLANTA	GA	30339
2 BARAKA LLC		1948 DAY DR	DULUTH	GA	30096
MACYS EAST INC		7 W 7TH ST	CINCINNATI	OH	45202
MALAKSHMI LLC		3338 PEACHTREE RD NE 3503	ATLANTA	GA	30326
SABIE PROPERTIES LLC		5925 PEACHTREE CORS E	NORCROSS	GA	30071
COX BROADCASTING CORP	PROPERTY TAX SERV CO	1400 LAKE HEARN DR NE	ATLANTA	GA	30319
BENJAMIN ALLIN		2320 NORTHLAKE CT	ATLANTA	GA	30345
DENELL A DAVIS		1595 VALLEY CLUB DR	LAWRENCEVILLE	GA	30044
CAMERON REID		2305 NORTHLAKE CT	ATLANTA	GA	30345
BERKSHIRE CONDO ASSOC		PO BOX 98309	ATLANTA	GA	30359
NORTHLAKE ATRCORINTH PARTNERS LLC		4645 CENTRAL EXPWY STE 300	DALLAS	TX	75205
NORTHLAKE ATRCORINTH PARTNERS LLC		4645 N CENTRAL EXPWY STE 300	DALLAS	TX	75205
REGENCY RETAIL PARTNERSHIP LP		PO BOX 790830	SAN ANTONIO	TX	78279
COX BROADCASTING INC		6205 PEACHTREE DUNWOODY RD	ATLANTA	GA	30328
JOSEPH B LANFORD		2330 HENDERSON MILL CT NE	ATLANTA	GA	30345
WILLARD LEE BOYD	LORA ELIZABETH BOYD	2322 HENDERSON MILL CT	ATLANTA	GA	30345
NORTHLAKE OUTPARCEL LLC		400 MALL BLVD STE M	SAVANNAH	GA	31406
FDS GEORGIA I LLC		271 17TH ST N STE 575	ATLANTA	GA	30363
2 BARAKA LLC		1948 DAY DR	DULUTH	GA	30096
4840 BRIARCLIFF PAD JCP LLC		4645 N CENTRAL EXPY STE 300	DALLAS	TX	75205
NM OFFICE OWNER LLC		4645 N CENTRAL EXPWY STE 300	DALLAS	TX	75205
GERARD M MARTIN TRUSTEE	BARRY M PORTNOY TRUSTEE	PO BOX 696583	SAN ANTONIO	TX	78269
SUZANNE BOOTH	MARY F GIACOMA	2314 HENDERSON MILL CT NE	ATLANTA	GA	30345
VICTOR S & MARY A COLEMAN	JOHN R COLEMAN JR	2325 HENDERSON MILL CT	ATLANTA	GA	30345
ANAND INC		0 P O BOX 3018	OPELIKA	AL	36803
AMANDA SPARKS		2304 NORHTLAKE CT NE	ATLANTA	GA	30345
MARIE MILLER		2315 NORTHLAKE CT NE	ATLANTA	GA	30345
FRONT ROW CENTER PROPERTIES LLC		17179 STRAWBERRY DR	ENCINO	CA	91436
NORTHLAKE ATRCORINTH PARTNERS LLC		12700 PARK CENTRAL DR STE 110	DALLAS	TX	75251
REGENCY RETAIL PARTNERSHIP LP		PO BOX 790830	SAN ANTONIO	TX	78279
REGENCY RETAIL PARTNERSHIP LP		PO BOX 790830	SAN ANTONIO	TX	78279
NORTHLAKE ASSOCIATES L P		400 MALL BLVD STE M	SAVANNAH	GA	31406
DHAN SINGH		2316 NORTHLAKE CT NE	ATLANTA	GA	30345
HARRIET N CHAKNIS		2324 NORTHLAKE CT NE	ATLANTA	GA	30345
HAROLD R WILLIAMSON JR		2311 NORTHLAKE CT NE	ATLANTA	GA	30345
MARGARET WHITELOCK		2307 NORTHLAKE CT	ATLANTA	GA	30345

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Planning and Zoning Dept.
SLUP-24-0002, CV-24-0001
CV-24-0002



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
1.	ATLANTA NORTHLAKE CO 2700 CUMBERLAND PKWY SE # 350 ATLANTA, GA 30339				
2.	NM OFFICE OWNER LLC 4645 N CENTRAL EXPWY STE 300 DALLAS, TX 75205				
3.	COX BROADCASTING INC NORTHLAKE FESTIVAL LLC P O BOX 260888 PLANO, TX 75026				
4.	ELIZABETH A SCHERR LIVING TRUST ELIZABETH A SCHERR TRUSTEE 2317 NORTHLAKE CT NE ATLANTA, GA 30345				
5.	BEL NORTHLAKE LLC 2 INTERNATIONAL PL BOSTON, MA 2110				
6.	TRIANGLE PARTNERS LLC 5415 REDFIELD DR DUNWOODY, GA 30338				

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7.		MARGARET WHITELOCK 2307 NORTHLAKE CT ATLANTA, GA 30345				
8.		DHAN SINGH 2316 NORTHLAKE CT NE ATLANTA, GA 30345				
9.		NORTHLAKE ASSOCIATES L P 400 MALL BLVD STE M SAVANNAH, GA 31406				
10.		HAROLD R WILLIAMSON JR 2311 NORTHLAKE CT NE ATLANTA, GA 30345				
11.		REGENCY RETAIL PARTNERSHIP LP PO BOX 790830 SAN ANTONIO, TX 78279				
12		HARRIET N CHAKNIS 2324 NORTHLAKE CT NE ATLANTA, GA 30345				

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13.	JOSEPH B LANFORD 2330 HENDERSON MILL CT NE ATLANTA, GA 30345				
14.	FDS GEORGIA LLC 271 17TH ST N STE 575 ATLANTA, GA 30303				
15.	NM OFFICE OWNER LLC 4645 N CENTRAL EXPWY STE 300 DALLAS, TX 75205				
16.	VICTOR S & MARY A COLEMAN JOHN R COLEMAN JR 2325 HENDERSON MILL CT ATLANTA, GA 30345				
17.	REGENCY RETAIL PARTNERSHIP LP PO BOX 790830 SAN ANTONIO, TX 78279				
18	MARIE MILLER 2315 NORTHLAKE CT NE ATLANTA, GA 30345				

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
19.	AMANDA SPARKS 2304 NORHTLAKE CT NE ATLANTA, GA 30345				
20.	NORHLAKE ATRCORINTH PARTNERS LLC 12700 PARK CENTRAL DR STE 110 DALLAS, TX 75251				
21.	MACYS EAST INC 7 W 7TH ST CINCINNATI, OH 45202				
22	COX BROADCASTING CORP PROPERTY TAX SERV CO 1400 LAKE HEARN DR NE ATLANTA, GA 30319				
23.	CAMERON REID 2305 NORHTLAKE CT ATLANTA, GA 30345				
24	NORHLAKE ATRCORINTH PARTNERS LLC 4645 N CENTRAL EXPWY STE 300 DALLAS, TX 75205				

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25.	DENELL A DAVIS 1595 VALLEY CLUB DR LAWRENCEVILLE, GA 30044				
26	NORTHLAKE ATRCORINTH PARTNERS LLC 4645 CENTRAL EXPWY STE 300 DALLAS, TX 75205				
27	COX BROADCASTING INC 6205 PEACHTREE DUNWOODY RD ATLANTA, GA 30328				
28	NORTHLAKE OUTPARCEL LLC 400 MALL BLVD STE M SAVANNAH, GA 31406				
29	4840 BRIARCLIFF PAD JCP LLC 4645 N CENTRAL EXPY STE 300 DALLAS, TX 75205				
30	SUZANNE BOOTH MARY F GIACOMA 2314 HENDERSON MILL CT NE ATLANTA, GA 30345				

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
31	2 BARAKA LLC 1948 DAY DR DULUTH, GA 30096				
32	GERARD M MARTIN TRUSTEE BARRY M PORTNOY TRUSTEE PO BOX 696583 SAN ANTONIO, TX 78269				
33	ANAND INC O P O BOX 3018 OPELIKA, AL 36803				
34	FRONT ROW CENTER PROPERTIES LLC 17179 STRAWBERRY DR ENCINO, CA 91436				
35	2 BARAKA LLC 1948 DAY DR DULUTH, GA 30096				
36	SABIE PROPERTIES LLC 5925 PEACHTREE CORS E NORCROSS, GA 30071			RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept. SLUP-24-0002, CV-24-0001 CV-24-0002	



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
37	BETH E JOHNSON 2330 NORTHLAKE CT NE ATLANTA, GA 30345				
38	MALAKSHMI LLC 3338 PEACHTREE RD NE 3503 ATLANTA, GA 30326				
39	BENJAMIN ALLIN 2320 NORTHLAKE CT ATLANTA, GA 30345				
40	BERKSHIRE CONDO ASSOC PO BOX 98309 ATLANTA, GA 30359				
41	REGENCY RETAIL PARTNERSHIP LP PO BOX 790830 SAN ANTONIO, TX 78279				
42	WILLARD LEE BOYD LORA ELIZABETH BOYD 2322 HENDERSON MILL CT ATLANTA, GA 30345				

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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
43	COX BROADCASTING INC NORTHLAKE FESTIVAL LLC P O BOX 260888 PLANO, TX 75026				
44	2 BARAKA LLC 1948 DAY DR DULUTH, GA 30096				
45	JAMES B SMITH 2305 HENDERSON MILL CT NE ATLANTA, GA 30345				
46	PATRICIA J DAY 2319 NORTHLAKE CT ATLANTA, GA 30345				
47	2 BARAKA LLC 1948 DAY DR DULUTH, GA 30096				
48	IRINA BABKINA 2829 GLADE DALE DR SE CONYERS, GA 30094			RECEIVED City of Tucker February 26 2024 Planning and Zoning Dept. SLUP-24-0002, CV-24-0001 CV-24-0002	



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USPS® Tracking Number Firm-specific Identifier	Address (Name, Street, City, State, and ZIP Code™)	Postage	Fee	Special Handling	Parcel Airlift
49	PRITI ENTERPRISE INC 2155 RANCHWOOD DR NE ATLANTA, GA 30345				
50	DEVELOPMENT AUTHORITY OF DEKALB COUNTY P. O. BOX 3018 OPELIKA, AL 36803				
51	ATLANTA NORTHLAKE CO 2700 CUMBERLAND PKWY SE # 350 ATLANTA, GA 30339				
52	4816 BRIARCLIFF PAD 1 LLC 4645 N 4645 N. CENTRAL EXPRESSWAY STE 200 DALLAS, TX 75205				
53	CARL CAMANN MARGO L EDEN-CAMANN 2315 HENDERSON MILL CT NE ATLANTA, GA 30345				
54	ATLANTA GSA CIS LLC P.O. BOX 13470 RICHMOND, VA 23235				

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55	KAMRYN B ALFONSO 2304 HENDERSON MILL CT NE ATLANTA, GA 30345				
56	STEPHEN WILLIAMS C 2313 NORTHLAKE CT NE ATLANTA, GA 30345				
57	GARY ANTHONY UHL 2321 NORTHLAKE CT NE ATLANTA, GA 30345				
58	LOCAL SANDY GA LLC 777 BRICKELL AVE STE 630 MIAMI, FL 33131				
59	PLAZA LIMITED PARTNERSHIP ROBERT S GRIFFITH PO BOX 790830 SAN ANTONIO, TX 78279				
60	DAN DAUGHERTY LEIGH DAUGHERTY 2312 NORTHLAKE CT ATLANTA, GA 30345				

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61	NORTHLAKE PAD 2 LLC 4645 N CENTRAL EXPRESSWAY STE 300 DALLAS, TX 75205				
62	BOXER F2 LP 720 N POST OAK RD 500 HOUSTON, TX 77024				
63	2200 ATLANTA INVESTORS LLC 710 PEACHTREE ST NE STE 10 ATLANTA, GA 30308				
64	2 BARAKA LLC 1948 DAY DR DULUTH, GA 30096				
65	JAMES M COX 2308 NORTHLAKE CT NE ATLANTA, GA 30345	RECEIVED City of Tucker February 26 2024			
66	NORTHLAKE ATRCORINTH PARTNERS LLC 4645 N CENTRAL EXPWY STE 300 DALLAS, TX 75205	Planning and Zoning Dept. SLUP-24-0002, CV-24-0001 CV-24-0002			



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 (800)275-8777

01/12/2024 04:40 PM

Product	Cty	Unit Price	Price
STOM - Firm - Domestic	49		\$27.93
J.S. Flag	7	\$0.66	\$4.62
STOM - Firm - Domestic	17		\$9.69
JS Flag Bkit/20	3	\$13.20	\$39.60

Grand Total: \$81.84

Debit Card Remit \$81.84

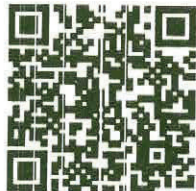
Card Name: VISA
 Account #: XXXXXXXXXXXXX7123
 Approval #: 043404
 Transaction #: 922
 Receipt #: 057117
 Debit Card Purchase: \$81.84
 AID: A000000980840 Contactless
 AL: US DEBIT

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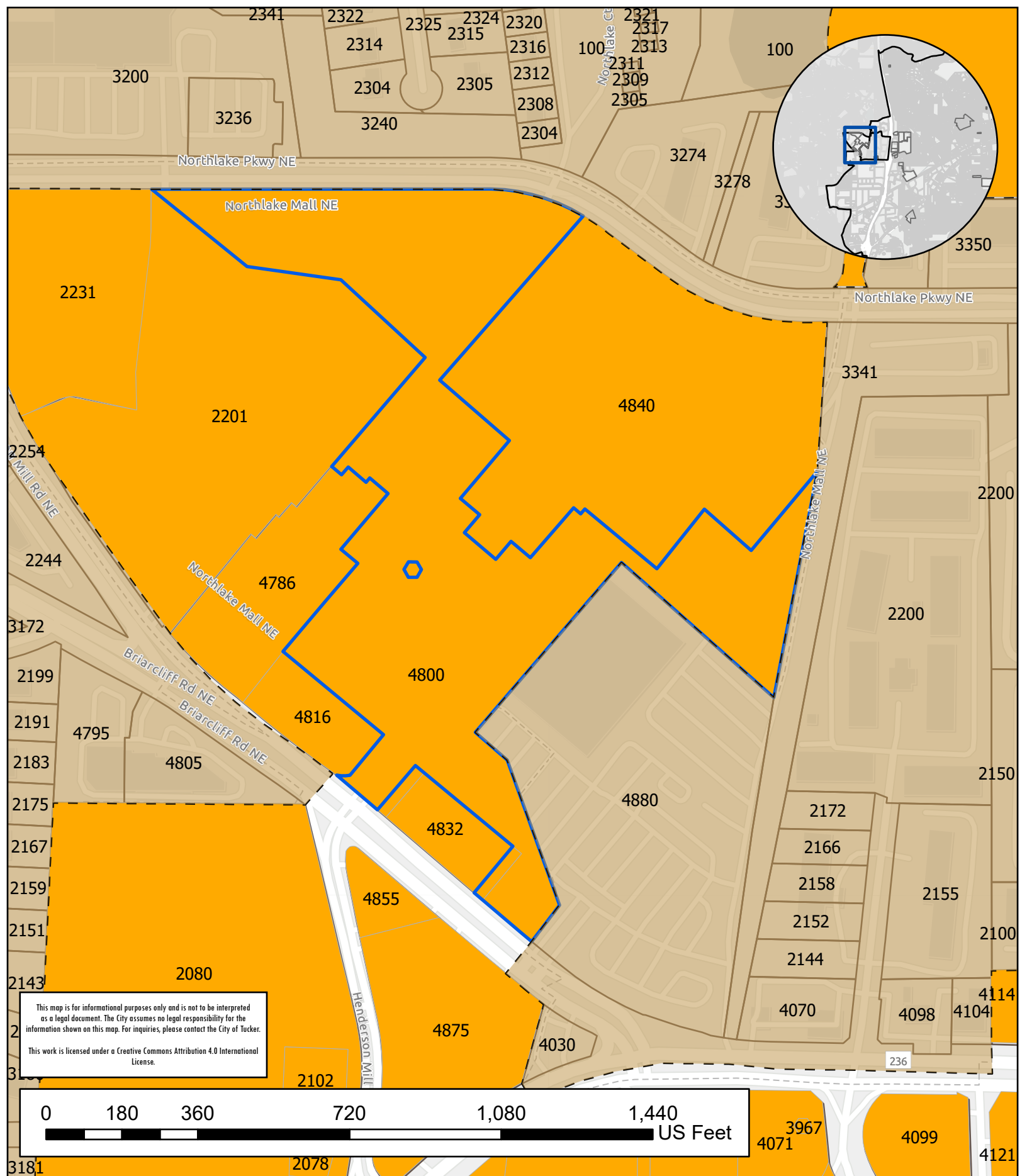
Tell us about your experience.
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 or scan this code with your mobile device,



or call 1-800-410-7420.

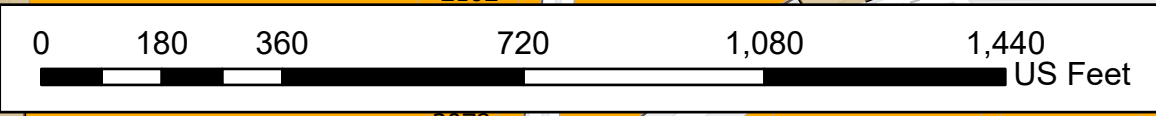
JFN: 512069-0834
 Receipt #: 840-52300539-1-7407087-2
 Clerk: 10

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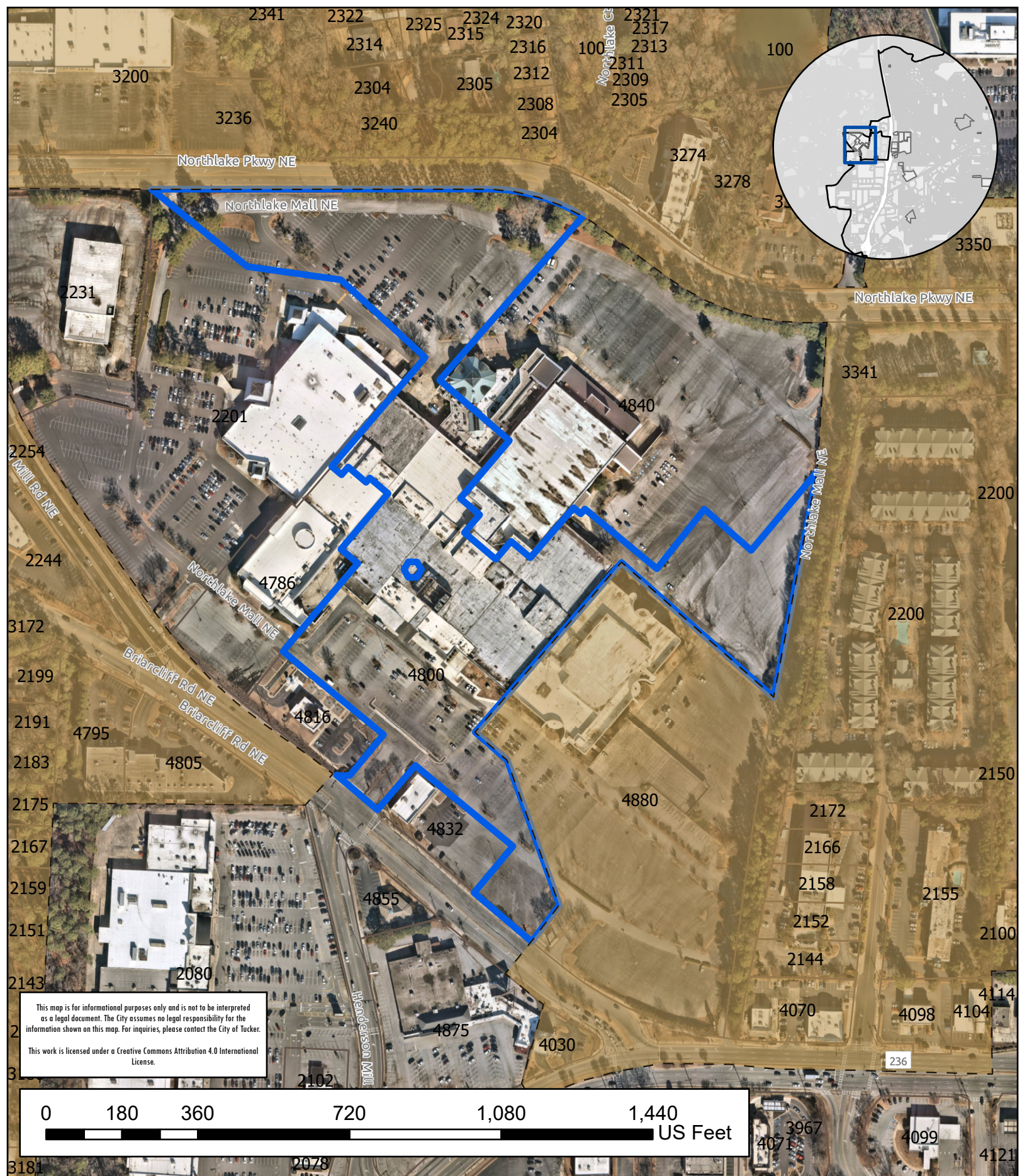
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Land Use
4800 Briarcliff Rd
SLUP-24-0002
CV-24-0002 & CV-24-0002

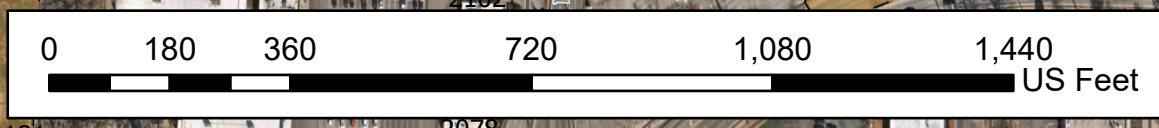
- Town Center
- SLUP
- Municipal Boundary
- Outside Tucker





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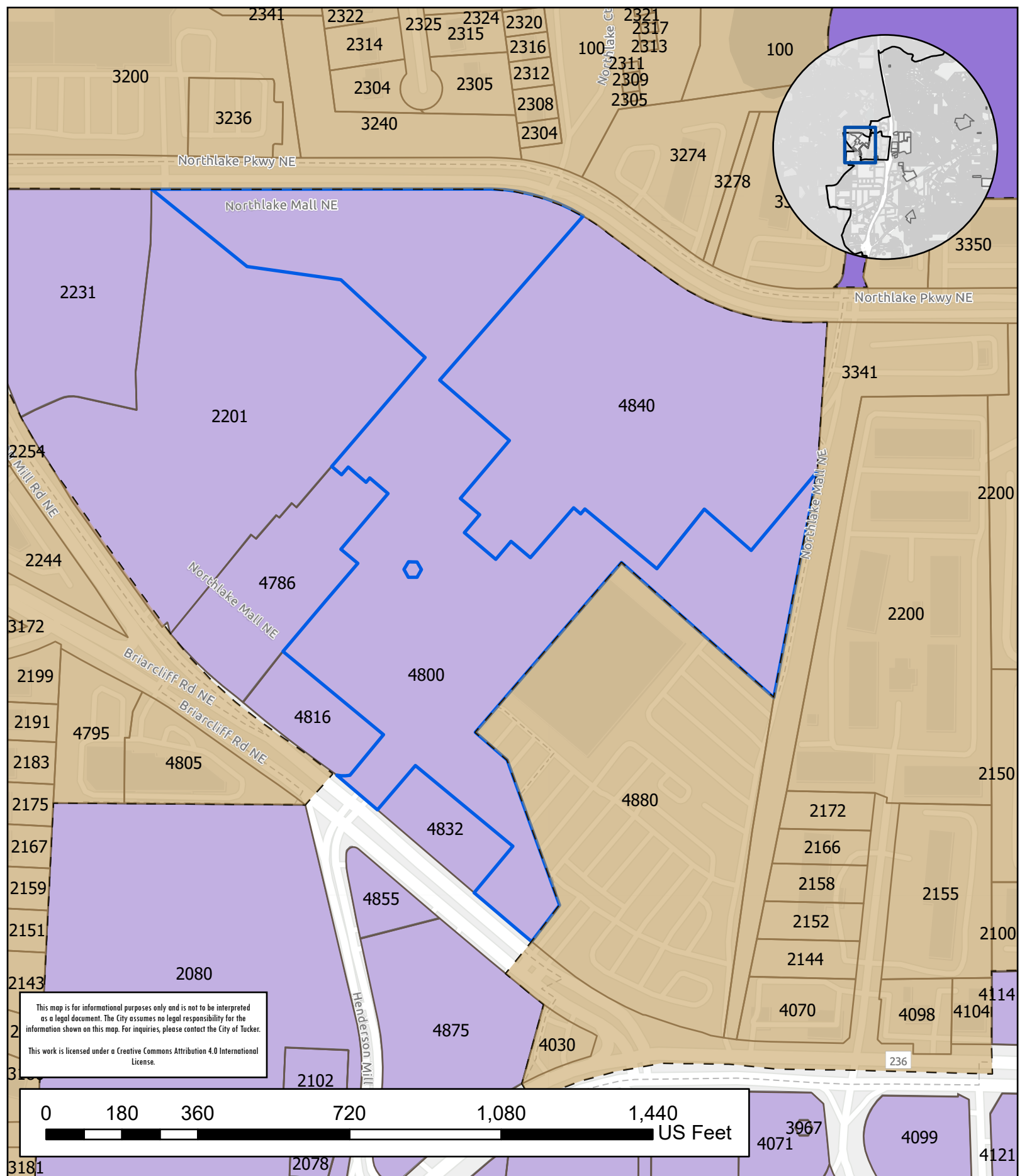
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Aerial
4800 Briarcliff Rd
SLUP-24-0002
CV-24-0002 & CV-24-0002

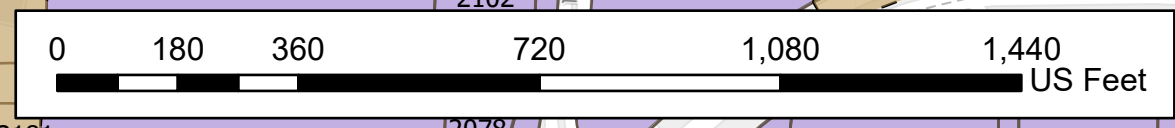
- SLUP
- Municipal Boundary
- Outside Tucker





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Zoning
4800 Briarcliff Rd
SLUP-24-0002
CV-24-0002 & CV-24-0002

- NL-1 (High-Intensity Commercial)
- NL-2 (Office Park)
- SLUP
- Municipal Boundary
- Outside Tucker





MEMO

To: Honorable Mayor and City Council Members
From: Beverly Hilton, Finance Director
CC: John McHenry, City Manager
Date: June 3, 2024
RE: Memo for Adopt the FY2025 Budget with Compensation Study by Ordinance O2024-05-08

Contract/Document Number: Ordinance O2024-05-08

Description for on the Agenda:

- Second Read and public hearing on an ordinance to adopt a budget for the Fiscal Year 2025

Issue:

Section 5.04 of Article V in the Charter requires passage of the budget for the upcoming fiscal year on or before the last day of the fiscal year currently ending.

Recommendation:

Staff recommends approval of the proposed FY2025 Operating and Capital Budgets.

Background:

The budget process encompasses almost 5 months from beginning to adoption. City Management held meetings with Department Directors to discuss their initial request. Briefings were held with the Mayor and Council to discuss personnel changes and Capital Projects. We have held two budget workshops followed by additional briefings with the Mayor and Council. Tonight is the second reading of the ordinance with a public hearing to adopt.

Summary:

There have not been changes since the delivery of Draft #3 on May 28th. If there are developments that require a 4th draft, these will be shared with Mayor & Council before hand.

Financial Impact:

Citywide Expenditures (includes multi-year Capital Improvement Plan projects) \$73,971,218.
Citywide Revenues \$58,173,069

AN ORDINANCE TO ADOPT A BUDGET FOR THE FISCAL YEAR 2025

WHEREAS, the City of Tucker is required by Section 5.03 of the City Charter to adopt an operating and capital budget; and

WHEREAS, the City of Tucker held a hearing with proper notice on the budget on May 28, 2024; and

WHEREAS, the City Charter requires an accompanying budget message; and

NOW THEREFORE BE IT ORDAINED by the Mayor and Council of the City of Tucker while at a regularly called meeting on June 10, 2024, that the FY2025 Operating and Capital Budget is approved as attached as Exhibit A and the Proposed Pay Structure is approved as attached as Exhibit B, and becomes effective upon its adoption.

SO ORDAINED, this 10th day of June 2024.

Approved:

Frank Auman, Mayor

Attest:

Bonnie Warne, City Clerk

(SEAL)

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Estimated Revenues							
0000							
100-0000-31.11000	PROPERTY TAX - MILLAGE	0	0	0	0	0	6,463,400
100-0000-31.13100	MOTOR VEHICLE TAX	20,000	20,000	18,715	0	17,000	17,000
100-0000-31.13150	TITLE AD VALOREM TAX	1,100,000	1,200,000	1,101,521	0	1,168,000	1,168,000
100-0000-31.13400	INTANGIBLE TAXES	2,000	2,000	569	0	1,500	1,500
100-0000-31.16000	REAL ESTATE TRANSFER TAXES	1,000	1,000	192	0	400	400
100-0000-31.17100	FRANCHISE FEES-ELECTRIC	3,381,100	2,710,150	2,703,164	0	2,750,000	2,750,000
GA POWER, WALTON EMC, & CITY OF NORCROSS						2,750,000	2,750,000
100-0000-31.17300	FRANCHISE FEES-NATURAL GAS	0	438,400	325,638	0	438,410	438,410
100-0000-31.17500	FRANCHISE FEES-TV CABLE	0	356,000	264,881	0	348,000	348,000
100-0000-31.17600	FRANCHISE FEES-TELEPHONE	0	50,000	28,805	0	48,000	48,000
100-0000-31.42000	BEER/WINE ALCOHOLIC BEVERAGE	600,000	492,000	468,984	0	541,200	541,200
ALCOHOL WHOLESALE EXCISE TAX-BEER/WINE						541,200	541,200
100-0000-31.42500	DISTILLED SPIRIT ALCOHOLIC BE	0	118,000	117,109	0	118,800	118,800
ALCOHOL WHOLESALE EXCISE TAX-DISTILLED SPIRITS						118,800	118,800
100-0000-31.43000	LOCAL OPTION MIXED DRINK	145,000	145,000	139,068	0	160,000	160,000
LIQUOR BY THE DRINK TAX						160,000	160,000
100-0000-31.61000	BUSINESS & OCCUPATION TAXES	4,100,000	4,100,000	3,966,332	0	4,000,000	4,000,000
OCCUPATIONAL TAX CERTIFICATES						4,000,000	4,000,000
100-0000-31.62000	INSURANCE PREMIUM TAX	3,201,200	3,291,910	3,291,910	0	3,522,000	3,522,000
INSURANCE PREMIUM TAX-OCTOBER RECEIPT						3,522,000	3,522,000
100-0000-31.63000	FINANCIAL INSTITUTIONS TAXES	155,000	185,000	178,900	0	175,000	175,000
BANKS						175,000	175,000
100-0000-31.90000	PENALTIES AND INTEREST	50,000	82,000	82,688	0	50,000	50,000
PENTALTY & INTEREST OCC TAX						50,000	50,000
100-0000-31.91100	PENALTIES & INTEREST ON DELIN	0	0	0	0	26,000	26,000
100-0000-32.11000	ALCOHOLIC BEVERAGE LICENSE	350,000	350,000	321,189	0	330,000	330,000
ALCOHOL LICENSE FEES						330,000	330,000
100-0000-32.12200	INSURANCE LICENSE	50,000	50,000	42,000	0	40,000	40,000
OCCUPATIONAL TAX FOR INS COMPANIES IN TUCKER						40,000	40,000
100-0000-34.11900	OTHER FEES	300	300	209	0	300	300
OPEN RECORDS REQUEST FEES						300	300
100-0000-34.19100	ELECTION QUALIFYING FEE	2,940	3,360	3,360	0	0	0
100-0000-34.32000	SPECIAL ASSESSMENT - STREETLI	437,000	0	0	0	0	0
100-0000-34.32001	SPECIAL ASSESSMENT - TRAFFIC	18,300	0	0	0	0	0
100-0000-34.93000	BAD CHECK FEES	500	500	480	0	100	100
100-0000-36.10000	INTEREST	400,000	1,100,000	976,114	0	1,000,000	1,000,000
100-0000-37.10000	CONTRIBUTIONS / DONATIONS	5,000	5,000	0	0	0	0
JACOBS DONATIONS FOR P&R MOVED THERE						0	0

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Estimated Revenues							
0000							
100-0000-38.90000	MISCELLANEOUS REVENUE	1,000	30,481	30,481	0	1,000	1,000
Total 0000:		14,020,340	14,731,101	14,062,309	0	14,735,710	21,199,110
1530							
100-1530-38.90000	MISCELLANEOUS REVENUE	0	0	1,840	0	0	0
Total 1530:		0	0	1,840	0	0	0
1540							
100-1540-33.60000	LOCAL GOVERNMENT UNIT GRANT	0	2,500	2,500	0	2,500	2,500
WELLNESS GRANT FROM GMA						2,500	2,500
Total 1540:		0	2,500	2,500	0	2,500	2,500
1595							
100-1595-37.10000	CONTRIBUTIONS / DONATIONS	0	1,000	1,000	0	1,000	1,000
Total 1595:		0	1,000	1,000	0	1,000	1,000
2650							
100-2650-35.10000	MUNICIPAL COURT	650,000	600,000	496,667	0	606,000	606,000
MCOURT-2 SESSIONS PER MONTH						606,000	606,000
Total 2650:		650,000	600,000	496,667	0	606,000	606,000
4100							
100-4100-31.11000	PROPERTY TAX - MILLAGE	4,152,450	4,152,450	3,818,350	0	0	0
Total 4100:		4,152,450	4,152,450	3,818,350	0	0	0
6210							
100-6210-31.11000	PROPERTY TAX-P&R MILLAGE	2,170,350	2,212,350	2,210,952	0	0	0
100-6210-31.91100	PENALTIES & INTEREST ON DELIN	8,000	27,400	25,880	0	0	0
100-6210-34.72001	CITY POOLS	62,500	62,500	48,432	0	60,000	60,000
POOL ENTRANCE FEES						60,000	60,000
100-6210-34.75000	PROGRAM FEES -- CAMP	152,600	191,000	198,256	0	180,000	180,000
FEES FOR CAMPS (SUMMER, BREAKS, TEEN)						180,000	180,000
100-6210-34.75002	PROGRAM FEES - LEAGUES & TOU	96,000	110,000	94,416	0	106,000	106,000
ESTIMATED FEES FOR ATHLETICS						106,000	106,000
100-6210-34.75003	PROGRAM FEES -- OTHER	15,000	20,000	16,758	0	15,000	15,000
100-6210-34.75004	GYM MEMBERSHIPS	15,000	13,000	13,113	0	10,000	10,000
100-6210-34.75005	VENDING/CONCESSIONS	2,000	500	429	0	500	500
100-6210-37.10000	CONTRIBUTIONS / DONATIONS	0	5,000	5,000	0	1,000	1,000
100-6210-38.10000	RENTS & ROYALTIES	50,000	55,000	58,244	0	43,000	43,000
RENTAL FEES COLLECTED FOR ROOMS/FACILITIES						43,000	43,000
100-6210-38.10001	RENTS - FILM INDUSTRY	75,000	50,000	44,800	0	50,000	50,000
ANTICIPATED FEES FOR MOVIE RENTALS OF FACILITIES						50,000	50,000
Total 6210:		2,646,450	2,746,750	2,716,280	0	465,500	465,500

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Estimated Revenues							
6212							
100-6212-34.75005	VENDING/CONCESSIONS REVENUE FROM SALES OF CONCESSION ITEMS AT POOLS	0	5,000	3,444	0	5,000	5,000
						5,000	5,000
Total 6212:		0	5,000	3,444	0	5,000	5,000
7210							
100-7210-32.22000	BUILDING PERMITS ESTIMATE BASED ON HISTORY	800,000	1,000,000	709,694	0	800,000	800,000
						800,000	800,000
100-7210-32.22100	DEVELOPMENT PERMITS ESTIMATE BASED ON HISTORY	30,000	30,000	28,125	0	25,000	25,000
						25,000	25,000
Total 7210:		830,000	1,030,000	737,819	0	825,000	825,000
7520							
100-7520-37.10000	CONTRIBUTIONS / DONATIONS VENDOR DONATIONS FOR MFG DAY EVENT	3,000	3,000	0	0	3,000	3,000
						3,000	3,000
Total 7520:		3,000	3,000	0	0	3,000	3,000
7550							
100-7550-37.10000	CONTRIBUTIONS / DONATIONS	0	10,000	10,000	0	0	0
Total 7550:		0	10,000	10,000	0	0	0
9000							
100-9000-39.12000	TRANSFER FROM HOTEL 37.5% OF \$1,280,000 ESTIMATE	498,750	438,000	338,767	0	480,000	480,000
						480,000	480,000
100-9000-39.12200	TRANSFER FROM RENTAL CAR AVE \$5,500 MONTHLY	64,800	70,800	59,340	0	66,000	66,000
						66,000	66,000
100-9000-39.12700	TRANSFER FROM ARPA FUND REMAINING FUNDS OF \$10M STANDARD ALLOWANCE	0	4,500,000	3,806,481	0	2,308,960	2,905,271
						2,308,960	2,905,271
Total 9000:		563,550	5,008,800	4,204,588	0	2,854,960	3,451,271
Estimated Revenues		22,865,790	28,290,601	26,054,797	0	19,498,670	26,558,381
Account Category: Appropriations							
1110							
100-1110-51.11000	REGULAR SALARIES MAYOR 20K MO & 6 COUNCIL 14K MO	104,002	104,002	96,000	0	104,002	104,002
						104,002	104,002
100-1110-51.22000	FICA TAXES PAYROLL TAXES-MAYOR & 6 COUNCIL	4,113	4,113	3,896	0	4,112	4,112
						4,112	4,112
100-1110-51.24000	EMPLOYER 401A 10% CONTRIBUTIO ER PAID 401A 10%	6,201	6,201	5,723	0	6,200	6,200
						6,200	6,200
100-1110-51.27000	WORKERS COMP WORKERS COMP	285	285	142	0	500	500

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1110							
						500	500
100-1110-52.31000	GENERAL LIABILITY INSURANCE	20,000	20,100	20,100	0	22,400	22,400
100-1110-52.32000	CELL PHONES	6,000	6,000	4,180	0	4,750	4,750
	CITY COUNCIL CELL PHONES/HOTSPOTS					4,750	4,750
100-1110-52.34000	PRINTING	0	200	182	0	200	200
100-1110-52.35000	TRAVEL EXPENSE	10,000	10,000	840	0	20,000	20,000
	MILEAGE, MEALS, HOTEL EXPENSES FOR TRAININGS					20,000	20,000
100-1110-52.37000	EDUCATION & TRAINING	10,000	10,000	5,805	0	10,000	10,000
	LOCAL GOV'T CONFERENCE & TRAINING REGISTRATION					10,000	10,000
100-1110-53.10000	OPERATING SUPPLIES - MAYOR	5,000	5,000	2,041	0	5,000	5,000
	MAYOR EXPENSES PER CHARTER					5,000	5,000
100-1110-53.10001	OPERATING SUPPLIES - DIST 1 P	3,000	3,000	0	0	3,000	3,000
	DISTRICT 1 POST 1 EXPENSES PER CHARTER					3,000	3,000
100-1110-53.10002	OPERATING SUPPLIES - DIST 1 P	3,000	3,000	858	0	3,000	3,000
	DISTRICT 1 POST 2 EXPENSES PER CHARTER					3,000	3,000
100-1110-53.10003	OPERATING SUPPLIES - DIST 2 P	3,000	3,000	634	2,366	3,000	3,000
	DISTRICT 2 POST 1 EXPENSES PER CHARTER					3,000	3,000
100-1110-53.10004	OPERATING SUPPLIES - DIST 2 P	3,000	3,000	371	0	3,000	3,000
	DISTRICT 2 POST 2 EXPENSES PER CHARTER					3,000	3,000
100-1110-53.10005	OPERATING SUPPLIES - DIST 3 P	3,000	3,000	575	0	3,000	3,000
	DISTRICT 3 POST 1 EXPENSES PER CHARTER					3,000	3,000
100-1110-53.10006	OPERATING SUPPLIES - DIST 3 P	3,000	3,000	0	0	3,000	3,000
	DISTRICT 3 POST 2 EXPENSES PER CHARTER					3,000	3,000
100-1110-53.10007	OPERATING SUPPLIES	0	100	40	0	0	0
100-1110-53.11000	OFFICE SUPPLIES	0	0	0	0	1,000	1,000
	COUNCIL OFFICE SUPPLIES					1,000	1,000
100-1110-53.13000	FOOD SUPPLIES	0	1,500	1,029	0	6,000	6,000
	COUNCIL MEETING MEALS					6,000	6,000
100-1110-53.17100	UNIFORMS	1,750	1,200	166	0	1,400	1,400
	LOGO SHIRTS \$200 X 7					1,400	1,400
	Total 1110:	185,351	186,701	142,582	2,366	203,564	203,564
1320							
100-1320-51.11000	REGULAR SALARIES	393,503	333,000	322,827	0	478,921	485,062
	CITY MGR, ASST CITY MGR, ASST TO CITY MGR					409,386	415,527

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1320							
NEW POSITION-ADMIN ASST-FULL BURDEN							
100-1320-51.21000	GROUP HEALTH INSURANCE	49,858	45,600	43,908	0	69,535 72,152	69,535 72,152
	MEDICAL INS COST LESS DEDUCTIONS EST					72,152	72,152
100-1320-51.21003	LIFE INSURANCE	1,853	1,790	1,782	0	243	243
	ER COST LIFE INS					243	243
100-1320-51.21004	LONG TERM DISABILITY INSURANC	3,633	1,100	1,020	0	2,135	2,135
	ER PROVIDED LTD-AGE BASED EST					2,135	2,135
100-1320-51.21005	SHORT TERM DISABILITY INSURAN	973	1,525	1,508	0	1,484	1,484
	ER PAID STD					1,484	1,484
100-1320-51.21006	EAP INSURANCE	0	7	6	0	9	9
100-1320-51.22000	FICA TAXES	5,410	5,500	5,342	0	5,937	5,937
	MEDICARE					5,937	5,937
100-1320-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	39,355	34,000	32,283	0	40,939	40,939
	NEWPORT GROUP 401A (10%)					40,939	40,939
100-1320-51.24001	457 (B) 4% MATCHING CONTRIBUT	15,745	14,000	12,913	0	16,376	16,376
	NEWPORT GROUP 457B (4%)					16,376	16,376
100-1320-51.27000	WORKERS COMP	1,500	1,500	840	0	1,800	1,800
	WC ESTIMATE					1,800	1,800
100-1320-51.28000	TERMINATION BENEFITS	0	44,226	44,226	0	0	0
100-1320-51.29000	OTHER EMP BENFITS	3,750	0	0	0	0	0
100-1320-52.12000	PROFESSIONAL SERVICES	0	137,000	50,520	58,180	0	0
100-1320-52.13000	OTHER SERVICES / TECHNICAL	20,000	90,000	71,023	8,810	0	0
100-1320-52.13100	CONTRACTUAL SERVICES	0	0	0	0	550,000	550,000
	CHURCH ST PROPERTY ANALYSIS					100,000	100,000
	CONSULTANT-CAPITAL PROJECT MANAGER					200,000	200,000
	CONTRACTED SERVICES FOR ANNEXATION					200,000	200,000
	CONTRACTED GRANT WRITER					50,000	50,000
100-1320-52.32000	CELL PHONES	1,100	1,100	830	0	1,500	1,500
	FIVE EMPLOYEES - CM, ACM, ATCM, ADMIN					1,500	1,500
100-1320-52.35000	TRAVEL EXPENSE	8,000	8,000	4,277	0	10,000	10,000
	2 LOCAL AND 1 INTERNATION CONF-3 EMP					10,000	10,000
100-1320-52.36000	DUES & FEES	4,066	4,066	4,059	0	4,000	4,000
	ICMA/GCCMA- 2 EXEC, 1 MID LEVEL					3,200	3,200

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1320							
AICP							
100-1320-52.37000	EDUCATION & TRAINING	7,500	7,500	3,100	0	800 7,470	800 7,470
CARL VINSON INSTITUTE CLASSES							
GMA REGISTRATION WINTER & JAN							
ICMA NATIONAL CONF REGIS							
CM STATE CONFERENCE							
100-1320-53.10000	OPERATING SUPPLIES	1,000	1,000	755	0	3,600 1,000	3,600 1,000
OFFICE SUPPLIES							
100-1320-53.13000	FOOD SUPPLIES	0	2,500	1,353	0	1,000 3,500	1,000 3,500
FOOD FOR MEETINGS							
100-1320-53.17100	UNIFORMS	0	0	0	0	3,500 500	3,500 500
UNIFORM ITEMS							
100-1320-53.17500	HOSPITALITY SUPPLIES	2,000	5,000	3,701	0	500 0	500 0
100-1320-54.24000	COMPUTER/SOFTWARE	0	0	0	0	15,000	0
Total 1320:		559,246	738,414	606,273	66,990	1,212,966	1,204,107
1330							
100-1330-51.11000	REGULAR SALARIES	165,770	161,000	153,018	0	170,743	173,303
CITY CLERK, DEPUTY CITY CLERK							
100-1330-51.21000	GROUP HEALTH INSURANCE	24,826	28,000	26,472	0	170,743 30,282	173,303 30,282
MED INS ER COST LESS DED							
100-1330-51.21003	LIFE INSURANCE	162	190	149	0	30,282 162	30,282 162
ER PAID LIFE INS							
100-1330-51.21004	LONG TERM DISABILITY INSURANC	1,686	850	536	0	162 814	162 814
ER PAID LTD							
100-1330-51.21005	SHORT TERM DISABILITY INSURAN	778	992	984	0	814 871	814 871
ER PAID STD INS							
100-1330-51.21006	EAP INSURANCE	0	6	6	0	871 6	871 6
100-1330-51.22000	FICA TAXES	2,405	2,320	2,219	0	6 2,476	6 2,476
100-1330-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	16,580	16,000	15,302	0	2,476 17,075	2,476 17,075
NEWPORT GROUP ER PAID 10%							
100-1330-51.24001	457 (B) 4% MATCHING CONTRIBUT	6,635	6,400	6,121	0	17,075 6,830	17,075 6,830
NEWPORT GROUP 4% MATCH 457B							
100-1330-51.27000	WORKERS COMP	400	415	206	0	6,830 550	6,830 550

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1330							
WCOMP PREMIUM							
						550	550
100-1330-51.29000	OTHER EMP BENFITS	3,000	0	0	0	0	0
100-1330-52.11000	ELECTION SERVICES	71,000	71,000	55,248	0	50,000	50,000
ELECTION COSTS IF REFERRENDUM							
						50,000	50,000
100-1330-52.32000	CELL PHONES	1,000	1,030	930	0	1,100	1,100
CITY CLERK & DEPUTY CITY CLERK PHONE SERVICE							
						1,100	1,100
100-1330-52.33000	ADVERTISING	10,000	9,000	2,845	0	9,000	9,000
ADS FOR: MTGS, BUDGET, SPLOST, MILLAGE, BIDS, LEGAL							
						9,000	9,000
100-1330-52.35000	TRAVEL EXPENSE	3,000	3,000	2,676	0	4,500	4,500
MILEAGE, MEALS, HOTEL, PARKING EXPENSES FOR TRAININGS							
						4,500	4,500
100-1330-52.36000	DUES & FEES	1,200	1,200	470	0	1,009	1,009
GMCA - BONNIE & LISA							
						230	230
IIMC - BONNIE & LISA							
						325	325
GSCCCA DEED RECORDINGS							
						385	385
THE CHAMPION SUBSCRIPTION							
						39	39
PROBATE RECORDINGS							
						30	30
100-1330-52.37000	EDUCATION & TRAINING	3,000	4,000	3,520	0	4,120	4,120
BONNIE - GCEI SPRING CONFERENCE ATHENS							
						530	530
LISA - GCEI SPRING CONFERENCE ATHENS							
						530	530
BONNIE - GCEI FALL CONFERENCE JEKYL							
						530	530
LISA - GCEI FALL CONFERENCE JEKYL							
						530	530
BONNIE-GMCA CLERK CONFERENCE SAVANNAH							
						700	700
LISA - GMCA CLERK CONFERENCE SAVANNAH							
						700	700
OTHER VIRTUAL AND IIMC ONLINE TRAININGS							
						600	600
100-1330-53.10000	OPERATING SUPPLIES	2,600	3,300	2,974	0	2,950	2,950
STAPLES PRINTER INK AND OFFICE SUPPLIES							
						1,550	1,550
CLYDE CASTLEBERRY OFFICIAL BOOKS							
						1,400	1,400
100-1330-53.13000	FOOD SUPPLIES	1,200	500	41	0	1,000	1,000
FOOD FOR MEETINGS & TRAININGS							
						1,000	1,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1330							
100-1330-53.17100	UNIFORMS	200	200	0	0	200	200
	LOGO SHIRTS - BONNIE & LISA						
						200	200
100-1330-54.24000	COMPUTER/SOFTWARE	49,250	49,250	49,065	0	51,000	51,000
	EASYVOTE						
						2,500	2,500
	JUSTFOIA						
						11,975	11,975
	MCCI LASERFICHE						
						17,700	17,700
	CIVICPLUS - MUNICODE						
						7,025	7,025
	ESCRIBE						
						11,800	11,800
Total 1330:		364,692	358,653	322,782	0	354,688	357,248
1500							
100-1500-52.12000	PROFESSIONAL SERVICES	65,000	320,000	25,075	15,425	0	270,500
	CITY HALL INTERIOR RENOVATIONS						
						0	270,500
100-1500-52.13001	SECURITY SERVICES	0	65,000	58,552	0	81,000	81,000
	CITY HALL PATROL						
						75,000	75,000
	COUNCIL MEETING SECURITY						
						6,000	6,000
100-1500-52.21300	JANITORIAL	2,280	2,280	1,900	0	2,300	2,300
	ANNEX CLEANING						
						2,300	2,300
100-1500-52.22000	REPAIRS & MAINTENANCE	20,000	15,000	12,875	0	26,000	26,000
	MAINT COSTS ABOVE ESTIMATE IN LEASE						
						26,000	26,000
100-1500-52.23100	RENTAL OF LAND AND BUILDINGS	431,442	781,442	453,545	86,292	641,867	1,013,867
	CITY HALL LEASE \$35,527.18 MONTH						
						426,327	426,327
	ANNEX CONDO HOA FEES \$1295 MONTH						
						15,540	15,540
	POTENTIAL DOWNTOWN PARKING LEASES						
						200,000	200,000
	PUBLIC WORKS - DOWNTOWN PARKING AT CSX						
						0	47,000
	DOWNTOWN PARKING						
						0	325,000
100-1500-52.32100	INTERNET	25,200	26,300	22,478	0	26,400	26,400
	COMCAST BUSINESS \$2,200 MO						
						26,400	26,400
100-1500-52.39000	OTHER PURCHASED SERVICES	3,360	3,360	216	0	2,650	2,650
	PEACHTREE PLANTS						
						2,650	2,650
100-1500-54.23000	FURNITURE AND FIXTURES	0	22,000	2,868	0	50,000	50,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1500							
FURNITURE FOR CITY HALL RENOVATION							
100-1500-54.25000	OTHER EQUIPMENT	0	56,500	12,500	44,000	50,000 45,000	50,000 45,000
FLOCK CONTRACT & REPAIR CONTINGENCY							
Total 1500:							
		547,282	1,291,882	590,009	145,717	875,217	1,517,717
1510							
100-1510-51.11000	REGULAR SALARIES	473,860	425,000	394,216	0	550,197	557,395
FIN DIR, ASST FIN DIR, PR ACCT, PURCH ACCT, OCC TX TECH, REC SUPER,							
NEW CUSTOMER SERV POSITION WITH BENEFITS (DISTRIBUTED IF APPROVED)							
100-1510-51.13000	OVERTIME SALARIES	0	4,200	3,283	0	70,303 4,000	70,303 4,000
OVERTIME FOR FINANCE HOURLY EMPLOYEES							
100-1510-51.21000	GROUP HEALTH INSURANCE	137,500	123,000	116,769	0	154,057	154,057
ER COSTS MEDICAL INS							
100-1510-51.21003	LIFE INSURANCE	486	425	412	0	154,057 486	154,057 486
ER PAID LIFE INS							
100-1510-51.21004	LONG TERM DISABILITY INSURANC	6,875	1,600	1,486	0	486 2,263	486 2,263
ER PAID LTD							
100-1510-51.21005	SHORT TERM DISABILITY INSURAN	2,334	2,450	2,420	0	2,263 2,389	2,263 2,389
ER PAID STD							
100-1510-51.21006	EAP INSURANCE	0	16	15	0	2,389 18	2,389 18
100-1510-51.22000	FICA TAXES	6,875	6,350	5,764	0	6,882	6,882
MEDICARE @ 1.45%							
100-1510-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	47,390	41,250	39,422	0	6,882 47,990	6,882 47,990
NEWPORT GROUP							
100-1510-51.24001	457 (B) 4% MATCHING CONTRIBUT	17,000	14,800	14,031	0	47,990 17,181	47,990 17,181
NEWPORT GROUP 5%							
100-1510-51.27000	WORKERS COMP	1,000	1,000	472	0	17,181 1,200	17,181 1,200
100-1510-51.29000	OTHER EMP BENFITS	9,000	0	0	0	0	0
100-1510-52.11000	AUDIT SERVICES	45,000	45,000	43,650	0	45,000	45,000
NICHOLS CAULEY YEAR 2							
100-1510-52.12000	PROFESSIONAL SERVICES	35,000	48,000	37,302	7,020	45,000 31,000	45,000 31,000
DEKALB CO TAX COMMISSIONER BILL/COLL FEE							
GBI BACKGROUND CHECKS ALCOHOL LICENSES							
100-1510-52.32000	CELL PHONES	1,100	1,500	1,236	0	26,000 5,000	26,000 5,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1510							
VERIZON CELL - 2 STAFF @\$130 MO							
						1,560	1,560
100-1510-52.32050	POSTAGE	0	100	30	0	0	0
100-1510-52.35000	TRAVEL EXPENSE	2,500	2,500	1,291	0	5,000	5,000
HOTEL, MILEAGE, FOOD							
100-1510-52.36000	DUES & FEES	2,050	2,050	679	0	2,900	2,900
GFOA MEMBER DUES CITY/2 STAFF							
GGFOA MEMBER DUES / 2 STAFF							
GABTO DUES							
GOV PURCH DUES CITY/2 STAFF							
GFOA AWARD FEES BUDGET & ACFR SUBMISSION							
GOV WINDOW FOR ONLINE PAYMENTS							
100-1510-52.37000	EDUCATION & TRAINING	3,850	3,850	1,550	0	4,100	4,100
GGFOA CONFERENCE-2 STAFF							
GABTO CON - 1 STAFF							
PURCH CONFERENCE - 2 STAFF							
C.V.I.O.G. TRAINING							
GFOA CPFO PREP COURSE-							
100-1510-53.10000	OPERATING SUPPLIES	4,500	3,000	2,081	0	4,500	4,500
OFFICE/OPERATING SUPPLIES 6 STAFF							
100-1510-53.13000	FOOD SUPPLIES	200	1,000	714	0	1,000	1,000
FOOD SUPPLIES-EMP BIRTHDAYS/MEETINGS							
100-1510-53.17100	UNIFORMS	1,000	1,000	374	0	650	650
UNIFORM SHIRTS-5/YR NEW EMP + 2 REPLACEMENT							
100-1510-54.24000	COMPUTER/SOFTWARE	0	0	0	0	3,000	3,000
POINT & PAY LINK TO AR (BS&A) MODULE							
POINT & PAY LINK TO REC DESK							
POINT & PAY LINK TO COURTWARE							
Total 1510:						885,373	892,571
		797,520	728,091	667,197	7,020		

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1513							
100-1513-57.90000	CONTINGENCIES	250,000	284,435	0	0	163,400	119,010
OPERATING CONTINGENCY							
						163,400	119,010
Total 1513:		250,000	284,435	0	0	163,400	119,010
1530							
100-1530-52.12000	PROFESSIONAL SERVICES	160,300	80,000	68,250	0	60,500	60,500
CONNECT SOUTH @ \$5000/MO							
						60,000	60,000
HOMELAND SECURITY SAVE FEES							
						500	500
100-1530-52.12200	ATTORNEY FEES / CITY ATTORNEY	250,000	215,000	180,854	0	265,000	265,000
CITY ATTORNEY CONTRACT @ 230/HR							
						240,000	240,000
CITY ATTY FEES OVER RETAINER							
						25,000	25,000
100-1530-52.13000	OTHER SERVICES / TECHNICAL	0	0	5,000	0	0	0
100-1530-52.13100	CONTRACTUAL SERVICES	4,320	5,500	4,270	0	6,000	6,000
LEXIS NEXIS @ \$500 MO							
						6,000	6,000
100-1530-53.10000	OPERATING SUPPLIES	0	200	69	0	100	100
OFFICE SUPPLIES							
						100	100
Total 1530:		414,620	300,700	258,443	0	331,600	331,600
1535							
100-1535-51.11000	REGULAR SALARIES	107,100	105,000	98,899	0	110,336	112,010
IT DIRECTOR							
						110,336	112,010
100-1535-51.21000	GROUP HEALTH INSURANCE	17,023	10,000	9,353	0	10,265	10,265
ER COSTS MEDICAL INS							
						10,265	10,265
100-1535-51.21003	LIFE INSURANCE	81	100	74	0	81	81
ER PAID LIFE INS							
						81	81
100-1535-51.21004	LONG TERM DISABILITY INSURANC	0	400	349	0	527	527
ER PAID LTD INS							
						527	527
100-1535-51.21005	SHORT TERM DISABILITY INSURAN	389	550	549	0	504	504
ER PAID STD INS							
						504	504
100-1535-51.21006	EAP INSURANCE	0	5	3	0	3	3
100-1535-51.22000	FICA TAXES	1,555	1,555	1,434	0	1,601	1,601
MEDICARE TAX							
						1,601	1,601
100-1535-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	10,710	10,710	9,890	0	11,036	11,036
NEWPORT GROUP 10% ER PAID							
						11,036	11,036
100-1535-51.24001	457 (B) 4% MATCHING CONTRIBUT	4,284	3,700	3,462	0	3,863	3,863
NEWPORT GROUP 4% MATCH ER PAID							

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As Of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1535							
						3,863	3,863
100-1535-51.27000	WORKERS COMP	0	200	63	0	100	100
100-1535-51.29000	OTHER EMP BENFITS	1,500	0	0	0	0	0
100-1535-52.12300	CONTRACTUAL SVCS INTERDEV	480,859	668,000	560,922	50,523	592,987	592,987
IT SERVICES							
GIS SERVICES							
						223,330	223,330
						369,657	369,657
100-1535-52.22000	REPAIRS & MAINTENANCE	0	1,000	590	0	1,000	1,000
REPAIRS OUTSIDE OF CONTRACTS							
						1,000	1,000
100-1535-52.32050	POSTAGE	0	100	41	0	0	0
100-1535-53.10000	OPERATING SUPPLIES	0	1,000	705	0	1,000	1,000
OPERATING AND OFFICE SUPPLIES							
						1,000	1,000
100-1535-54.24000	COMPUTER/SOFTWARE	337,779	337,779	218,272	11,230	340,975	340,975
BLUEBEAM LICENSES							
						3,300	3,300
BSA - ANNUAL MAINTENANCE							
						51,000	51,000
REVISE WEBSITE ANNUAL							
						5,900	5,900
AZURE IDENTITY MANAGEMENT (1 YR) ANNUAL AND MICROSOFT DATACENTER LICENSES							
						31,000	31,000
MICROSOFT OFFICE 365 ACCOUNTS							
						23,000	23,000
AUTOCAD LICENSES							
						12,500	12,500
ADOBE CREATIVE CLOUD LICENSES							
						15,000	15,000
CRADLEPOINT LTE ADAPTERS AND LICENSE (POOL INTERNET)							
						1,800	1,800
ZOOM							
						6,400	6,400
CLOUD-HOSTED GIS PLATFORM (ANNUAL)							
						15,000	15,000
FORTINET FIREWALL SUPPORT ANNUAL							
						3,700	3,700
VMWARE LICENSE RENEWALS ANNUAL							
						2,300	2,300
PDQ DEPLOYMENT TOOL							
						1,650	1,650
BARRACUDA - ARCHIVING, IPERSONATION DETECTION, AND BACKUPS-ANNUAL							
						11,750	11,750
CROWDSTRIKE SECURITY							
						9,500	9,500
SSL CERTIFICATES (VPN)							
						550	550
AUVIK ADVANCED NETWORK MONITORING AND MAPPING ANNUAL							

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1535							
	ESRI ENTERPRISE AGREEMENT					2,925	2,925
	NEARMAP AERIAL IMAGERY					38,500	38,500
	GC&E CAMERA MAINTENANCE & SUPPORT					11,500	11,500
	ALARM MONITORING					8,000	8,000
	PC-LAPTOPS WITH MONITORS FOR NEW STAFF AS NEEDED ASSUME 10 @ \$3500					1,700	1,700
	SOFTWARE FOR NEW STAFF, ASSUME \$25/MONTH X 10 STAFF					35,000	35,000
	CONTINGENCY FOR SOFTWARE AND OTHER MISC					3,000	3,000
	ADDITIONAL TRAINING AND SERVICES					10,000	10,000
	MERAKI WIFI AP LICENSE					10,000	10,000
	COMPUTER REPLACEMENT					4,000	4,000
						22,000	22,000
	Total 1535:	961,280	1,140,099	904,606	61,753	1,074,278	1,075,952
1540							
100-1540-51.11000	REGULAR SALARIES	97,921	96,000	90,388	0	100,900	102,370
	HUMAN RESOURCES DIRECTOR					100,900	102,370
100-1540-51.21000	GROUP HEALTH INSURANCE	7,803	9,600	9,125	0	10,500	10,500
	ER COSTS MEDICAL INS					10,500	10,500
100-1540-51.21003	LIFE INSURANCE	81	81	74	0	81	81
	ER PAID LIFE INS					81	81
100-1540-51.21004	LONG TERM DISABILITY INSURANC	506	506	306	0	481	481
	ER PAID LTD INS					481	481
100-1540-51.21005	SHORT TERM DISABILITY INSURAN	389	650	544	0	504	504
	ER PAID STD INS					504	504
100-1540-51.21006	EAP INSURANCE	0	5	3	0	3	3
100-1540-51.22000	FICA TAXES	1,420	1,420	1,311	0	1,463	1,463
100-1540-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	9,795	9,795	9,039	0	10,087	10,087
	NEWPORT GROUP ER PAID 10%					10,087	10,087
100-1540-51.24001	457 (B) 4% MATCHING CONTRIBUT	3,920	3,920	3,616	0	4,035	4,035
	ER PAID 457B MATCH 4% NEWPORT GROUP					4,035	4,035
100-1540-51.25000	TUITION REIMBURSEMENTS	16,000	6,000	0	0	16,000	16,000
	TUITION REIMBURSEMENT						

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1540							
						16,000	16,000
100-1540-51.27000	WORKERS COMP	0	300	113	0	200	200
100-1540-51.29000	OTHER EMP BENFITS	2,500	1,200	650	0	1,000	1,000
	WELLNESS PROGRAM						
100-1540-52.12000	PROFESSIONAL SERVICES	8,000	8,000	8,000	0	1,000	1,000
	HR CONSULTATION					12,000	12,000
	PROFESSIONAL DEVELOPMENT-BILINGUAL INTERPRETER					8,000	8,000
						4,000	4,000
100-1540-52.13000	OTHER SERVICES / TECHNICAL	5,000	5,000	1,219	0	0	0
100-1540-52.32000	CELL PHONES	0	550	454	0	600	600
						600	600
100-1540-52.33000	ADVERTISING	5,000	5,000	1,029	0	2,000	2,000
	JOB POSTING FEES						
						2,000	2,000
100-1540-52.35000	TRAVEL EXPENSE	3,500	3,500	353	0	4,000	4,000
	TRAININGS, CONFERENCES, CEUS, OFFSITE MEETINGS						
						4,000	4,000
100-1540-52.36000	DUES & FEES	5,000	7,000	7,205	0	5,000	5,000
	GLGPA, SHRM, PHR, PSHRA MEMBERSHIPS						
	ACA REPORTING					2,500	2,500
						2,500	2,500
100-1540-52.37000	EDUCATION & TRAINING	3,500	3,500	2,060	0	4,000	4,000
	LOCAL HR TRAINING GLGPA						
	NATIONAL HR TRAINING SHRM, PHR, PSHRA					2,000	2,000
						2,000	2,000
100-1540-53.10000	OPERATING SUPPLIES	6,000	5,000	3,980	0	2,500	2,500
	EMPLOYEE RECOGNITION PROGRAMS						
						2,500	2,500
100-1540-53.11000	OFFICE SUPPLIES	0	445	72	0	500	500
	OFFICE SUPPLIES						
						500	500
100-1540-53.13000	FOOD SUPPLIES	4,000	4,000	2,870	0	4,000	4,000
	ONSITE TRAININGS						
	WELLNESS PROGRAMS					2,000	2,000
						2,000	2,000
100-1540-53.17100	UNIFORMS	0	0	0	0	200	200
	UNIFORM SHIRTS						
						200	200
Total 1540:		180,335	171,472	142,411	0	180,054	181,524
1570							
100-1570-52.12000	PROFESSIONAL SERVICES	0	57,500	0	0	0	57,500
	COMMS STRATEGIC PLAN						
						0	50,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1570							
WEBSITE REDESIGN							
						0	7,500
100-1570-52.12100	CONTRACTUAL SVCS -JACOBS	503,485	542,050	509,077	32,943	670,774	670,774
100-1570-52.13000	OTHER SERVICES / TECHNICAL	0	9,000	8,453	0	0	0
100-1570-52.32000	CELL PHONES	2,400	2,350	1,558	0	3,600	3,600
CELL PHONES AND SERVICE							
						3,600	3,600
100-1570-52.32050	POSTAGE	35,000	35,000	9,569	0	45,000	45,000
POSTAGE FOR MONTHLY MAGAZINE							
						45,000	45,000
100-1570-52.33000	ADVERTISING	12,000	12,000	8,590	0	15,000	15,000
ADVERTISING							
						15,000	15,000
100-1570-52.34000	PRINTING	60,000	51,602	16,051	13,211	60,000	60,000
MONTHLY MAGAZINE							
						60,000	60,000
100-1570-52.36000	DUES & FEES	2,000	2,000	123	0	300	300
MONTHLY SUBSCRIPTIONS							
						300	300
100-1570-53.10000	OPERATING SUPPLIES	10,000	20,398	10,102	3,398	18,000	68,000
BANNERS AND SWAG							
						18,000	18,000
SUPPLIES RELATED TO COMMUNICATIONS STRATEGIC PLAN							
						0	50,000
100-1570-53.17500	HOSPITALITY SUPPLIES	24,000	24,000	19,552	0	30,000	30,000
VOLUNTEER DINNER AND SWAG							
						30,000	30,000
100-1570-54.24000	COMPUTER/SOFTWARE	21,000	21,000	12,726	0	25,000	25,000
SOFTWARE AND EQUIPMENT							
						25,000	25,000
Total 1570:		669,885	776,900	595,801	49,552	867,674	975,174
1595							
100-1595-52.13000	OTHER SERVICES / TECHNICAL	11,600	2,900	2,400	0	12,160	12,160
QUENCH WATER FILTER \$50 MONTHLY							
						600	600
SHRED 360 SERVICE \$130 MONTHLY							
						1,560	1,560
GMA TELECOM ANNUAL CONTRACT							
						10,000	10,000
100-1595-52.21400	LANDSCAPING	1,500	1,500	1,375	0	1,500	1,500
DAVES LANDSCAPING \$125 MO							
						1,500	1,500
100-1595-52.22000	REPAIRS & MAINTENANCE	0	1,650	24	0	0	0
100-1595-52.22222	DUE FOR CITY OWNED PROPERTY	6,500	15,200	15,126	0	15,500	15,500
COT STORMWATER FEES-CITY PROPERTY-PAID TO STORMWATEER FUND							
						15,500	15,500
100-1595-52.23202	EQUIPMENT RENTAL	23,000	23,000	22,039	0	25,000	25,000
COPIERS, POSTAGE MACHINE, FOLDING MACHINE LEASES							

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
1595							
100-1595-52.31000	GENERAL LIABILITY INSURANCE	67,000	67,000	36,322	0	25,000	25,000
	GMA LIABILITY INSURANCE					70,000	70,000
100-1595-52.32000	CELL PHONES	0	1,500	708	0	1,500	1,500
	SPARE CELL PHONES					1,500	1,500
100-1595-52.32010	PHONES	40,000	0	0	0	0	0
100-1595-52.32050	POSTAGE	15,000	15,000	10,062	0	15,000	15,000
	POSTAGE					15,000	15,000
100-1595-52.34000	PRINTING	16,000	16,000	10,635	0	11,000	11,000
	FEE FOR LEASED MACHINE COPIES					11,000	11,000
100-1595-52.36000	DUES & FEES	40,000	40,000	12,645	0	25,100	25,100
	GMA DUES					12,000	12,000
	DEKALB MUN ASSOC DUES					13,000	13,000
	FEES FOR ONLINE PAYMENTS					100	100
100-1595-52.36100	SERVICE FEES - BANKING	54,300	54,300	51,522	0	55,200	55,200
	BANK SERVICE FEES \$4,600 MO					55,200	55,200
100-1595-53.10000	OPERATING SUPPLIES	20,000	9,500	6,597	0	9,000	9,000
	COPY FIRST AID, CLEANING, TOILET PAPER, PAPER TOWELS PLATES CUTLERY					9,000	9,000
100-1595-53.11000	OFFICE SUPPLIES	12,000	7,000	1,893	0	5,000	5,000
	COPY PAPER, ENVELOPES, COPIER TONER					5,000	5,000
100-1595-53.12700	GASOLINE/DIESEL	0	500	109	0	0	0
100-1595-53.13000	FOOD SUPPLIES	15,000	16,000	15,008	0	6,000	6,000
	COFFE AND SNACK FOOD SUPPLIES FOR CITY HALL BREAK ROOM					6,000	6,000
100-1595-53.16000	SMALL EQUIPMENT	0	3,350	0	3,350	0	0
100-1595-53.17000	OTHER SUPPLIES	0	8,000	4,806	0	5,000	5,000
	OTHER NON-DEPARTMENTAL SUPPLIES					5,000	5,000
100-1595-54.25000	OTHER EQUIPMENT	0	2,000	0	0	2,000	2,000
	OTHER NON-DEPARTMENTAL OFFICE EQUIPMENT					2,000	2,000
Total 1595:		321,900	284,400	191,271	3,350	258,960	258,960
2650							
100-2650-51.11000	REGULAR SALARIES	208,900	198,000	186,585	0	292,506	292,506
	COURT ADMINISTRATION DIRECTOR, SENIOR COURT CLERK, COURT CLERK					214,901	214,901
	PT COURT CLERK TO FT (FULL COST W BENEFITS)					77,605	77,605

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
2650							
100-2650-51.11111	PART-TIME SALARY (PERMANENT)	0	17,000	28,348	0	0	0
	MOVING TO REGULAR SALARIES FOR FT						
100-2650-51.13000	OVERTIME SALARIES	0	100	15	0	0	0
100-2650-51.21000	GROUP HEALTH INSURANCE	39,930	27,550	26,115	0	31,348	31,348
	MEDICAL 3 FT POSITIONS						
						31,348	31,348
100-2650-51.21003	LIFE INSURANCE	243	243	105	0	243	243
100-2650-51.21004	LONG TERM DISABILITY INSURANC	914	914	661	0	1,027	1,027
100-2650-51.21005	SHORT TERM DISABILITY INSURAN	1,167	1,200	1,198	0	1,169	1,169
100-2650-51.21006	EAP INSURANCE	0	17	18	0	9	9
100-2650-51.22000	FICA TAXES	3,030	3,200	3,117	0	3,106	3,106
100-2650-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	20,900	20,900	21,493	0	21,420	21,420
100-2650-51.24001	457 (B) 4% MATCHING CONTRIBUT	6,500	7,900	7,580	0	8,568	8,568
100-2650-51.27000	WORKERS COMP	0	700	227	0	500	500
100-2650-51.29000	OTHER EMP BENFITS	4,500	0	0	0	0	0
100-2650-52.12000	PROFESSIONAL SERVICES	259,380	124,740	59,168	0	110,100	110,100
	1 JUDGE FOR TRIAL/TRAFFIC/CODE COURT - JUDGE \$1000/PER COURT DATE 45 SESSIONS (\$45,000)					45,000	45,000
	ONE ASSISTANT SOLICITOR NOT WITH PKKN LAW FIRM \$1000/COURT DATE @ 15 COURT SESSIONS (\$15,000)					15,000	15,000
	SPANISH INTERPRETER 40 SESSIONS ESTIMATED \$350.00/COURT DATE (\$14,000)					14,000	14,000
	OTHER INTERPRETER SERVICES ESTIMATED ONCE A MONTH ESTIMATED \$800.00/COURT DATE (\$9,600)					9,600	9,600
	INDIGENT DEFENSE COUNSEL ROUGHLY 15 APPOINTMENTS A YEAR AT \$300.00 (\$4,500)					4,500	4,500
	1 BAILFFS \$50/HR @ 45 SESSIONS (\$18,000)					18,000	18,000
	1 ON-CALL BAILIFF \$50/HR @ 10 SESSIONS (\$4,000)					4,000	4,000
100-2650-52.12200	ATTORNEY FEES/CITY ATTORNEY	0	114,640	90,501	0	180,000	180,000
	CITY ATTORNEY SERVING AS SOLICITOR FOR MUNICIPAL COURT, 2 ASSISTANT SOLICITORS FOR COURT WITH SAME LAW FIRM AS CITY ATTORNEY, ANY MUNICIPAL COURT TRAININGS - \$15,000/MONTH @ 12 MONTHS					180,000	180,000
100-2650-52.32000	CELL PHONES	984	1,100	986	0	984	984
	CITY CELL PHONE FOR COURT ADMINISTRATOR AND SENIOR COURT CLERK ESTIMATED \$82/MO (\$984)					984	984
100-2650-52.32050	POSTAGE	0	200	45	0	5,000	5,000
	ESTIMATE FOR MAIL FOR FTA LETTERS, TRIAL SUBPOENAS, RESET NOTICES, SCIRE FACIAS HEARING NOTICES, INDIGENT DEFFENSE DETERMINATION LETTERS, BOND CHECKS, OPEN RECORDS, RECEIPTS, AND OTHER MAILINGS					5,000	5,000
100-2650-52.34005	PRINTING AND BINDING COMMUNIT	0	0	0	0	300	300
	DUI PUBLICATIONS (\$300)					300	300
100-2650-52.35000	TRAVEL EXPENSE	8,200	8,200	6,598	0	17,100	17,100
	JUDGE'S TRAVEL EXPENSES (\$2000.00)					2,000	2,000
	YEARLY CLERK TRAINING HOTEL EXPENSES FOR 4 CLERKS (\$2,400.00)					2,400	2,400

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
2650							
	COURT ADMINISTRATOR COUNCIL TRAINING HOTEL EXPENSES FOR 2 CLERKS FOR SPRING & FALL CONFERENCES (\$4,200 FOR 12 NIGHTS FOR TWO ROOMS)					4,200	4,200
	HOTEL FOR GCIC SYMPOSIUM (\$2,600)					2,600	2,600
	MILEAGE FOR ALL TRAININGS & BOND PICK UP (\$4,400)					4,400	4,400
	MEAL REIMBURSEMENT (\$1,500)					1,500	1,500
100-2650-52.36000	DUES & FEES	2,000	2,000	936	0	2,020	2,020
	GEORGIA COUNCIL OF COURT ADMINISTRATORS MEMBERSHIP DUES (2 @ \$200.00)					400	400
	GMCCC MEMBERSHIP DUES (2 @ \$60.00)					120	120
	JUDGE'S CLE YEARLY FEES (\$1500)					1,500	1,500
100-2650-52.37000	EDUCATION & TRAINING	2,500	4,000	2,386	0	3,000	3,000
	YEARLY CLERK TRAINING (4 @ \$250.00)					1,000	1,000
	GCIC TRAINING SYMPOSIUM (2 @ \$250.00)					500	500
	COURT ADMINISTARTOR COUNCIL TRAINING (4 @ \$375.00)					1,500	1,500
100-2650-53.10000	OPERATING SUPPLIES	25,000	25,000	10,693	0	17,500	17,500
	NEEDED FOR PRINTING COST FOR COURT PURPOSES DUE TO HAVING TO RUN FILES ON COURT DAYS WHICH USUALLY USES 3-5 REAMS OF PAPER, ARREST JACKETS NEEDED FOR CITATIONS ISSUED,PROTECH PRINTING FOR REGULAR TRAFFIC JACKETS, FORMS, ENVELOPES, AND OTHER PRINTING NEEDS, OTHER MISC OFFICE SUPPLIES FOR COURT, CITATIONS/PARKING TICKETS FOR DEKALB COUNTY POLICE DEPARTMENT, INK FOR NEW GCIC PRINTER					17,500	17,500
100-2650-53.13000	FOOD SUPPLIES	10,800	10,800	8,518	0	13,500	13,500
	LUNCH, WATER COOLER, CANDY, DRINKS FOR COURT STAFF, SOLICITORS, JUDGE, BAILLIFFS, OFFICERS, COMMUNITY DEVELOPMENT, CODE ENFORCEMENT INCL DELIVERY FEES (\$13,500)					13,500	13,500
100-2650-53.17100	UNIFORMS	1,000	1,000	0	0	4,500	4,500
	UNIFORM ALLOWANCE FOR COURT PERSONNEL AND BAILIFFS - 4 POLOS, 2 CARDIGANS, & JACKET FOR EACH COURT CLERK (\$1,500)					1,500	1,500
	3 BAILIFFS UNIFORMS (\$3,000)					3,000	3,000
100-2650-54.24000	COMPUTER/SOFTWARE	29,500	29,500	12,073	0	17,984	17,984
	GA TECHNOLOGY AUTH 7.00 MONTHLY					84	84
	COURTWARE 1,200.00 MONTHLY					14,400	14,400
	FINGERPRINT MACHINE MONTHLY MAINT					3,500	3,500
	Total 2650:	625,448	598,904	467,366	0	731,884	731,884
4100							
100-4100-52.12100	CONTRACTUAL SVCS -JACOBS	852,255	984,939	827,359	154,190	720,616	0
100-4100-52.12400	CONTRACTUAL SVCS-LOWE ENGINEE	652,503	676,631	512,218	164,413	762,000	762,000
	LOWE PW - GENERAL SERVICES AND AS NEEDED STAFF					762,000	762,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
4100							
100-4100-52.13100	CONTRACTUAL SERVICES	0	0	0	0	100,000	100,000
	ADA TRANSITION PLAN					100,000	100,000
100-4100-52.22000	REPAIRS & MAINTENANCE	0	8,519	8,519	0	0	0
100-4100-52.32000	CELL PHONES	5,760	5,760	4,727	0	5,760	2,880
	CELL PHONE - (4) LOWE					5,760	2,880
100-4100-52.32010	PHONES	5,000	0	0	0	5,000	5,000
	PHONE LINE FOR SECURITY PW WAREHOUSE					5,000	5,000
100-4100-52.32100	INTERNET	2,400	2,400	318	0	2,400	2,400
	INTERNET FOR LEASED PW WAREHOUSE					2,400	2,400
100-4100-52.35000	TRAVEL EXPENSE	7,000	2,000	0	0	7,000	7,000
	TRAVEL EXPENSE FOR CONFERENCES(HOTEL, MILEAGE, MEALS)					7,000	7,000
100-4100-52.37000	EDUCATION & TRAINING	10,000	5,000	0	0	5,000	5,000
	EDUCATION AND TRAINING ENROLLMENT FEES					5,000	5,000
100-4100-52.71300	LEASE PRINCIPLE PMTS	76,000	76,000	69,667	0	80,000	80,000
	YEAR 2 OF 3 YEAR LEASE - PW WAREHOUSE					80,000	80,000
100-4100-53.10000	OPERATING SUPPLIES	5,000	5,000	3,723	0	2,500	2,500
	OPERATING SUPPLIES - PW STAFF					2,500	2,500
100-4100-53.12200	NATURAL GAS	0	5,000	2,997	0	7,500	7,500
	NATURAL GAS SERVICE - PW FACILITY					7,500	7,500
100-4100-53.16000	SMALL EQUIPMENT	5,000	5,000	720	0	5,000	5,000
	SMALL EQUIPMENT SPECIFIC TO PW USE					5,000	5,000
100-4100-53.17100	UNIFORMS	1,000	1,000	182	0	2,500	2,500
	PW - TUCKER UNIFORM ITEMS (SHIRTS, BOOTS, SAFETY VESTS, ETC)					1,000	1,000
	PW - TUCKER MAGNETS FOR EQUIPMENT					1,500	1,500
100-4100-54.23000	FURNITURE AND FIXTURES	5,000	0	0	0	2,500	2,500
	PW FACILITY - FURNITURE AND FIXTURES					2,500	2,500
100-4100-54.24000	COMPUTER/SOFTWARE	49,125	102,425	60,601	5,750	4,500	4,500
	ROW PERMITTING					4,500	4,500
100-4100-54.25000	OTHER EQUIPMENT	0	24,100	24,040	0	0	0
	Total 4100:	1,676,043	1,903,774	1,515,071	324,353	1,712,276	988,780
4200							
100-4200-52.13000	OTHER SERVICES / TECHNICAL	50,000	10,000	360	0	75,000	75,000
	TRAFFIC CALMING (DESIGN, STUDIES, COUNTS)					75,000	75,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
4200							
100-4200-52.22210	REPAIRS & MAINT - TRAFFIC SIG	0	0	0	0	750,000	750,000
	REPAIRS AND MAINTENANCE OF TRAFFIC SIGNALS - SUNBELT					500,000	500,000
	GDOT/CITY OF TUCKER FYA UPGRADES					250,000	250,000
100-4200-52.22240	REPAIRS & MAINT - STREET MAIN	748,000	768,000	612,401	155,599	370,000	370,000
100-4200-52.37000	EDUCATION & TRAINING	0	0	0	0	2,000	2,000
	TUCKER UTILITY COORDINATION MEETINGS					2,000	2,000
100-4200-53.10000	OPERATING SUPPLIES	235,000	290,000	157,911	114,746	350,000	350,000
	MATERIALS - TRAFFIC SIGNALS					150,000	150,000
	Total 4200:	1,033,000	1,068,000	770,672	270,345	1,547,000	1,547,000
4226							
100-4226-52.13000	OTHER SERVICES / TECHNICAL	200,000	125,000	71,708	53,292	200,000	200,000
	TREE REMOVAL CONTRACTOR					200,000	200,000
100-4226-52.21400	LANDSCAPING	564,000	460,000	356,200	83,800	600,000	600,000
	ROW MAINTENANCE - TRISCAPES					500,000	500,000
	CID PARTNERSHIP TO PAINT HANDRAILS					100,000	100,000
100-4226-53.10000	OPERATING SUPPLIES	125,000	25,000	5,678	23,764	125,000	125,000
	ROW MAINTENANCE MATERIALS					125,000	125,000
	Total 4226:	889,000	610,000	433,586	160,856	925,000	925,000
4260							
100-4260-53.12300	ELECTRICITY	0	69,500	11,946	0	514,485	514,485
	STREET LIGHTS - GPC/WALTONEMC					289,485	289,485
	TRAFFIC SIGNALS					225,000	225,000
	Total 4260:	0	69,500	11,946	0	514,485	514,485
4270							
100-4270-52.12000	PROFESSIONAL SERVICES	0	0	0	0	0	100,000
	HUGH HOWELL SAFETY STUDY					0	100,000
100-4270-52.12100	CONTRACTUAL SVCS -JACOBS	0	0	0	0	475,000	1,195,616
	CAPITAL PROJECT MANAGEMENT					250,000	250,000
	SPLOST PROJECT MANAGEMENT					225,000	225,000
	CONTRACT-ENGINEER, SUPERINTENDENT, JR ENGINEER, INSPECTOR					0	720,616
100-4270-52.13100	CONTRACTUAL SERVICES	0	0	0	0	600,000	600,000
	TRANSPORTATION MASTER PLAN					200,000	200,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
4270							
LAWRENCEVILLE HWY BEAUTIFICATION AND ACCESS MGT CONCEPT						300,000	300,000
TRAIL MASTER PLAN						100,000	100,000
100-4270-52.32000	CELL PHONES	0	0	0	0	0	2,880
CELL PHONES - (4) JACOBS						0	2,880
100-4270-53.17100	UNIFORMS	0	300	245	0	600	600
TUCKER UNIFORMS						600	600
Total 4270:		0	300	245	0	1,075,600	1,899,096
6210							
100-6210-51.11000	REGULAR SALARIES	700,260	695,500	640,636	0	1,420,096	1,435,426
12 CURRENT FT, 14 CURRENT PT-MOVE						1,022,024	1,037,354
4 PT VACANT REC MOVED TO 2 FT-MOVE						152,130	152,130
1 NEW ADMIN SRV MGR-FULLY BURDENED-MOVE						111,426	111,426
1 NEW REC SRV DIV MGR-FULLY BURDENED-MOVE						134,516	134,516
100-6210-51.11111	PART-TIME SALARY (PERMANENT)	344,500	340,000	201,394	0	0	0
100-6210-51.12000	TEMPORARY SALARIES	232,488	232,488	110,600	0	379,180	379,180
SEASON SUMMER STAFF-MOVE BENEFITS						379,180	379,180
100-6210-51.13000	OVERTIME SALARIES	0	3,000	2,106	0	0	0
100-6210-51.21000	GROUP HEALTH INSURANCE	168,500	152,000	143,728	0	176,951	176,951
100-6210-51.21003	LIFE INSURANCE	972	972	803	0	972	972
100-6210-51.21004	LONG TERM DISABILITY INSURANC	5,336	2,336	2,282	0	3,467	3,467
100-6210-51.21005	SHORT TERM DISABILITY INSURAN	4,668	4,500	4,217	0	3,875	3,875
100-6210-51.21006	EAP INSURANCE	0	130	122	0	140	140
100-6210-51.22000	FICA TAXES	32,885	32,885	20,754	0	14,820	14,820
FICA						14,820	14,820
100-6210-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	104,475	92,000	84,203	0	102,203	102,203
NEWPORT 10%						102,203	102,203
100-6210-51.24001	457 (B) 4% MATCHING CONTRIBUT	27,930	24,000	21,361	0	23,984	23,984
NEWPORT 4% MATCH						23,984	23,984
100-6210-51.27000	WORKERS COMP	12,000	12,000	8,121	0	18,000	18,000
WORKERS COMP INS						18,000	18,000
100-6210-51.29000	OTHER EMP BENFITS	36,000	0	0	0	0	0
100-6210-52.12000	PROFESSIONAL SERVICES	0	8,500	0	8,500	0	0
100-6210-52.13000	OTHER SERVICES / TECHNICAL	2,500	0	0	0	0	0
100-6210-52.13010	OTHER/TECHNICAL SERVICES - PR	0	3,000	1,745	0	1,500	1,500
BOTTLE ROCKET DEMO SPECIALIST							

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6210							
	REPTILE HANDLER ONSITE					500	500
	SCIENCE DEMO SPECIALIST					500	500
100-6210-52.13020	OTHER/TECHNICAL SERVICES - AT	25,000	26,500	25,091	0	500	500
	FIELD PAINTER/SECURITY					32,500	32,500
	BASKETBALL, BASEBALL, KBALL, LAX OFFICIALS					5,000	5,000
100-6210-52.13100	CONTRACTUAL SERVICES	10,000	2,000	1,661	0	27,500	27,500
	KELLCO PEST CONTROL					31,700	31,700
	ESTES HVAC					5,000	5,000
	REC DESK					5,500	5,500
	CINTAS					7,500	7,500
	ON THE CLOCK					2,400	2,400
	QR CODE CREATION CONTRACT					2,000	2,000
	SURVEY MONKEY					900	900
	MOJO-YOUTH ATHLETICS (ANUALLYY)					500	500
	COMMUNITY COFFE/QUENCH					2,500	2,500
	MAIL CHIMP					1,200	1,200
100-6210-52.21100	SANITATION SERVICE	0	0	0	0	4,200	4,200
	ROLL OFFS AS NEEDED FOR TRC					1,000	1,000
100-6210-52.21300	JANITORIAL SERVICE	10,800	10,800	8,500	0	10,800	10,800
	ANNEX AND NIGHT TRC CLEANING					10,800	10,800
100-6210-52.21400	LANDSCAPING SERVICE	1,000	1,500	1,153	0	1,500	1,500
	OUTDOOR PLANTINGS					500	500
	HOLIDAY DECORATIONS					250	250
	FLOWERS FOR PLANTERS					250	250
	GARDENS					500	500
100-6210-52.22000	REPAIRS & MAINTENANCE	80,000	130,000	106,007	7,285	125,964	125,964
	20% INCREASE DUE TO WEAR AND TEAR OF FACILITY					20,994	20,994

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6210							
FLOORS						10,497	10,497
WINDOWS						10,497	10,497
BATHROOMS						10,497	10,497
ELECTRICAL						10,497	10,497
KITCHEN REPAIRS						10,497	10,497
INDOOR AND OUTDOOR LIGHTING						10,497	10,497
GYM REPAIRS						10,497	10,497
ROOF REPAIRS						10,497	10,497
HVAC						10,497	10,497
MIRRORS						10,497	10,497
100-6210-52.22001	REPAIRS & MAINTENANCE - VEH	18,000	16,000	7,767	0	21,600	21,600
	20% INCREASE DUE TO TO AGE OF BUSES					3,600	3,600
2 BUSES						3,600	3,600
2 VANS						3,600	3,600
1 TRUCK						1,800	1,800
2 SUVS						3,600	3,600
2 TRAILERS						1,800	1,800
1 GATOR						1,800	1,800
1 GOLF CART						1,800	1,800
100-6210-52.23100	RENTAL OF LAND AND BUILDINGS	2,400	4,500	4,500	0	7,500	7,500
	ACTIVITY CENTER RENTAL- FOR CAMPS, SPORTS OVERFLOW AMD EVENT SPACE					6,000	6,000
	ST ANDREWS PARKING LOT RENTAL					1,500	1,500
100-6210-52.23200	EQUIPMENT & VEHICLE RENTALS	1,000	1,000	0	0	3,500	3,500
	VAN RENTALS AS NEEDED					1,000	1,000
	LIFT FOR GYM LIGHT REPAIR					2,500	2,500
100-6210-52.23202	EQUIPMENT RENTAL	0	2,000	1,078	0	0	0
100-6210-52.31000	GENERAL LIABILITY INSURANCE	25,000	23,016	23,077	0	26,000	26,000

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6210							
GENERAL LIABILITY INSURANCE							
100-6210-52.32000	CELL PHONES FT STAFF PHONES WITH ADDED STAFF	5,000	7,200	6,361	0	26,000 6,500	26,000 6,500
100-6210-52.32050	POSTAGE COMMUNITY AND HOLIDAY LETTERS	0	500	367	0	6,500 650	6,500 650
	CITY MAILINGS OF QUARTERLY PROGRAM GUIDES					325	325
100-6210-52.32100	INTERNET TRC INTERNET SERVICE	25,000	36,000	29,799	0	325 38,000	325 38,000
100-6210-52.33000	ADVERTISING BANNERS	5,500	4,000	1,876	0	38,000 5,500	38,000 5,500
	SIGNS					1,375	1,375
	FLYERS					1,375	1,375
	SOCIAL MEDIA MARKETING					1,375	1,375
100-6210-52.34000	PRINTING BROCHURES	12,500	12,500	2,846	0	1,375 12,500	1,375 12,500
	GUIDES					3,125	3,125
	MAPS					3,125	3,125
	RENDERINGS					3,125	3,125
100-6210-52.35000	TRAVEL EXPENSE NRPA	15,000	15,000	4,793	0	3,125 17,500	3,125 17,500
	GRPA					2,500	2,500
	SEFA					2,500	2,500
	STATE ATHLETICS CO					2,500	2,500
	LEADERSHIP CONFERENCE					2,500	2,500
	BOARD OF TRUSTEES					2,500	2,500
	SENIOR TRIP (STAFF)					2,500	2,500
	YOUTH TEAMS					1,250	1,250
100-6210-52.36000	DUES & FEES	2,000	3,000	2,678	0	1,250 2,000	1,250 2,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6210							
	NRPA DUES					700	700
	GRPA DISTRICT FEE					200	200
	GRPA CERTIFICATION FEE					100	100
	GRPA DUES					1,000	1,000
	GRPA DISTRICT DUES FOR DEPARTMENT ONLY						
100-6210-52.37000	EDUCATION & TRAINING	3,650	9,650	9,151	0	12,150	12,150
	NRPA					1,930	1,930
	SEFA					1,930	1,930
	MARKETING COLLEGE					1,930	1,930
	GRPA SEMINARS/CONF					1,930	1,930
	ADDIT STAFF CERTIFICATIONS: CPRP, LGI, FIRST AID/CPR					2,500	2,500
100-6210-53.10000	OPERATING SUPPLIES	40,000	40,000	25,536	0	46,000	46,000
	JANITORIAL SUPPLIES, CHEMICALS, PAPER PRODUCTS					40,000	40,000
	15% INCREASE SUPPLY COSTS					6,000	6,000
100-6210-53.10010	OPERATING SUPPLIES - PROGRAMS	32,500	40,000	16,515	0	52,700	52,700
	ADDITIONAL CAMPS (SPORTS, DEKALB)					5,000	5,000
	SENIOR LUNCH AND LEARNS					1,500	1,500
	OUTDOOR ADULT/YOUTH					12,500	12,500
	NEW YOUTH AND TEEN (PNO, GYMNASTICS)					1,200	1,200
	CAMPS/PROGRAMMING (SR, TEEN, YOUTH)					32,500	32,500
100-6210-53.10020	OPERATING SUPPLIES - ATHLETIC	36,000	48,500	39,032	0	49,200	49,200
	UNIFORMS/BATS/HELMETS (Y&A)					18,000	18,000
	EQUIPMENT-BALLS, NETS, CHALK (Y&A)					18,000	18,000
	20% INCREASE DUE TO PARTICIPATION AND ADDED SPORTS					7,200	7,200
	PAINT FOR FIELDS					6,000	6,000
100-6210-53.11000	OFFICE SUPPLIES	7,500	7,500	2,151	0	8,250	8,250
	STATIONARY, WRITING UTENSILS, WHITEBOARDS					7,500	7,500
	10% INCREASE FOR STAFF INCREASE						

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6210							
100-6210-53.12100	WATER/SEWER	3,500	1,000	187	0	750	750
WATER/SEWER TRC						3,500	3,500
TRC, HENDERSON PARK, COFER PARK AND POOL, COFER MAINTENANCE, TRC FIELD, HENDERSON 1, 2, 6, PETERS PARK, FITZGERALD						3,500	3,500
100-6210-53.12200	NATURAL GAS	16,000	16,000	12,460	0	16,000	16,000
TRC						16,000	16,000
100-6210-53.12300	ELECTRICITY	55,000	84,000	64,031	0	84,000	84,000
TRC						84,000	84,000
100-6210-53.12400	BOTTLED GAS - PROPANE, ETC.	0	100	44	0	250	250
PROPANE						250	250
100-6210-53.12700	GASOLINE/DIESEL	7,000	7,000	4,366	0	8,400	8,400
GASOLINE/DIESEL						7,000	7,000
20% INCREASE FOR 2 NEW VECHICLES AND INCRESED USAGE						1,400	1,400
100-6210-53.13000	FOOD SUPPLIES	6,000	12,000	8,140	0	10,000	10,000
BREAKROOM, HOLIDAY MEALS						10,000	10,000
100-6210-53.13010	FOOD SUPPLIES - PROGRAMS	3,500	5,500	3,058	0	6,750	6,750
SENIOR EVENTS						1,350	1,350
CAMPS						1,350	1,350
ADDED LUNCH AND LEARNS						1,350	1,350
OUTDOOR PROGRAMMING ADDED						1,350	1,350
INST FOOD						1,350	1,350
100-6210-53.13020	FOOD SUPPLIES - ATHLETICS	3,500	3,000	518	0	3,850	3,850
FOOD SUPPLIES: ATHLETICS						875	875
SPORTS BANQUETS						875	875
OFFICIALS MEALS						875	875
10% FOR INCREASED SPORTS						350	350
LEADERS IN ATHLETICS PROGRAMS						875	875
100-6210-53.15000	SUPPLIES/INVENTORY PURCHASED	5,000	6,000	3,502	0	5,000	5,000
VENDING						2,500	2,500
CONCESSIONS FOR SPORTING EVENTS						2,500	2,500

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6210							
100-6210-53.16000	SMALL EQUIPMENT	0	2,000	1,231	0	9,000	9,000
	CATERING SUPPLIES					6,000	6,000
	CAMERA SUPPLIES					3,000	3,000
100-6210-53.17100	UNIFORMS	5,500	5,500	3,904	0	10,500	10,500
	STAFF SHIRTS AND GEAR					5,500	5,500
	TRANSITION TO UNIFORMS FOR PT STAFF					2,500	2,500
	INCREASE OF FT STAFF					2,500	2,500
100-6210-53.23000	FURNITURE AND FIXTURES	7,500	7,500	3,038	0	7,500	7,500
	CHAIRS					500	500
	TABLES					3,000	3,000
	DOLLIES					500	500
	DESKS					3,000	3,000
	FILING CABINETS					500	500
100-6210-54.23000	FURNITURE AND FIXTURES	0	0	61	0	0	0
100-6210-54.24000	COMPUTER/SOFTWARE	8,800	8,800	2,816	0	0	0
	Total 6210:	2,151,664	2,202,877	1,669,367	15,785	2,822,952	2,838,282
6211							
100-6211-52.13000	OTHER SERVICES / TECHNICAL	10,000	2,500	1,423	0	2,750	2,750
	PARK SECURITY					2,500	2,500
100-6211-52.13100	CONTRACTUAL SERVICES	13,000	5,500	2,761	0	15,200	15,200
	PLAYGROUND INSPECTIONS					3,000	3,000
	PARKS WEATHER SERVICE					2,000	2,000
	DOODY CALLS- 2X WEEK, 2 STATIONS AND SUPPLIES					10,200	10,200
100-6211-52.21100	SANITATION	25,000	17,000	16,015	0	22,000	22,000
	ROLLOFF AND OTHER DISPOSAL					22,000	22,000
100-6211-52.21400	LANDSCAPING	717,000	720,000	656,656	56,671	720,000	720,000
	PARKS MAINTENANCE (MONETTE)					720,000	720,000
100-6211-52.22000	REPAIRS & MAINTENANCE	240,000	259,850	254,435	1,200	270,000	270,000
	TREE REMOVAL					140,000	140,000
	FENCE REPAIR					55,000	55,000

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6211							
BUILDING REPAIR							
						50,000	50,000
10% INCREASE DUE TO MATERIALS						25,000	25,000
100-6211-52.23100	RENTAL OF LAND AND BUILDINGS	5,000	0	0	0	0	0
100-6211-52.23202	EQUIPMENT RENTAL	32,000	5,000	1,730	0	7,700	7,700
LIGHTING, GRADING, GENERATOR, LIFTS						7,000	7,000
10% INCREASE DUE TO MATERIALS AND LABOR COSTS						700	700
100-6211-52.31000	GENERAL LIABILITY INSURANCE	1,300	1,350	1,333	0	0	0
100-6211-52.32100	INTERNET	0	500	290	0	1,000	1,000
COFER CONCESSION STAND						1,000	1,000
100-6211-52.39000-PR2113	OTHER PURCHASED SERVICES**DO	0	0	0	(1,250)	0	0
100-6211-53.10000	OPERATING SUPPLIES	32,000	12,050	9,415	0	25,300	25,300
PESTISCIDE, PLAYGROUND MULCH						22,000	22,000
15% INCREASE DUE TO MATERIALS AND LABOR COSTS						3,300	3,300
100-6211-53.12100	WATER/SEWER	1,800	2,250	1,758	0	3,220	3,220
WATER SEWER AT PARKS						3,220	3,220
100-6211-53.12300	ELECTRICITY	75,000	115,000	103,622	0	132,250	132,250
GA POWER ELECTRICITY AT PARKS						132,250	132,250
Total 6211:		1,152,100	1,141,000	1,049,438	56,621	1,199,420	1,199,420
6212							
100-6212-52.13000	OTHER SERVICES / TECHNICAL	2,500	2,500	0	0	2,875	2,875
POOL PUMP SERVICE AND REPAIR						2,875	2,875
100-6212-52.13100	CONTRACTUAL SERVICES	111,690	125,000	122,369	1,031	163,350	163,350
LIFEGUARDS YEAR 1						138,350	138,350
POOL MAINTENANCE YEAR 2 OF 5						25,000	25,000
100-6212-52.22000	REPAIRS & MAINTENANCE	35,000	49,100	41,124	4,400	44,965	44,965
WATERLINES, PLUMBING, PLASTE, RAILING						39,100	39,100
INCREASE FOR WEAR AND TEAR ON FACILITIES						5,865	5,865
100-6212-52.31000	GENERAL LIABILITY INSURANCE	2,600	2,662	2,662	0	0	0
100-6212-52.32100	INTERNET	1,100	1,100	(96)	0	2,800	2,800
FIBEROPTICS WIFI						2,800	2,800
100-6212-53.10000	OPERATING SUPPLIES	33,500	15,150	9,425	0	34,500	34,500
CHEMICALS, OTHER SUPPLIES						34,500	34,500

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6212							
100-6212-53.12300	ELECTRICITY	18,500	0	0	0	13,500	13,500
	GA POWER ELECTRICITY					13,500	13,500
100-6212-53.15000	SUPPLIES/INVENTORY PURCHASED	1,500	8,000	3,110	0	5,500	5,500
	CONCESSIONS					5,500	5,500
100-6212-53.16000	SMALL EQUIPMENT	0	0	0	0	1,500	1,500
	LIFE SAFETY EQUIPMENT					1,500	1,500
100-6212-54.23000	FURNITURE AND FIXTURES	2,500	2,500	1,339	0	2,750	2,750
	TABLES, UMBRELLAS, CHAIRS, BENCHES					2,750	2,750
	Total 6212:	208,890	206,012	179,933	5,431	271,740	271,740
6213							
100-6213-52.13001	SECURITY SERVICES	0	23,000	9,000	0	24,000	24,000
	POLICE PATROL DURING EVENTS					24,000	24,000
100-6213-52.21100	SANITATION	0	3,000	1,838	0	13,500	13,500
	PORTA JOHNS					13,500	13,500
100-6213-52.23200	RENTALS - SPECIAL EVENTS	0	45,000	32,711	0	90,000	90,000
	STAGE, SOUND, LIGHTING					38,500	38,500
	KIDZ ZONES/ BOUNCY HOUSES					44,000	44,000
	MOVIE SCREENS					7,500	7,500
100-6213-52.36200	DUES & FEES SPECIAL EVENTS	0	1,000	375	0	940	940
	SFEA					940	940
100-6213-52.39200	PURCHASED SERVICES-SPECIAL EV	0	70,000	67,464	1,500	75,280	75,280
	BANDS- VARIETY					52,000	52,000
	FIREWORKS					18,000	18,000
	DJ					5,280	5,280
100-6213-53.13200	FOOD SUPPLIES-SPECIAL EVENTS	0	12,000	6,371	0	15,000	15,000
	MEALS FOR VENDORS AND STAFF					15,000	15,000
100-6213-53.17200	OPERATING SUPPLIES-SPECIAL EV	0	90,000	85,883	0	39,875	39,875
	GIVE AWAYS- EACH EVENT					17,000	17,000
	T SHIRTS FIRST FRIDAY CONCERT SERIES					7,500	7,500
	CANDY DASH/HALLOWEEN					3,000	3,000
	MOVIES						

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
6213							
	LODGING FOR VENDORS					1,875	1,875
	TABLES, TENTS, BINS, OTHER SUPPLIES AS NEEDED FOR EVENTS					3,000	3,000
						7,500	7,500
	Total 6213:	0	244,000	203,642	1,500	258,595	258,595
7000							
100-7000-51.11000	REGULAR SALARIES	228,930	188,000	176,194	0	232,471	235,958
	COMM DEV DIR AND FIRE MARSHALL					232,471	235,958
100-7000-51.21000	GROUP HEALTH INSURANCE	48,646	26,000	23,409	0	19,844	19,844
100-7000-51.21003	LIFE INSURANCE	162	162	122	0	162	162
100-7000-51.21004	LONG TERM DISABILITY INSURANC	2,100	1,000	699	0	1,109	1,109
100-7000-51.21005	SHORT TERM DISABILITY INSURAN	778	900	872	0	1,008	1,008
100-7000-51.21006	EAP INSURANCE	0	5	5	0	6	6
100-7000-51.22000	FICA TAXES	3,320	2,800	2,555	0	3,371	3,371
100-7000-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	22,900	19,000	17,620	0	23,247	23,247
100-7000-51.24001	457 (B) 4% MATCHING CONTRIBUT	9,160	0	0	0	0	0
100-7000-51.27000	WORKERS COMP	0	300	92	0	500	500
100-7000-51.29000	OTHER EMP BENFITS	3,000	0	0	0	0	0
100-7000-52.13000	OTHER SERVICES / TECHNICAL	125,000	155,000	31,120	41,198	368,000	368,000
	ABATEMENT (NUISANCE STRUCTURES, SIGNS, ETC)					75,000	75,000
	PUBLIC ART					10,000	10,000
	COMMUNITY OUTREACH IN MULTIPLE LANGUAGES					50,000	50,000
	2025 POINT IN TIME COUNT; SUPPORTING THE UNHOUSED EVENT					5,000	5,000
	COMMUNITY SERVICE BOARD MENTAL HEALTH CASE MANAGER					128,000	128,000
	HOUSING STUDY PHASE 2					100,000	100,000
100-7000-52.13100	CONTRACTUAL SERVICES	0	56,900	0	56,900	0	0
100-7000-52.22000	REPAIRS & MAINTENANCE	0	3,000	1,397	0	0	0
100-7000-52.22001	REPAIRS & MAINTENANCE - VEH	0	100	13	0	0	0
100-7000-52.32000	CELL PHONES	1,200	600	580	0	1,000	1,000
	CELL PHONE - DIR & FIRE MARSHALL					1,000	1,000
100-7000-52.32050	POSTAGE	2,000	2,000	989	0	2,500	2,500
	POSTAGE					2,500	2,500
100-7000-52.33000	ADVERTISING	2,500	2,500	1,275	0	2,500	2,500
	ADVERTISING (PUBLIC NOTICE SIGNS, LEGAL ADS)					2,500	2,500
100-7000-52.36000	DUES & FEES	480	1,000	818	0	1,500	1,500
	APA DUES					500	500

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
7000							
	AICP EXAM					500	500
	CERTIFIED FIRE MARSHAL EXAM					500	500
100-7000-52.37000	EDUCATION & TRAINING	1,000	1,900	1,038	0	5,000	5,000
	NPA CONFERENCE					2,500	2,500
	OTHER COM DEV TRAINING					500	500
	FIRE MARSHAL TRAININGS					2,000	2,000
100-7000-53.10000	OPERATING SUPPLIES	500	5,000	8,071	0	5,000	5,000
	OPERATING SUPPLIES					5,000	5,000
100-7000-53.12700	GASOLINE/DIESEL	0	500	262	0	2,000	2,000
	FIRE MARSHAL VEHICLE					2,000	2,000
100-7000-53.13000	FOOD SUPPLIES	2,500	2,500	310	0	1,500	1,500
	FOOD SUPPLIES					1,500	1,500
100-7000-53.17100	UNIFORMS	0	2,500	1,029	0	1,300	1,300
	FIRE MARSHAL UNIFORMS					1,000	1,000
	COM DEV UNIFORMS					300	300
100-7000-54.24000	COMPUTER/SOFTWARE	2,500	2,500	0	0	55,000	55,000
	EPLAN SOFTWARE IMPLEMENTATION					55,000	55,000
	Total 7000:	456,676	474,167	268,470	98,098	727,018	730,505
7210							
100-7210-52.12100	CONTRACTUAL SVCS -JACOBS	566,100	609,403	564,392	45,011	739,101	739,101
100-7210-52.32000	CELL PHONES	4,000	6,500	5,864	0	7,200	7,200
	VERIZON WIRELESS CELL PHONES					7,200	7,200
100-7210-53.10000	OPERATING SUPPLIES	0	2,000	1,203	0	2,000	2,000
	OFFICE SUPPLIES AND OTHER OPERATING SUPP					2,000	2,000
	Total 7210:	570,100	617,903	571,459	45,011	748,301	748,301
7410							
100-7410-52.12100	CONTRACTUAL SVCS -JACOBS	323,200	347,905	322,845	25,060	395,133	395,133
100-7410-52.13000	OTHER SERVICES / TECHNICAL	0	12,000	11,955	0	0	0
100-7410-52.32000	CELL PHONES	0	700	444	0	985	985
	VERIZON WIRELESS					985	985
100-7410-53.10000	OPERATING SUPPLIES	0	500	208	0	1,000	1,000
	OPERATING SUPPLIES					1,000	1,000
100-7410-53.17100	UNIFORMS	0	100	30	0	0	0

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER

Calculations As Of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
7410							
Total 7410:		323,200	361,205	335,482	25,060	397,118	397,118
7420							
100-7420-52.12100	CONTRACTUAL SVCS -JACOBS	374,500	403,116	384,875	18,241	434,662	434,662
100-7420-52.32000	CELL PHONES	5,000	0	0	0	0	0
Total 7420:		379,500	403,116	384,875	18,241	434,662	434,662
7520							
100-7520-51.11000	REGULAR SALARIES	93,900	89,000	84,775	0	96,656	98,105
ECON DEV DIR							
100-7520-51.21000	GROUP HEALTH INSURANCE	24,323	24,323	22,719	0	20,888	20,888
MEDICAL							
100-7520-51.21003	LIFE INSURANCE	81	81	74	0	81	81
100-7520-51.21004	LONG TERM DISABILITY INSURANC	348	348	296	0	461	461
100-7520-51.21005	SHORT TERM DISABILITY INSURAN	389	550	544	0	504	504
100-7520-51.21006	EAP INSURANCE	0	5	3	0	3	3
100-7520-51.22000	FICA TAXES	1,365	1,290	1,229	0	1,402	1,402
100-7520-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	9,385	8,900	8,477	0	9,667	9,667
100-7520-51.24001	457 (B) 4% MATCHING CONTRIBUT	3,755	3,755	3,391	0	3,867	3,867
100-7520-51.27000	WORKERS COMP	300	300	104	0	400	400
100-7520-51.29000	OTHER EMP BENEFITS	1,500	0	0	0	0	0
100-7520-52.12000	PROFESSIONAL SERVICES	0	0	0	0	76,500	76,500
TRAILS "HALO EFFECT" IMPACT STUDY							
TRANSLATION SERVICES - EVENTS & MARKETING MATERIALS							
100-7520-52.12100	CONTRACTUAL SVCS -JACOBS	98,700	106,253	98,833	7,420	111,495	111,495
100-7520-52.13000	OTHER SERVICES / TECHNICAL	33,500	33,500	368	25,000	9,500	9,500
PITCH DECK UPDATE							
SUCCESS STORIES							
100-7520-52.32000	CELL PHONES	1,020	1,020	808	0	1,000	1,000
CELL PHONE							
100-7520-52.34000	PRINTING	8,500	8,500	0	0	1,250	1,250
PRINTING OF MARKETING MATERIALS							
PRINTING OF PROGRAM AND EVENT FLYERS							
PRINTING OF ANNUAL REPORTS							
100-7520-52.35000	TRAVEL EXPENSE	0	100	10	0	250	250
TRAVEL FOR EVENTS							
100-7520-52.36000	DUES & FEES	1,300	1,300	0	0	500	500
DEKALB CHAMBER MEMBERSHIP							
400							
400							

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
7520							
TBA MEMBERSHIP							
						200	200
100-7520-52.37000	EDUCATION & TRAINING	0	2,000	1,580	0	5,000	5,000
JM TRAINING							
						5,000	5,000
100-7520-53.10000	OPERATING SUPPLIES	12,500	12,500	588	0	10,850	10,850
MFG DAY SUPPLIES							
						2,000	2,000
SBRE EVENT SUPPLIES							
						750	750
SMALL BUSINESS EVENT SUPPLIES							
						2,500	2,500
CRM SUBSCRIPTION							
						600	600
OTHER ECON DEV EVENTS							
						5,000	5,000
100-7520-53.13000	FOOD SUPPLIES	4,500	4,500	1,763	0	6,600	6,600
BROKER ENGAGEMENT MEETINGS/EVENTS							
						2,000	2,000
RELATIONSHIP BUILDING PARTNER MEETINGS/LUNCHEAS							
						2,000	2,000
BUSINESS EVENTS/LUNCH AND LEARNS							
						2,000	2,000
SBRE FOOD SUPPLIES							
						300	300
MFG DAY FOOD SUPPLIES							
						300	300
Total 7520:		295,366	298,225	225,562	32,420	357,624	359,073
7550							
100-7550-52.12000	PROFESSIONAL SERVICES	25,000	18,825	15,006	0	0	0
100-7550-52.13000	OTHER SERVICES / TECHNICAL	20,000	25,176	12,675	12,500	0	0
100-7550-52.32050	POSTAGE	0	200	68	0	0	0
100-7550-52.34005	PRINTING AND BINDING COMMUNIT	0	500	282	0	0	0
100-7550-52.37000	EDUCATION & TRAINING	5,000	800	146	0	0	0
Total 7550:		50,000	45,501	28,177	12,500	0	0
9000							
100-9000-61.15600	TRANSFER TO STORMWATER	0	500,000	0	0	0	0
100-9000-61.30000	TRANSFER TO CAPITAL FUND	0	6,527,000	6,527,000	0	0	10,418,960
TRANS TO FUND 300 FOR BALANCED BUDGET							
						0	10,418,960
100-9000-61.32300	TRANSFER TO DDA FUND 191	0	0	0	0	0	142,000
TRANSFER TO FUND DDA IN NEW FUND							
						0	142,000
100-9000-61.32600	TRANSFER TO GRANT FUND 220	0	0	0	0	825,195	825,195
CITY MATCH FOR GOSP GRANT FOR JHP							
						825,195	825,195
Total 9000:		0	7,027,000	6,527,000	0	825,195	11,386,155

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BUDGET REPORT FOR CITY OF TUCKER
 Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 100 GENERAL FUND							
Account Category: Appropriations							
Appropriations							
		15,063,098	23,533,231	19,063,666	1,402,969	20,956,644	32,347,523
Fund 100 - GENERAL FUND:							
TOTAL ESTIMATED REVENUES							
		22,865,790	28,290,601	26,054,797	0	19,498,670	26,558,381
TOTAL APPROPRIATIONS							
		15,063,098	23,533,231	19,063,666	1,402,969	20,956,644	32,347,523
NET OF REVENUES & APPROPRIATIONS:							
		7,802,692	4,757,370	6,991,131	(1,402,969)	(1,457,974)	(5,789,142)

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 191 TUCKER DEVELOPMENT AUTHORITY							
Account Category: Estimated Revenues							
9000							
191-9000-39.12600	TRANSFER FROM GENERAL FUND	0	0	0	0	142,000	142,000
	TRANSFER IN FROM GF TO EST DDA FUND					142,000	142,000
	Total 9000:	0	0	0	0	142,000	142,000
	Estimated Revenues	0	0	0	0	142,000	142,000
Account Category: Appropriations							
7550							
191-7550-52.12000	PROFESSIONAL SERVICES	0	0	0	0	50,000	50,000
	RE CONSULTANT SERVICES					50,000	50,000
191-7550-52.12200	ATTORNEY FEES/CITY ATTORNEY	0	0	0	0	25,000	25,000
	LEGAL - TED'S FIRM					25,000	25,000
191-7550-52.13000	OTHER SERVICES / TECHNICAL	0	0	0	0	10,000	10,000
	STUDIES/PLANS					10,000	10,000
191-7550-52.32050	POSTAGE	0	0	0	0	100	100
	PROGRAM MARKETING					100	100
191-7550-52.34000	PRINTING	0	0	0	0	500	500
	PROGRAM PRINTING					500	500
191-7550-52.37000	EDUCATION & TRAINING	0	0	0	0	5,000	5,000
	ANNUAL TRAINING					5,000	5,000
191-7550-53.13000	FOOD SUPPLIES	0	0	0	0	1,200	1,200
	FOOD SUPPLIES FOR BI-MONTHLY MEETINGS					1,200	1,200
191-7550-57.30000	PAYMENTS TO OTHERS	0	50,000	0	0	50,000	50,000
	FACADE GRANT					50,000	50,000
	Total 7550:	0	50,000	0	0	141,800	141,800
	Appropriations	0	50,000	0	0	141,800	141,800
Fund 191 - TUCKER DEVELOPMENT AUTHORITY:							
	TOTAL ESTIMATED REVENUES	0	0	0	0	142,000	142,000
	TOTAL APPROPRIATIONS	0	50,000	0	0	141,800	141,800
	NET OF REVENUES & APPROPRIATIONS:	0	(50,000)	0	0	200	200

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 206 TREE FUND							
Account Category: Estimated Revenues							
0000							
206-0000-37.10000	CONTRIBUTIONS / DONATIONS	15,000	15,000	14,000	0	15,000	15,000
	TREE BANK FEES					15,000	15,000
Total 0000:		15,000	15,000	14,000	0	15,000	15,000
Estimated Revenues		15,000	15,000	14,000	0	15,000	15,000
Account Category: Appropriations							
4100							
206-4100-54.12000	CAPITAL - SITE IMPROVEMENTS	100,000	100,000	0	0	100,000	100,000
	PLANT TREES - NORTHLAKE PARK					100,000	100,000
Total 4100:		100,000	100,000	0	0	100,000	100,000
Appropriations		100,000	100,000	0	0	100,000	100,000
Fund 206 - TREE FUND:							
TOTAL ESTIMATED REVENUES		15,000	15,000	14,000	0	15,000	15,000
TOTAL APPROPRIATIONS		100,000	100,000	0	0	100,000	100,000
NET OF REVENUES & APPROPRIATIONS:		(85,000)	(85,000)	14,000	0	(85,000)	(85,000)

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 220 GRANT FUND							
Account Category: Estimated Revenues							
6211							
220-6211-33.43100	DIRECT STATE CAPITAL GRANT-JH	0	156,000	24,900	0	2,365,788	2,365,788
	GOSP GRANT GA DNR-REIMBURSABLE					2,365,788	2,365,788
	Total 6211:	0	156,000	24,900	0	2,365,788	2,365,788
9000							
220-9000-39.12600	TRANSFER FROM GENERAL FUND	0	0	0	0	825,195	825,195
	LOCAL GRANT MATCH TRANSFERRED FROM GF					825,195	825,195
	Total 9000:	0	0	0	0	825,195	825,195
	Estimated Revenues	0	156,000	24,900	0	3,190,983	3,190,983
Account Category: Appropriations							
6211							
220-6211-52.39000	OTHER PURCHASED SERVICES	0	208,000	66,400	15,000	0	0
220-6211-54.12000-PR2501	JOHNS HOMESTEAD DAM & PARK IM	0	0	0	0	3,190,983	3,190,983
	GOSP GRANT PROJECT JHP REHABILITATION					3,190,983	3,190,983
	Total 6211:	0	208,000	66,400	15,000	3,190,983	3,190,983
	Appropriations	0	208,000	66,400	15,000	3,190,983	3,190,983
Fund 220 - GRANT FUND:							
	TOTAL ESTIMATED REVENUES	0	156,000	24,900	0	3,190,983	3,190,983
	TOTAL APPROPRIATIONS	0	208,000	66,400	15,000	3,190,983	3,190,983
	NET OF REVENUES & APPROPRIATIONS:	0	(52,000)	(41,500)	(15,000)	0	0

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW	
Fund: 230 AMERICAN RESCUE PLAN ACT OF 2021								
Account Category: Estimated Revenues								
0000								
230-0000-33.21000	AMERICAN RESCUE PLAN ACT OF 2	0	6,500,000	0	0	0	4,305,271	
FINAL EARNED REV OF \$2,905,271							0	2,905,271
ARPA FUNDS FROM DEKALB FOR LAKE ERIN DAM							0	1,400,000
Total 0000:		0	6,500,000	0	0	0	4,305,271	
Estimated Revenues		0	6,500,000	0	0	0	4,305,271	
Account Category: Appropriations								
0000								
230-0000-57.90000	CONTINGENCIES	10,235,983	0	0	0	0	0	
Total 0000:		10,235,983	0	0	0	0	0	
1320								
230-1320-51.11000	REGULAR SALARIES	41,000	23,604	23,604	0	0	0	
230-1320-51.21000	GROUP HEALTH INSURANCE	8,512	2,711	2,711	0	0	0	
230-1320-51.21003	LIFE INSURANCE	41	24	24	0	0	0	
230-1320-51.21004	LONG TERM DISABILITY INSURANC	0	65	65	0	0	0	
230-1320-51.21005	SHORT TERM DISABILITY INSURAN	195	182	182	0	0	0	
230-1320-51.21006	EAP INSURANCE	0	1	1	0	0	0	
230-1320-51.22000	FICA TAXES	300	342	342	0	0	0	
230-1320-51.24000	EMPLOYER 401A 10% CONTRIBUTIO	4,100	2,360	2,360	0	0	0	
230-1320-51.24001	457 (B) 4% MATCHING CONTRIBUT	1,640	944	944	0	0	0	
230-1320-52.39000-CM2203	OTHER PURCHASED SERVICES	2,500	0	0	0	0	0	
Total 1320:		58,288	30,233	30,233	0	0	0	
4100								
230-4100-52.39000	OTHER PURCHASED SERVICES	0	97,125	44,625	52,500	0	0	
230-4100-54.12000-CE2409	LAKE ERIN DAM/HENDERSON PARK	0	0	0	0	1,400,000	1,400,000	
LAKE ERIN DAM/HENDERSON PARK							1,400,000	1,400,000
Total 4100:		0	97,125	44,625	52,500	1,400,000	1,400,000	
4224								
230-4224-54.14005	INFRASTRUCTURE - SIDEWALKS	0	379,310	217,437	161,873	0	0	
Total 4224:		0	379,310	217,437	161,873	0	0	
4910								
230-4910-54.12000	CAPITAL - SITE IMPROVEMENTS	0	331,909	187,965	139,201	0	0	
Total 4910:		0	331,909	187,965	139,201	0	0	
6211								
230-6211-54.12000-PR2201	FITZGERALD PARK SITE IMPROVEM	0	365,158	313,945	0	0	0	
Total 6211:		0	365,158	313,945	0	0	0	
9000								
230-9000-61.10000	TRANSFER TO GENERAL FUND	0	4,000,000	3,806,481	0	0	2,905,271	
TRANSFER TO GF FOR STANDARD ALLOWANCE							0	2,905,271
Total 9000:		0	4,000,000	3,806,481	0	0	2,905,271	

BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 230 AMERICAN RESCUE PLAN ACT OF 2021							
Account Category: Appropriations							
	Appropriations	10,294,271	5,203,735	4,600,686	353,574	1,400,000	4,305,271
Fund 230 - AMERICAN RESCUE PLAN ACT OF 2021:							
	TOTAL ESTIMATED REVENUES	0	6,500,000	0	0	0	4,305,271
	TOTAL APPROPRIATIONS	10,294,271	5,203,735	4,600,686	353,574	1,400,000	4,305,271
	NET OF REVENUES & APPROPRIATIONS:	(10,294,271)	1,296,265	(4,600,686)	(353,574)	(1,400,000)	0

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 250 MULTIPLE GRANT FUND							
Account Category: Estimated Revenues							
0000							
250-0000-33.10000-GDNR21	DNR GRANT FY21	(50,000)	(50,000)	0	0	0	0
250-0000-33.10000-GEFA20	GRANTS RECEIVED	1	1	0	0	0	0
Total 0000:		(49,999)	(49,999)	0	0	0	0
Estimated Revenues		(49,999)	(49,999)	0	0	0	0
Account Category: Appropriations							
0000							
250-0000-54.12000-GEFA20	CAPITAL - SITE IMPROVEMENTS	1	1	0	0	0	0
Total 0000:		1	1	0	0	0	0
Appropriations		1	1	0	0	0	0
Fund 250 - MULTIPLE GRANT FUND:							
TOTAL ESTIMATED REVENUES		(49,999)	(49,999)	0	0	0	0
TOTAL APPROPRIATIONS		1	1	0	0	0	0
NET OF REVENUES & APPROPRIATIONS:		(50,000)	(50,000)	0	0	0	0

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 271 SPECIAL ASSESSMENT STREET LIGHTS							
Account Category: Estimated Revenues							
4260							
271-4260-34.32000	SPECIAL ASSESSMENT - STREETLI STREETLIGHT SPECIAL ASSESSMENT	0	425,000	414,660	0	435,515	435,515
						435,515	435,515
Total 4260:		0	425,000	414,660	0	435,515	435,515
Estimated Revenues		0	425,000	414,660	0	435,515	435,515
Account Category: Appropriations							
4260							
271-4260-53.12300	ELECTRICITY GA POWER/WALTON EMC - SPECIAL ASSESSMENT STREETLIGHTS	0	325,000	190,201	0	435,515	435,515
						435,515	435,515
271-4260-54.14003	INFRASTRUCTURE - STREETLIGHTS	0	100,000	0	0	0	0
Total 4260:		0	425,000	190,201	0	435,515	435,515
Appropriations		0	425,000	190,201	0	435,515	435,515
Fund 271 - SPECIAL ASSESSMENT STREET LIGHTS:							
TOTAL ESTIMATED REVENUES		0	425,000	414,660	0	435,515	435,515
TOTAL APPROPRIATIONS		0	425,000	190,201	0	435,515	435,515
NET OF REVENUES & APPROPRIATIONS:		0	0	224,459	0	0	0

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 272 SPECIAL ASSESSMENT TRAFFIC CALMING							
Account Category: Estimated Revenues							
4200							
272-4200-34.32001	SPECIAL ASSESSMENT - TRAFFIC	0	10,000	8,896	0	19,500	19,500
	SPECIAL ASSESSMENT-TRAFFIC CALMING					19,500	19,500
Total 4200:		0	10,000	8,896	0	19,500	19,500
Estimated Revenues		0	10,000	8,896	0	19,500	19,500
Account Category: Appropriations							
4200							
272-4200-54.14000	INFRASTRUCTURE - TRAFFIC CALM	0	10,000	0	0	19,500	19,500
	COST TO MAINTAIN OR BUILD SPEED HUMPS					19,500	19,500
Total 4200:		0	10,000	0	0	19,500	19,500
Appropriations		0	10,000	0	0	19,500	19,500
Fund 272 - SPECIAL ASSESSMENT TRAFFIC CALMING:							
TOTAL ESTIMATED REVENUES		0	10,000	8,896	0	19,500	19,500
TOTAL APPROPRIATIONS		0	10,000	0	0	19,500	19,500
NET OF REVENUES & APPROPRIATIONS:		0	0	8,896	0	0	0

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 275 HOTEL/MOTEL							
Account Category: Estimated Revenues							
0000							
275-0000-31.41000	HOTEL/MOTEL EXCISE TAX	1,330,000	1,330,000	905,267	0	1,280,000	1,280,000
	HOTEL MOTEL EXCISE TAX					1,280,000	1,280,000
Total 0000:		1,330,000	1,330,000	905,267	0	1,280,000	1,280,000
Estimated Revenues		1,330,000	1,330,000	905,267	0	1,280,000	1,280,000
Account Category: Appropriations							
6210							
275-6210-61.30000	TRANSFER TO CAPITAL FUND	249,375	249,375	169,384	0	240,000	240,000
	18.75% TRANSFER FRM FUND 275 P&R TPD					240,000	240,000
Total 6210:		249,375	249,375	169,384	0	240,000	240,000
7520							
275-7520-57.20000	DISCOVER DEKALB	581,875	581,875	395,229	0	560,000	560,000
	45% HM COLLECTIONS TO DISCOVER DEKALB					560,000	560,000
275-7520-61.10000	TRANSFER TO GENERAL FUND	498,750	498,750	338,767	0	480,000	480,000
	37.5% HM COLLECTIONS TRANS TO GF					480,000	480,000
Total 7520:		1,080,625	1,080,625	733,996	0	1,040,000	1,040,000
Appropriations		1,330,000	1,330,000	903,380	0	1,280,000	1,280,000
Fund 275 - HOTEL/MOTEL:							
TOTAL ESTIMATED REVENUES		1,330,000	1,330,000	905,267	0	1,280,000	1,280,000
TOTAL APPROPRIATIONS		1,330,000	1,330,000	903,380	0	1,280,000	1,280,000
NET OF REVENUES & APPROPRIATIONS:		0	0	1,887	0	0	0

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 280 RENTAL MOTOR VEHICLE FUND							
Account Category: Estimated Revenues							
0000							
280-0000-31.44000	RENTAL CAR EXCISE TAX	64,800	64,800	53,677	0	66,000	66,000
	RENTAL CAR EXCISE TRANS TO GF					66,000	66,000
Total 0000:		64,800	64,800	53,677	0	66,000	66,000
Estimated Revenues		64,800	64,800	53,677	0	66,000	66,000
Account Category: Appropriations							
7540							
280-7540-61.10000	TRANSFER TO GENERAL FUND	64,800	64,800	59,340	0	66,000	66,000
	TRANSFER TO GF-RENTA CAR EXCISE COLL					66,000	66,000
Total 7540:		64,800	64,800	59,340	0	66,000	66,000
Appropriations		64,800	64,800	59,340	0	66,000	66,000
Fund 280 - RENTAL MOTOR VEHICLE FUND:							
TOTAL ESTIMATED REVENUES		64,800	64,800	53,677	0	66,000	66,000
TOTAL APPROPRIATIONS		64,800	64,800	59,340	0	66,000	66,000
NET OF REVENUES & APPROPRIATIONS:		0	0	(5,663)	0	0	0

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As Of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 300 CAPITAL							
Account Category: Estimated Revenues							
0000							
300-0000-33.43000	STATE GRANTS CAPITAL PROJECTS	405,000	432,992	432,992	0	977,209	977,209
Total 0000:		405,000	432,992	432,992	0	977,209	977,209
4100							
300-4100-37.10000	CONTRIBUTIONS / DONATIONS	0	436,827	436,827	0	0	0
Total 4100:		0	436,827	436,827	0	0	0
6211							
300-6211-37.10000-PR2404	PETERS PARK BATHROOM - DEKALB	0	117,298	117,298	0	0	0
Total 6211:		0	117,298	117,298	0	0	0
9000							
300-9000-39.12000	TRANSFER FROM HOTEL	249,375	249,375	169,384	0	240,000	240,000
TRANSFER FROM HM FOR 19.75% OF TOTAL						240,000	240,000
300-9000-39.30000	TRANSFER FROM GENERAL FUND	0	6,527,000	6,527,000	0	0	10,418,960
TRANSFER TO FUND FY25 REQUESTED						0	10,418,960
Total 9000:		249,375	6,776,375	6,696,384	0	240,000	10,658,960
Estimated Revenues		654,375	7,763,492	7,683,501	0	1,217,209	11,636,169
Account Category: Appropriations							
1320							
300-1320-54.11000-CM2303	LAND FOR GATEWAY SIGN	400,000	400,000	0	0	0	0
300-1320-54.11000-CM2401	REAL ESTATE DEVELOPMENT FY24	1,000,000	1,000,000	500,000	0	500,000	250,000
REAL ESTATE DEVELOPMENT						500,000	250,000
300-1320-54.12000	CAPITAL - SITE IMPROVEMENTS	0	0	0	0	170,000	170,000
DOWNTONW PARK WIFI/SECURITY						70,000	70,000
EV STUDY AND 1ST IMPLEMENTATION						100,000	100,000
300-1320-54.12000-CM2403	CITYWIDE BEAUTIFICATION PROJE	1,000,000	652,934	652,934	0	0	0
300-1320-54.13000-CM2402	CITY HALL BUILDING FY24	5,000,000	5,000,000	0	0	5,000,000	2,000,000
CITY HALL YEAR 2						5,000,000	2,000,000
Total 1320:		7,400,000	7,052,934	1,152,934	0	5,670,000	2,420,000
1330							
300-1330-54.24000-CC2302	JUSTFOIA LINK TO LASERFICHE	5,418	0	0	0	0	0
Total 1330:		5,418	0	0	0	0	0
1500							
300-1500-52.12000	PROFESSIONAL SERVICES	0	0	0	0	0	650,000
CONSTRUCTION ADMINISTRATION/INSPECTIONS						0	650,000
Total 1500:		0	0	0	0	0	650,000
1510							
300-1510-54.24000	COMPUTER/SOFTWARE	0	0	0	0	9,000	31,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 300 CAPITAL							
Account Category: Appropriations							
1510							
BS&A ACCOUNTS RECEIVABLE MODULE						9,000	9,000
CLEARGOV BUDGET SOFTWARE						0	22,000
Total 1510:		0	0	0	0	9,000	31,000
1513							
300-1513-57.90000-OC2001	CONTINGENCIES	407,337	68,180	68,180	0	0	0
Total 1513:		407,337	68,180	68,180	0	0	0
1570							
300-1570-52.12000-CO2201	WEBSITE REDESIGN FY22	20,700	13,200	13,200	0	0	0
300-1570-52.12000-CO2401	COMMUNICATIONS STRATEGIC PLAN	50,000	0	0	0	0	0
Total 1570:		70,700	13,200	13,200	0	0	0
1595							
300-1595-54.12000-CM2404	CITY HALL INTERIOR RENOVATION	300,000	0	0	0	0	0
Total 1595:		300,000	0	0	0	0	0
2650							
300-2650-54.23000-CT2202	FINGERRINT MACHINE FY22	27,000	25,423	0	25,423	0	0
300-2650-54.24000-CT2101	E TICKET SOFTWARE	38,000	0	0	0	0	0
Total 2650:		65,000	25,423	0	25,423	0	0
4100							
300-4100-52.12000-CE2110	ENGINEER DESIGN/STUDIES	10,421	0	0	0	0	0
300-4100-52.12000-CE2202	INTERSECTION RADII FY22	33,540	0	0	0	0	0
300-4100-52.12000-CE2207	ENGINEERING DESIGN SERVICES F	20,000	20,000	20,000	0	0	0
300-4100-52.12000-CE2210	SAFETY STUDY HUGH HOWELL RD F	100,000	0	0	0	0	0
300-4100-52.12000-CE2403	PROGRAM MANAGEMENT-CAPITAL FY	250,000	250,000	182,553	67,447	0	0
300-4100-52.12000-CE2409	LAKE ERIN DAM/HENDERSON PARK	0	388,452	85,353	303,099	0	0
300-4100-52.12000-CE2410	HUGH HOWELL IMPROVEMENTS	0	28,440	4,423	24,018	150,000	150,000
HUGH HOWELL IMPROVEMENTS						150,000	150,000
300-4100-54.12000-CE2104	LAWRENCEVILLE HWY@I-285 LANDS	100,000	0	0	0	0	0
300-4100-54.12000-CE2409	LAKE ERIN DAM/HENDERSON PARK	0	0	0	0	2,600,000	2,600,000
LAKE ERIN DAM/HENDERSON PARK						2,600,000	2,600,000
300-4100-54.14000	INFRASTRUCTURE ROADS	0	40,770	40,770	0	2,000,000	2,000,000
IDLEWOOD ROUNDABOUT - TO BE DETERMINED						2,000,000	2,000,000
300-4100-54.14000-CE2102	RESURFACING FY21	27,465	0	0	0	0	0
300-4100-54.14000-CE2203	MARTA BUS PADS FY22	40,212	5,714	5,714	0	0	0
300-4100-54.14000-CE2208	FELLOWSHIP@IDLEWOOD ROUNDABOU	100,000	188,615	98,928	89,688	0	0
300-4100-54.14000-CE2301	RESURFACING FY23	860,740	0	0	0	0	0
300-4100-54.14000-CE2304	JULIETTE ROAD STREET PROJECT	1,105,512	1,283,104	1,002,905	280,199	0	0
300-4100-54.14000-CE2305	MARTA BUS STOPS FY23	100,000	89,087	89,087	0	0	0
300-4100-54.14000-CE2306	RADAR SPEED LIMIT SIGNS	14,700	1,167	1,167	0	0	0
300-4100-54.14000-CE2307	HUGH HOWELL RD TRAIL -PHASE 2	901,348	60,288	60,288	0	0	0
300-4100-54.14000-CE2309	PROGRAM MANAGEMENT FY23	89,162	0	0	0	0	0
300-4100-54.14000-CE2310	ENGINEERING DESIGN STUDIES FY	44,806	36,826	20,794	15,477	0	0

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 300 CAPITAL							
Account Category: Appropriations							
4100							
300-4100-54.14000-CE2311	NORTH / SOUTH CONNECTIVITY ST	123,149	31,290	32,254	0	0	0
300-4100-54.14000-CE2401	RESURFACING-CAPITAL FY24	1,725,000	2,153,090	935,865	1,104,415	0	0
300-4100-54.14000-CE2402	RESURFACING - LMIG FY24	405,000	432,992	432,992	0	0	0
300-4100-54.14000-CE2404	TUCKER SUMMIT CID ST LIGHTING	225,000	225,000	0	0	0	0
300-4100-54.14000-CE2406	NORTH/SOUTH CONNECTIVITY IMPR	1,000,000	728,350	45,361	0	0	0
300-4100-54.14000-CE2407	RICHARDSON STREET IMPROVEMENT	200,000	200,000	8,644	127,856	1,700,000	1,700,000
RICHARDSON STREET IMPROVEMENTS						1,700,000	1,700,000
300-4100-54.14000-CE2408	MIB INTERSECTION IMPROVEMENTS	250,000	250,000	0	0	0	0
300-4100-54.14000-CE2416	IDLEWOOD @ SARR PKWY ROUNDABO	0	183,035	91,838	91,197	0	0
300-4100-57.90000-CE0000	CE CONTINGENCIES	311,685	0	0	0	0	0
Total 4100:		8,037,740	6,596,220	3,158,936	2,103,396	6,450,000	6,450,000
4200							
300-4200-54.14000-CE2501	RESURFACING FY25 - LMIG	0	0	0	0	0	977,209
LMIG RESURFACINGLEGISLATION ESSENTIALLY DOUBLES THE ALLOTMENT FOR THIS YEAR.						0	977,209
Total 4200:		0	0	0	0	0	977,209
4224							
300-4224-54.14000-CE2108	SIDEWALKS	9,138	9,138	0	9,138	0	0
300-4224-54.14000-CE2205	SIDEWALKS FY22	24,345	0	0	0	0	0
300-4224-54.14000-CE2308	TRAIL LIGHTING	30,087	0	0	0	0	0
300-4224-54.14000-CE2405	SIDEWALK/TRAILS CAPITAL FY24	2,000,000	429,110	0	0	0	0
300-4224-54.14005-CE2412	TUCKER NORTHLAKE TRAIL	0	955,658	0	955,658	0	0
300-4224-54.14005-CE2415	MONTREAL ROAD SIDEWALK	0	74,890	0	74,890	0	0
300-4224-54.14005-CE2417	KELLEY COFER PARK TRAIL LOOP	0	0	0	0	0	600,000
KELLEY COFER PARK LOOPSIDEWALK/BOARDWALK AROUND THE PARK						0	600,000
300-4224-54.14005-CE2418	SOUTH FORK PEACHTREE GREENWAY	0	200,000	0	0	0	1,000,000
S FORK PEACHTREE GREENWAY EASEMENT ACQUISITION						0	1,000,000
300-4224-54.14005-CE2423	MONTREAL INDUSTRIAL WAY SIDEW	0	20,000	0	20,000	0	0
Total 4224:		2,063,570	1,688,796	0	1,059,686	0	1,600,000
6210							
300-6210-52.12000-PR2302	PARKS AND RECREATION STUDY FY	50,000	48,580	48,580	0	0	0
300-6210-52.12000-PR2303	PROJECT MANAGEMENT - PARK CON	61,005	28,065	27,797	0	0	0
300-6210-52.12000-PR2306	ENGINEERING SERVICES - PARK C	131,690	134,460	72,488	61,973	0	0
300-6210-52.12000-PR2308	PARK CONSTRUCTION PLANNING	40,325	40,192	40,192	0	0	0
300-6210-54.12000-PR2007	DOG PARK MONTREAL	46,805	39,418	39,418	0	0	0
300-6210-54.12000-PR2010	PARK IMPROVEMENTS	247,437	259,233	0	259,233	0	0
300-6210-54.12000-PR2301	PARKING LOT/HENDERSON PARK	50,000	50,000	24,550	0	0	0
300-6210-54.12000-PR2304	TRC ACTIVITY CENTER	50,000	53,299	53,299	0	0	0
300-6210-54.12000-PR2305	FITZGERALD PARK IMPROVEMENTS	325,000	1,722,628	457,030	1,277,270	0	0
300-6210-54.12000-PR2309	PARK FURNISHINGS	70,251	58,456	0	0	0	0
300-6210-54.12000-PR2310	PARK IMPROVEMENTS-LORD PARK D	50,000	50,000	0	0	750,000	0
300-6210-54.12000-PR2401	TRC PARKING AND PICKLEBALL CO	1,250,000	1,250,000	0	0	0	0
300-6210-54.13000-PR2307	MAINTENANCE FACILITY - FITZGE	97,352	122,352	109,564	2,599	0	0
300-6210-54.20000-PR2012	PORTABLE GYMNASTICS	16,225	13,293	13,293	0	0	0

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 300 CAPITAL							
Account Category: Appropriations							
6210							
Total 6210:		2,486,090	3,869,976	886,211	1,601,075	750,000	0
6211							
300-6211-52.12000-PR2104	PARKS & REC STUDIES	14,975	14,975	14,975	0	0	0
300-6211-52.12000-PR2105	PARK CONSTRUCTION PLAN	1	0	0	0	0	0
300-6211-52.12000-PR2106	PARK MASTER PLAN STUDIES	81,420	82,511	82,511	0	0	0
300-6211-52.39000-PR2113	RECREATION PROJECTS TOURISM**	3	0	(4,250)	0	0	0
300-6211-54.12000	CAPITAL - SITE IMPROVEMENTS	0	0	0	0	117,298	0
300-6211-54.12000-PR2101	PIER/DOCK REPAIR AND TRAILS	49,712	0	0	0	0	0
300-6211-54.12000-PR2108	PARK FENCING	50,000	0	0	0	0	0
300-6211-54.12000-PR2109	TRAILS	41,804	3,770	3,770	0	0	0
300-6211-54.12000-PR2113	HM TPD - P&R SITE IMPROVEMENT	46,183	511,000	(4,250)	28,875	410,000	240,000
TRC IMPROVEMENTS (100,000)						100,000	240,000
VIDEO BOARD (200,000)						200,000	0
PAINT MACHINE (65,000)						65,000	0
WINTER TURF BLANKETS (45,000)						45,000	0
300-6211-54.12000-PR2116	J. HOMESTEAD PROJECT - RESTOR	49,900	49,900	8,500	26,793	0	0
300-6211-54.12000-PR2201	FITZGERALD PARK IMPROVEMENTS	288,747	574,005	491,003	83,002	0	0
300-6211-54.12000-PR2204	SPORTS FIELD LIGHTING FY22	90,500	90,500	36,390	54,110	0	0
300-6211-54.12000-PR2205	ROSENFELD TENNIS COURT IMPROV	90,000	90,000	17,713	0	700,000	0
300-6211-54.12000-PR2206	TRAIL IMPROVEMENTS FY22	71,940	0	0	0	0	0
300-6211-54.12000-PR2207	COFER IMPRVMENTS-COFER LOOP-FE	127,837	102,837	0	0	0	0
300-6211-54.12000-PR2208	BEE HAVEN INITIATIVE	6,358	0	0	0	0	0
300-6211-54.12000-PR2313	TUCKER TOWN GREEN	574,218	652,135	516,378	188,025	7,800,000	7,800,000
PARK CONSTRUCTION						6,500,000	6,500,000
UTILITIES						1,000,000	1,000,000
SIDEWALK CONNECTOR TO MAIN ST						300,000	300,000
300-6211-54.12000-PR2402	PARKING IMPROVEMENTS-PARKS FY	250,000	0	0	0	0	0
300-6211-54.12000-PR2403	YELLOW TRL CONNECTOR BRIDGE T	0	151,484	0	0	0	0
300-6211-54.12000-PR2404	PETERS PARK BATHROOM	0	117,298	0	23,970	0	0
300-6211-54.23100-PR2112	SIGNS FOR PARKS	12,509	0	0	0	0	0
300-6211-54.23100-PR2114	WRP MEMORIAL	64,018	0	0	0	0	0
Total 6211:		1,910,125	2,440,415	1,162,740	404,775	9,027,298	8,040,000
7000							
300-7000-52.13100-CD2401	2949 LAWRENCEVILLE HIGHWAY	35,000	21,000	0	21,000	0	0
300-7000-52.13100-CD2402	CITY STANDARD GUIDEBOOK	75,000	0	0	0	0	0
300-7000-54.12000	CAPITAL - SITE IMPROVEMENTS	0	0	0	0	75,000	75,000
PUBLIC ART						75,000	75,000
300-7000-54.12000-CD2401	CAPITAL - SITE IMPROVEMENTS	0	0	0	0	200,000	200,000
GATEWAY SIGN 2949 LAWRENCEVILLE HWY						200,000	200,000

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 300 CAPITAL							
Account Category: Appropriations							
7000							
300-7000-54.12000-CD2403	CITYWIDE SIGNAGE FY24	250,000	0	0	0	0	0
300-7000-54.22000-CD2404	VEHICLES	0	40,840	40,840	0	0	0
Total 7000:		360,000	61,840	40,840	21,000	275,000	275,000
7210							
300-7210-52.12000-CD2113	SCANNING PROJECT	24,080	0	0	0	0	0
300-7210-52.13000-CD2301	JULIETTE ROAD / RICHARDSON ST	96,600	0	0	0	0	0
300-7210-52.13000-CD2302	LAWRENCEVILLE HIGHWAY STUDY	26,861	28,493	28,493	0	0	0
300-7210-52.13000-CD2303	TUCKER COMPREHENSIVE HOUSING	52,410	27,110	27,110	0	0	0
Total 7210:		199,951	55,603	55,603	0	0	0
7520							
300-7520-52.12000-ED2001	NORTHLAKE MASTER PLAN	163,969	0	0	0	0	0
300-7520-54.11000-CM2304	SITE FOR DOWNTOWN TRASH FACIL	25,000	25,000	0	0	0	0
300-7520-54.11000-ED2402	TRASH FACILITY #2 SITE FY24	150,000	0	0	0	0	0
300-7520-54.12000-CM2305	FIRST AVE TRASH FACILITY	0	191,770	0	0	0	0
300-7520-54.12000-ED2401	ADDITIONAL PARKING DTOWN TUCK	325,000	0	0	0	0	0
300-7520-54.13000-CM2305	FIRST AVE TRASH FACILITY	228,935	37,165	37,165	0	0	0
Total 7520:		892,904	253,935	37,165	0	0	0
7550							
300-7550-52.12000-ED2001	NORTHLAKE MASTER PLAN	150,000	0	0	0	0	0
300-7550-57.30000-DD2401	DOWNTOWN TUCKER FACADE GRANT	50,000	0	0	0	0	0
Total 7550:		200,000	0	0	0	0	0
Appropriations		24,398,835	22,126,522	6,575,809	5,215,355	22,181,298	20,443,209
Fund 300 - CAPITAL:							
TOTAL ESTIMATED REVENUES		654,375	7,763,492	7,683,501	0	1,217,209	11,636,169
TOTAL APPROPRIATIONS		24,398,835	22,126,522	6,575,809	5,215,355	22,181,298	20,443,209
NET OF REVENUES & APPROPRIATIONS:		(23,744,460)	(14,363,030)	1,107,692	(5,215,355)	(20,964,089)	(8,807,040)

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 320 SPLOST I - 2017							
Account Category: Estimated Revenues							
0000							
320-0000-31.32000	SPLOST - ROADS & DRAINAGE	3,150,000	3,150,000	3,206,972	0	0	0
320-0000-31.32001	SPLOST - SIDEWALKS & TRAILS	981,000	981,000	986,761	0	0	0
320-0000-31.32003	SPLOST - SITE IMPROVEMENTS PA	738,000	1,138,000	740,071	0	0	0
320-0000-36.10000	INTEREST	0	385,000	397,804	0	0	0
Total 0000:		4,869,000	5,654,000	5,331,608	0	0	0
4100							
320-4100-37.10000	CONTRIBUTIONS / DONATIONS	0	50,000	50,000	0	0	0
Total 4100:		0	50,000	50,000	0	0	0
4200							
320-4200-37.10000	CONTRIBUTIONS / DONATIONS	0	20,926	20,926	0	0	0
Total 4200:		0	20,926	20,926	0	0	0
4224							
320-4224-33.43100	DIRECT STATE CAP GRANT-TKR NL	0	254,631	263,123	0	386,250	386,250
GRANT REIMB AT 75% OF 515,000						386,250	386,250
Total 4224:		0	254,631	263,123	0	386,250	386,250
Estimated Revenues		4,869,000	5,979,557	5,665,657	0	386,250	386,250
Account Category: Appropriations							
1320							
320-1320-54.13000-SP2407	TUCKER FIRE STATION CONTRIBUT	200,000	200,000	0	0	0	0
Total 1320:		200,000	200,000	0	0	0	0
4100							
320-4100-52.12000-SP2305	PROGRAM MANAGEMENT FY23 SPLOS	115,812	0	0	0	0	0
Total 4100:		115,812	0	0	0	0	0
4200							
320-4200-54.14000-CE2411	MIB INTERSECTION IMPROVEMENTS	0	656,106	58,129	597,976	0	0
320-4200-54.14000-CE2419	FELLOWSHIP RD SAFETY IMPROVEM	0	71,818	60,348	11,470	0	0
320-4200-54.14000-CE2425	MIB @ HUGH HOWELL	0	818,000	23,418	20,000	0	0
320-4200-54.14000-CE2426	MIB @ US78	0	1,717,843	0	0	0	0
320-4200-54.14000-CE2428	E PONCE @ ROCK MOUNTAIN	0	196,755	0	0	0	0
320-4200-54.14000-CE2429	HH RD & LILBURN STONE MTN PED	0	100,000	0	0	0	0
320-4200-54.14000-SP1907	TUCKER STREETSCAPES	366,642	197,084	197,084	0	0	0
320-4200-54.14000-SP2003	QUICK RESPONSE FY20 SPLOST	17,251	0	0	0	0	0
320-4200-54.14000-SP2005	MIB @ US78 ENGINEERING DESIGN	280,294	280,294	181,325	25,456	0	0
320-4200-54.14000-SP2007	CHAMBLEE TUCKER RD SPEED STUD	6,248	0	0	0	0	0
320-4200-54.14000-SP2102	MAJOR ROAD IMPROVEMENTS	286,125	82,462	63,635	18,827	0	0
320-4200-54.14000-SP2104	QUICK RESPONSE PROJECTS	110,450	4,233	4,233	0	0	0
320-4200-54.14000-SP2203	QUICK RESPONSE PROJECTS	310,348	4,980	4,980	0	0	0
320-4200-54.14000-SP2204	MAJOR ROAD IMPROVEMENTS FY22	678,680	0	0	0	0	0
320-4200-54.14000-SP2301	RESURFACING FY23 SPLOST	1,847,937	0	0	0	0	0
320-4200-54.14000-SP2302	QUICK RESPONSE PROJECTS SPLOS	400,000	0	0	0	0	0
320-4200-54.14000-SP2304	MAJOR ROAD IMPROVEMENTS FY23	826,750	0	0	0	0	0
320-4200-54.14000-SP2401	RESURFACING FY24	2,875,000	5,440,816	2,333,912	3,106,904	0	0
320-4200-54.14000-SP2402	QUICK RESPONSE FY24	400,000	4,158	4,158	0	0	0

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BUDGET REPORT FOR CITY OF TUCKER

Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 320 SPLOST I - 2017							
Account Category: Appropriations							
4200							
320-4200-54.14000-SP2403	MAJOR PROJECTS FY24	826,750	0	0	0	0	0
Total 4200:		9,232,475	9,574,549	2,931,222	3,780,633	0	0
4224							
320-4224-52.12000-CE2412	TUCKER NORTHLAKE TRAIL PE EXPENDITURES 75/25 REIMB	0	303,378	303,378	0	515,000	515,000
						515,000	515,000
320-4224-52.12000-SP2405	PROGRAM MANAGEMENT-FY24 SPLOS	225,000	225,000	157,650	67,350	0	0
320-4224-54.14000-SP2105	TRAIL PROJECTS	165,746	0	0	0	0	0
320-4224-54.14000-SP2202	TRAILS FY22	51,191	51,141	38,316	12,825	0	0
320-4224-54.14000-SP2404	SIDEWALKS / TRAILS FY24 SPLOS	1,262,000	1,555,645	215,806	633,362	0	0
320-4224-54.14005-CE2412	TUCKER NORTHLAKE TRAIL	0	472,508	10,615	461,892	0	0
MATCH EXP FOR 515K REV=687,000							
320-4224-54.14005-CE2413	OLD NORCROSS RD SIDEWALK	0	900,000	0	0	0	0
320-4224-54.14005-CE2414	HUGH HOWELL SIDEWALK	0	576,000	5,000	0	0	0
320-4224-54.14005-CE2417	KELLEY COFER PARK TRAIL LOOP	0	143,400	77,357	66,044	0	0
320-4224-54.14005-CE2430	HH RD SIDEWALK CHIL-FIL-A TO	0	64,035	62,734	1,301	0	0
320-4224-54.14005-SP2303	SIDEWALKS-VARIOUS LOCATIONS S	565,912	70,671	70,671	0	0	0
Total 4224:		2,269,849	4,361,778	941,527	1,242,774	515,000	515,000
6210							
320-6210-52.12000-SP2107	PROGRAM/PROJECT MGMT	10,727	0	0	0	0	0
320-6210-54.12000-SP1917	PRIORITY PROJECTS - MASTER PL	0	9,256	9,256	0	0	0
320-6210-54.12000-SP2013	PARKS RESTROOMS	109,185	109,185	109,185	0	0	0
320-6210-54.12000-SP2307	FITZGERALD FIELD LIGHTING	341,388	341,388	0	341,388	0	0
320-6210-54.12000-SP2308	PARK SIGNAGE	111,250	87,050	87,050	0	0	0
320-6210-54.13000-SP2208	TRC IMPROVEMENTS FY22	18,579	14,641	14,641	0	0	0
Total 6210:		591,129	561,520	220,132	341,388	0	0
6211							
320-6211-54.12000-SP2108	SPORTS FIELD LIGHTING	4,306	4,306	0	4,306	0	0
320-6211-54.12000-SP2109	PARKING LOTS - PARKS	176,575	176,575	176,575	0	0	0
320-6211-54.12000-SP2110	J HOMESTEAD RESTORATION	50,000	0	0	0	0	0
320-6211-54.12000-SP2111	SECURITY CAMERAS	25,000	26,318	0	26,318	0	0
320-6211-54.12000-SP2206	FITZGERALD PARK IMP FY22	513,040	266,675	72,602	194,073	0	0
320-6211-54.12000-SP2209	ROSENFELD PARKING LOT IMP FY2	35,480	29,640	25,955	3,685	0	0
320-6211-54.12000-SP2306	ROSENFELD TENNIS COURT IMPROV	200,000	755,655	18	0	0	0
320-6211-54.12000-SP2406	FITZGERALD PARK RENO PHASE 2	750,000	1,444,719	11,829	1,432,890	550,000	0
320-6211-57.90000	CONTINGENCIES	0	30,926	0	0	0	0
Total 6211:		1,754,401	2,734,814	286,979	1,661,272	550,000	0
6212							
320-6212-54.12000-SP2112	POOL RENOVATIONS	11,328	11,328	0	0	0	0
320-6212-54.12000-SP2207	SPLASH PAD IMPROVEMENTS FY22	69,279	0	0	0	0	0
Total 6212:		80,607	11,328	0	0	0	0
Appropriations		14,244,273	17,443,989	4,379,860	7,026,067	1,065,000	515,000
Fund 320 - SPLOST I - 2017:							
TOTAL ESTIMATED REVENUES		4,869,000	5,979,557	5,665,657	0	386,250	386,250

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BUDGET REPORT FOR CITY OF TUCKER
 Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 320 SPLOST I - 2017							
TOTAL APPROPRIATIONS		14,244,273	17,443,989	4,379,860	7,026,067	1,065,000	515,000
NET OF REVENUES & APPROPRIATIONS:		(9,375,273)	(11,464,432)	1,285,797	(7,026,067)	(678,750)	(128,750)

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BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 321 SPLOST II - 2023							
Account Category: Estimated Revenues							
0000							
321-0000-36.10000	INTEREST	0	0	0	0	400,000	400,000
INTEREST EARNING ON SPLOST ACCOUNT							
						400,000	400,000
Total 0000:		0	0	0	0	400,000	400,000
4200							
321-4200-31.32000-SPRD02	SPLOST 2 ROADS & DRAINAGE 46%	0	724,500	0	0	2,898,000	2,898,000
46% EST \$525K MONTHLY							
						2,898,000	2,898,000
Total 4200:		0	724,500	0	0	2,898,000	2,898,000
4224							
321-4224-31.32001-SPST02	SPLOST 2 SIDEWALKS & TRAILS 3	0	488,250	0	0	1,953,000	1,953,000
31% OF EST \$525K MONTHLY							
						1,953,000	1,953,000
Total 4224:		0	488,250	0	0	1,953,000	1,953,000
4910							
321-4910-31.32004-SPSW02	SPLOST 2 STORMWATER 8%	0	124,600	0	0	504,000	504,000
8% OF EST \$525K MONTHLY							
						504,000	504,000
Total 4910:		0	124,600	0	0	504,000	504,000
6211							
321-6211-31.32003-SPPR02	SPLOST 2 PARKS & RECREATION 1	0	236,250	0	0	945,000	945,000
15% OF EST \$525K MONTHLY							
						945,000	945,000
Total 6211:		0	236,250	0	0	945,000	945,000
Estimated Revenues		0	1,573,600	0	0	6,700,000	6,700,000
Account Category: Appropriations							
4200							
321-4200-54.14000-SPRD02	SPLOST 2 ROADS & DRAINAGE 46%	0	724,500	0	0	0	2,843,950
RESURFACING FY25							
						0	2,843,950
Total 4200:		0	724,500	0	0	0	2,843,950
4224							
321-4224-54.14005-CE2420	BROCKETT ROAD SIDEWALK	0	0	0	0	0	640,000
BROCKETT ROAD SDWK EAST SIDE FROM COMANCHE DR TO RAILROAD AVE							
						0	640,000
321-4224-54.14005-CE2421	IDLEWOOD ROAD SIDEWALK	0	0	0	0	0	575,000
2. IDLEWOOD ROAD (WEST SIDE FROM FELLOWSHIP RD TO US 78 BRIDGE)							
						0	575,000
321-4224-54.14005-CE2422	MOUNTAIN INDUSTRIAL BLVD SIDE	0	0	0	0	0	430,000
MIB (WEST SIDE FROM LEWIS RD TO E PONCE DE LEON AVE)							
						0	430,000
321-4224-54.14005-CE2424	MIDVALE ROAD SIDEWALK	0	0	0	0	0	308,000
4. MIDVALE ROAD (SOUTH SIDE FROM MIDVALE FOREST DR TO REEVLEY LN): STILL NEEDS \$32K MORE							
						0	308,000

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 321 SPLOST II - 2023							
Account Category: Appropriations							
4224							
321-4224-54.14005-SPST02	SPLOST 2 SIDEWALKS & TRAILS 3	0	0	0	0	0	451,825
	BALANCE OF 24 & 25 SPLOST 2 TBD					0	451,825
Total 4224:		0	0	0	0	0	2,404,825
6211							
321-6211-54.12000	CAPITAL - SITE IMPROVEMENTS	0	0	0	0	1,000,000	0
321-6211-54.12000-PR2401	TRC PARKING / PICKLEBALL COUR	0	0	0	0	0	1,000,000
	TRC PARKING / PICKLEBALL COURTS					0	1,000,000
321-6211-54.12000-SP2406	FITZGERALD PARK RENO PHASE 2	0	0	0	0	0	163,625
	FITZGERALD SPORTS COMPLEX IMPROVEMENTS					0	100,000
	MAINTENANCE FACILITY IMPROVEMENTS					0	63,625
Total 6211:		0	0	0	0	1,000,000	1,163,625
9000							
321-9000-61.15600	TRANSFER TO STORMWATER	0	124,600	0	0	0	620,600
Total 9000:		0	124,600	0	0	0	620,600
Appropriations		0	849,100	0	0	1,000,000	7,033,000
Fund 321 - SPLOST II - 2023:							
TOTAL ESTIMATED REVENUES		0	1,573,600	0	0	6,700,000	6,700,000
TOTAL APPROPRIATIONS		0	849,100	0	0	1,000,000	7,033,000
NET OF REVENUES & APPROPRIATIONS:		0	724,500	0	0	5,700,000	(333,000)

DRAFT #4

BUDGET REPORT FOR CITY OF TUCKER
Calculations As of 06/30/2024

GL Number	Description	23-24 Original Budget	23-24 Amended Budget	23-24 Activity	23-24 Encumbrance	24-25 DEPARTMENT REQUESTED	24-25 CITY MANAGER REVIEW
Fund: 560 STORMWATER							
Account Category: Estimated Revenues							
0000							
560-0000-34.42600	STORMWATER UTILITY CHARGES	2,864,072	4,288,144	1,357,137	0	2,863,814	2,934,000
	STORMWATER UTILITY FEES-12 MONTHS					2,863,814	2,934,000
Total 0000:		2,864,072	4,288,144	1,357,137	0	2,863,814	2,934,000
9000							
560-9000-39.12800	TRANSFER FROM SPLOST II 2023	0	0	0	0	0	504,000
560-9000-39.30000	TRANSFER FROM GENERAL FUND	0	500,000	0	0	0	0
Total 9000:		0	500,000	0	0	0	504,000
Estimated Revenues		2,864,072	4,788,144	1,357,137	0	2,863,814	3,438,000
Account Category: Appropriations							
4910							
560-4910-52.12000	PROFESSIONAL SERVICES	0	695,828	318,135	377,693	150,000	150,000
	MS4 COMPLIANCE					150,000	150,000
560-4910-52.12400	CONTRACTUAL SVCS-LOWE ENGINEE	545,497	545,497	527,726	17,771	562,300	753,336
	CONTRACTUAL SVCS - LOWE ENGINEERS					562,300	753,336
560-4910-52.13000	OTHER SERVICES / TECHNICAL	520,000	520,000	94,930	101,232	650,000	650,000
	ENGINEERING/TECHNICAL/OTHER SERVICES					650,000	650,000
560-4910-52.22230	REPAIRS & MAINT - STORMWATER	1,584,975	1,584,975	541,331	1,021,153	2,360,000	2,360,000
	ROADS AND DRAINAGE - TRISCAPES					560,000	560,000
	STORMWATER MAINTENANCE - (3) ON CALL CONTRACTORS					1,800,000	1,800,000
560-4910-53.10000	OPERATING SUPPLIES	213,600	213,600	89,361	35,639	240,000	175,000
	ROADS AND DRAINAGE - MATERIALS - TRISCAPES					240,000	175,000
Total 4910:		2,864,072	3,559,900	1,571,483	1,553,488	3,962,300	4,088,336
Appropriations		2,864,072	3,559,900	1,571,483	1,553,488	3,962,300	4,088,336
Fund 560 - STORMWATER:							
TOTAL ESTIMATED REVENUES		2,864,072	4,788,144	1,357,137	0	2,863,814	3,438,000
TOTAL APPROPRIATIONS		2,864,072	3,559,900	1,571,483	1,553,488	3,962,300	4,088,336
NET OF REVENUES & APPROPRIATIONS:		0	1,228,244	(214,346)	(1,553,488)	(1,098,486)	(650,336)
Report Totals:							
TOTAL ESTIMATED REVENUES - ALL FUNDS		32,613,038	56,846,195	42,182,492	0	35,814,941	58,173,069
TOTAL APPROPRIATIONS - ALL FUNDS		68,359,350	74,904,278	37,410,825	15,566,453	55,799,040	73,966,137
NET OF REVENUES & APPROPRIATIONS:		(35,746,312)	(18,058,083)	4,771,667	(15,566,453)	(19,984,099)	(15,793,068)

DRAFT #4

Final Potential Ranges Based on Regional Minimum to Regional Maximum						Hourly Rates			2080	Part-Time	Seasonal	# Positiions
Position	Band	Minimum	Midpoint	Maximum	Spread	Minimum	Midpoint	Maximum				
P& R Recreation Camp Activity Asst.	110	\$30,195	\$34,105	\$38,014	\$7,819	\$14.52	\$16.40	\$18.28			x	6
P& R Recreation Camp Counselor	110	\$30,195	\$34,105	\$38,014	\$7,819	\$14.52	\$16.40	\$18.28			x	42
P& R Assistant Camp Director	114	\$36,550	\$44,768	\$52,987	\$16,437	\$17.57	\$21.52	\$25.47			x	1
P& R Pool Assistant Manager	114	\$36,550	\$44,768	\$52,987	\$16,437	\$17.57	\$21.52	\$25.47			x	9
P& R Recreation Asst.	114	\$36,550	\$44,768	\$52,987	\$16,437	\$17.57	\$21.52	\$25.47		x		14
P& R Custodian	114	\$36,550	\$44,768	\$52,987	\$16,437	\$17.57	\$21.52	\$25.47	x			1
P& R Outdoor Edu. Pgm Spec.	114	\$36,550	\$44,768	\$52,987	\$16,437	\$17.57	\$21.52	\$25.47	x			1
P& R Multimedia Coordinator	114	\$36,550	\$44,768	\$52,987	\$16,437	\$17.57	\$21.52	\$25.47	x			1
P& R Leader - Manager on Duty	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			1
P& R Leader	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			4
P& R- Administrative Assistant	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			1
Administrative Assistant - City Hall	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			1
Court Clerk	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			2
Occup Tax & Alcohol Lic. Tech	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			1
Occup Tax & Alcohol / Customer Service	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			1
Citizen Responder	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			1
Code Enforcement Officer	116	\$41,288	\$50,465	\$59,641	\$18,353	\$19.85	\$24.26	\$28.67	x			2
P& R Administrative Services Manager	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			1
Accountant / Purchasing I	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			x
Accountant / Payroll I	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			x
Court Clerk - Senior	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			1
Deputy City Clerk	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			1
P& R Athletic Manager	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			1
P& R Program Manager	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			1
Permit Coordinator	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			1
City Social Media Coordinator	120	\$52,152	\$63,420	\$72,229	\$20,077	\$25.07	\$30.49	\$34.73	x			1
Business Outreach Specialist	124	\$59,779	\$73,475	\$81,150	\$21,371	\$28.74	\$35.32	\$39.01	x			1
Staff Writer (Digital Content Specialist)	124	\$59,779	\$73,475	\$81,150	\$21,371	\$28.74	\$35.32	\$39.01	x			1
Senior Code Enforcement Officer	124	\$59,779	\$73,475	\$81,150	\$21,371	\$28.74	\$35.32	\$39.01	x			1
Accountant / Purchasing II	124	\$59,779	\$73,475	\$81,150	\$21,371	\$28.74	\$35.32	\$39.01	x			1
Accountant / Payroll II	124	\$59,779	\$73,475	\$81,150	\$21,371	\$28.74	\$35.32	\$39.01	x			1
AR & Billing Supervisor	124	\$59,779	\$73,475	\$81,150	\$21,371	\$28.74	\$35.32	\$39.01	x			1
P& R Facility & Events Manager	124	\$59,779	\$73,475	\$81,150	\$21,371	\$28.74	\$35.32	\$39.01	x			1
P& R Recreation Services Div Manager	130	\$65,162	\$77,378	\$88,593	\$23,431	\$31.33	\$37.20	\$42.59	x			1
P& R Facility Maintenance Div Manager	130	\$65,162	\$77,378	\$88,593	\$23,431	\$31.33	\$37.20	\$42.59	x			1
P& R Operations Manager	130	\$65,162	\$77,378	\$88,593	\$23,431	\$31.33	\$37.20	\$42.59	x			1
Building Inspector	130	\$65,162	\$77,378	\$88,593	\$23,431	\$31.33	\$37.20	\$42.59	x			1
Planner II	130	\$65,162	\$77,378	\$88,593	\$23,431	\$31.33	\$37.20	\$42.59	x			1
Fire Marshal	134	\$73,685	\$91,007	\$98,328	\$24,643	\$35.43	\$43.75	\$47.27	x			1
Assistant to the City Manager	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16	x			1
Code Enforcement Manager	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16	x			1
Land Development Manager	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16	x			1
Planning Manager	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16	x			1
Web Master (Digital Content Manager)	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16	x			1
Court Bailiff	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16		x		3
Director of Court Operations	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16	x			1
City Clerk	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16	x			1
Director Economic Development	138	\$80,985	\$99,941	\$118,897	\$37,913	\$38.94	\$48.05	\$57.16	x			1
Chief Bailiff	142	\$91,526	\$113,742	\$135,958	\$44,432	\$44.00	\$54.68	\$65.36		x		1
Director of Communications	142	\$91,526	\$113,742	\$135,958	\$44,432	\$44.00	\$54.68	\$65.36	x			1
Plan Examiner	142	\$91,526	\$113,742	\$135,958	\$44,432	\$44.00	\$54.68	\$65.36	x			1
Building Official	142	\$91,526	\$113,742	\$135,958	\$44,432	\$44.00	\$54.68	\$65.36	x			1
Assisant Finance Director	142	\$91,526	\$113,742	\$135,958	\$44,432	\$44.00	\$54.68	\$65.36	x			1
Director of Human Resources (HR)	142	\$91,526	\$113,742	\$135,958	\$44,432	\$44.00	\$54.68	\$65.36	x			1
Director of Information Technology (IT)	148	\$100,875	\$124,644	\$148,412	\$47,537	\$48.50	\$59.92	\$71.35	x			1
Director of Parks & Recreation (P& R)	150	\$108,755	\$134,969	\$161,182	\$52,427	\$52.29	\$64.89	\$77.49	x			1
Director of Finance	150	\$108,755	\$134,969	\$161,182	\$52,427	\$52.29	\$64.89	\$77.49	x			1
Director of Community Development	150	\$108,755	\$134,969	\$161,182	\$52,427	\$52.29	\$64.89	\$77.49	x			1
Assistant City Manager	150	\$108,755	\$134,969	\$161,182	\$52,427	\$52.29	\$64.89	\$77.49	x			1



MEMO

To: Honorable Mayor and City Council Members
From: Beverly Hilton, Finance Director
CC: John McHenry, City Manager
Date: June 3, 2024
RE: Memo for Adoption of 2024 Millage Rate by Ordinance O2024-06-09

Contract/Document Number: Ordinance O2024-06-09

Description for on the Agenda:

- First Read and public hearing on an ordinance to levy a tax on property subject to taxation.

Recommendation:

Staff recommends approval of the rollback millage rate of 2.096 for 2024 Property Tax levy on real and personal property.

Background:

Property Taxes are billed and collected by the Dekalb County Tax Commissioner's Office on behalf of the City of Tucker. The Dekalb County Tax Assessor's Office establishes the fair market value of properties as of January 1 each year. Tax bills are mailed in mid-August each year. The tax digest is released to the taxing jurisdictions who have the responsibility of setting a millage rate. If the millage rate is higher than the rollback rate, it is considered a property tax increase (even if the millage rate stays the same as the prior year) and a series of ads and hearings are required. All actions required to adopt the millage rate must be completed as prescribed by the Georgia Department of Revenue and delivered to the Dekalb County Tax Commissioner's Office by July 1.

Summary:

Staff received the 2024 Property Tax Digest information from Dekalb County on Friday, May 24th. The Current and 5 Year History ad appeared in the Champion on Thursday, June 6th. We are required to advertise this at least one week prior to the date of adoption which is currently set for June 26th. The rollback rate was used so there will not be a requirement to place the Notice of Property Tax Increase ads and have the three public hearings to discuss the proposed increase. We will have two public hearings to adopt the millage by ordinance on June 10th and June 26th.

Financial Impact:

Adoption of the rollback millage rate of 2.096 mills will result in revenue of \$6,463,400.

AN ORDINANCE TO LEVY A TAX ON PROPERTY SUBJECT TO TAXATION; AND FOR OTHER PURPOSES.

WHEREAS, Section 1.03(a)(38) of the City Charter authorizes the City to levy a tax on properties subject to taxation up to a maximum of 3 mils without a referendum;

WHEREAS, Section 2.10(c)(3) of the City Charter requires an ordinance to levy taxes;

WHEREAS, the current year and five year history of levy was published no less than 7 days prior to the meeting where the final levy would be adopted;

WHEREAS, public hearings were held on June 10th and on June 26th to receive public input on the setting of a millage rate;

WHEREAS, the Mayor and Council desire to set a millage rate of 2.096 mils which is the rollback rate;

NOW, THEREFORE, THE COUNCIL OF THE CITY OF TUCKER HEREBY ENACTS AND ORDAINS that a millage rate of 2.096 mils be levied on all properties subject to taxation for the 2024 ad valorem tax year.

SO ORDAINED AND EFFECTIVE this 26th day of June 2024.

Approved:

Frank Auman, Mayor

Attest:

Bonnie Warne, City Clerk

(SEAL)



2024 Property Tax Ordinance O2024-06-xx

City of Tucker
June 10, 2024

FY2025 Property Tax Calendar

- Received the 2024 Tax Digest from Dekalb County – May 24, 2024
- Rollback Rate of 2.096 approved by the Mayor and Council–May 28, 2024
- Current 2024 Tax Digest and 5-Yr History of Levy ad with location of Public Hearings and Adoption– Published June 6, 2024
 - 1st Public Hearing to adopt Millage by Ordinance -June 10, 2024
- 2nd Public Hearing to adopt Millage by Ordinance and Adoption -June 26, 2024

2024 Tax Digest Values

COUNTY: 002-DEKALB		TAXING JURISDICTION: TUCKER		
ENTER VALUES AND MILLAGE RATES FOR THE APPLICABLE TAX YEARS IN YELLOW HIGHLIGHTED BOXES BELOW				
DESCRIPTION	2023 DIGEST	REASSESSMENT OF EXISTING REAL PROP	OTHER CHANGES TO TAXABLE DIGEST	2024 DIGEST
REAL	2,970,052,101	312,914,471	23,673,280	3,306,639,852
PERSONAL	451,814,699		(12,422,851)	439,391,848
MOTOR VEHICLES	9,185,840		(771,910)	8,413,930
MOBILE HOMES	0		0	0
TIMBER -100%	0		0	0
HEAVY DUTY EQUIP	2,066		(2,066)	0
GROSS DIGEST	3,431,054,706	312,914,471	10,476,453	3,754,445,630
EXEMPTIONS	608,543,457	58,500,960	3,717,797	670,762,214
NET DIGEST	2,822,511,249	254,413,511	6,758,656	3,083,683,416
	(PYD)	(RVA)	(NAG)	(CYD)
2023 MILLAGE RATE:	2.284		2024 MILLAGE RATE:	2.096



2024 Tax Digest Values Calculation of Rollback Rate

CALCULATION OF ROLLBACK RATE			
DESCRIPTION	ABBREVIATION	AMOUNT	FORMULA
2023 Net Digest	PYD	2,822,511,249	
Net Value Added-Reassessment of Existing Real Property	RVA	254,413,511	
Other Net Changes to Taxable Digest	NAG	6,758,656	
2024 Net Digest	CYD	3,083,683,416	(PYD+RVA+NAG)
2023 Millage Rate	PYM	2.284	PYM
Millage Equivalent of Reassessed Value Added	ME	0.188	(RVA/CYD) * PYM
Rollback Millage Rate for 2024	RR - ROLLBACK RATE	2.096	PYM - ME
CALCULATION OF PERCENTAGE INCREASE IN PROPERTY TAXES			
If the 2024 Proposed Millage Rate for this Taxing Jurisdiction exceeds Rollback Millage Rate computed above, this section will automatically calculate the amount of increase in property taxes that is part of the notice required in O.C.G.A. § 48-5-32.1(c) (2)	Rollback Millage Rate	2.096	
	2024 Millage Rate	2.096	
	Percentage Tax Increase	0.00%	



2024 Property Tax Revenue

NOTICE OF INTENT TO ADOPT A MILLAGE RATE

The City of Tucker Mayor & City Council does hereby announce the 2024 millage rate will be set at a Regular Meeting to be held at City Hall, 1975 Lakeside Parkway, Suite 350, Tucker, GA 30084 on June 26, 2024 at 7:00pm and pursuant to the requirements of O.C.G.A. Section 48-5-32 does hereby publish the following presentation of the current year's tax digest and levy, along with the history of the tax digest and levy for the past five years.

CURRENT 2024 TAX DIGEST AND 5 YEAR HISTORY OF LEVY

City of Tucker	2019	2020	2021	2022	2023	2024
	2,203,807,447	2,318,066,346	2,592,211,677	2,968,896,015	3,420,828,635	3,746,031,700
Motor Vehicles	16,660,920	12,839,800	9,425,570	9,556,920	9,185,840	8,413,930
Mobile Homes						
Timber - 100%						
Heavy Duty Equipment	50,098	24,637	0	0	2,066	0
Gross Digest	2,220,518,465	2,330,930,783	2,601,637,247	2,978,452,935	3,430,016,541	3,754,445,630
Less M & O Exemptions	239,383,897	235,007,245	302,238,645	461,815,202	605,220,983	670,762,214
Net M & O Digest	1,981,134,568	2,095,923,538	2,299,398,602	2,516,637,733	2,824,795,558	3,083,683,416
State Forest Land Assistance Grant Value					0	
Adjusted Net M&O Digest	1,981,134,568	2,095,923,538	2,299,398,602	2,516,637,733	2,824,795,558	3,083,683,416
Gross M&O Millage	0.900	0.900	0.900	0.848	2.284	2.096
Less Rollbacks (LOST)						
Net M&O Millage	0.900	0.900	0.900	0.848	2.284	2.096
Net Taxes Levied	\$1,783,021	\$1,886,331	\$2,069,459	\$2,134,109	\$6,451,833	\$6,463,400
Net Taxes \$ Increase		\$1,783,021	\$183,128	\$64,650	\$4,317,724	\$11,567
Net Taxes % Increase		100.00%	9.71%	3.12%	202.32%	0.18%



Questions?



MEMO

To: Honorable Mayor and City Council Members
From: Courtney Smith, Community Development Director
CC: John McHenry, City Manager
Date: June 4, 2023
RE: Memo for Extension/Termination of SLUP-22-0001

Contract/Document Number: O2024-06-0010

Description for on the Agenda:

- 1st Read and Public Hearing of an ordinance to consider a 12-month time extension or a termination of SLUP-22-0001, which was approved on May 9, 2022 per O2022-02-36.

Issue:

A Special Land Use Permit application (SLUP-22-0001) for multifamily housing over 24 units per acre was approved on May 9, 2022 (O2022-02-36), for the AHS (now known as Resia) development at 2059 Northlake Parkway. The SLUP approval included the following uses: a mix of office, retail/restaurant, co-working space, and multifamily residential (a maximum of 280 multi-family units in three new residential buildings and a maximum of 129 residential units in the existing office building).

Sec. 46-1599(b) of the City of Tucker Code states that a special land use permit expires after 12 months unless a building permit or other required approval is obtained, and construction begins. Additionally, Sec. 46-1599(c) states that the Community Development Director can give one twelve-month extension, but any additional time extensions or terminations would have to be granted by the Mayor and City Council. Staff previously granted one 12-month extension to extend the SLUP to May 9, 2024.

Since the AHS (Resia) development at 2059 Northlake Parkway has not submitted for permitting nor begun construction, City Staff worked with the property owner/developer to schedule two public hearings for Mayor and City Council to review SLUP-22-0001 for either a time extension or termination.

Staff met with the Resia team on May 21, 2024, regarding changes to the approved plan that had been presented to the Tucker Development Authority on April 18, 2024. While the applicant intends to revise this amended plan even further based on Staff feedback, it does not appear that the existing SLUP can be constructed at this time due to the office to multifamily conversion component. Therefore, the applicant is interested in reusing the existing office building for a new use(s) and building all of the proposed multifamily units in new structures. This would not be allowed under the current SLUP, as it is site plan specific and the conditions of approval include specific language regarding multifamily units in the existing office building, co-working spaces, etc.

Recommendation:

The Zoning Ordinance does not allow for major modification of special land use permits, so any changes to the approved SLUP would require a new SLUP application. Given this information, Staff is recommending that SLUP-22-0001 be

terminated, with the expectation that Resia will submit a new SLUP application in the coming months. The new SLUP application would require a neighborhood meeting, and meetings before Planning Commission and Mayor/City Council.

Background:

Sec. 46-1599. Limitations of special land use permits.

- (a) Development of an approved special use. The issuance of a special land use permit shall only constitute approval of the proposed use, and development of the use shall not be carried out until the applicant has secured all other permits and approvals required by any applicable law or regulation.
- (b) Expiration of a special land use permit. Unless a building permit or other required approval is applied for within 12 months of the mayor and city council's approval of a special use, and construction pursuant to such building permit is promptly begun and diligently pursued thereafter, a 12 month extension must be obtained in accordance with subsection (c) of this section.
- (c) Time extension of a special land use permit. The time limitation imposed pursuant to subsection (b) of this section may be extended once for 12 consecutive months upon written request by the applicant and approval in writing by the planning and zoning director. Extension denials by the planning and zoning director may be appealed within 30 days to the Mayor and City Council. Any further time extensions shall be by the mayor and city council upon written request by the applicant and approval of the mayor and city council after compliance with the public notice provisions of section 46-1526(c). In considering a request to extend, or the appeal of a denial of a request to extend, the planning and zoning director and the mayor and city council shall consider the criteria described in section 46-1594.
- (d) Limitations on approvals for special land use permits. If a use granted by a special land use permit shall, for any reason, be discontinued for a period of 12 consecutive months, a hearing shall be held before the mayor and city council in accordance with subsection (c) of this section for the purpose of determining whether the permit shall terminate or be extended
- (e) Modifications to a special land use permit. Changes to an approved special land use permit, including changes to approved conditions, expansion of the approved use, or expansion of building square footage, shall be subject to the same application, review and approval process as a new application, including the payment of relevant fees.

(Ord. No. 2016-06-07, att. (7.4.11), 7-11-2016; Ord. No. O2020-03-07, exh. A, 3-23-2020; Ord. No. O2023-11-22, Exh. A, 12-11-2023)

Summary:

Mayor and City Council are required to make a decision regarding the extension or termination of SLUP-22-0001 per the criteria in Sec. 46-1594, which is the same criteria that was used when reviewing the SLUP application initially.

Financial Impact: NA

AN ORDINANCE FOR A TWELVE-MONTH EXTENSION OF SPECIAL LAND USE PERMIT 22-0001 (O2022-02-36) IN LAND LOT 189 OF THE 18th DISTRICT.

WHEREAS: Notice to the public regarding said special land use permit extension/termination has been duly published in The Champion, the Official News Organ of Tucker; and

WHEREAS: A Public Hearing was held by the Mayor and City Council of Tucker on June 10, 2024 and July 8, 2024;

WHEREAS: The Mayor and City Council is the governing authority for the City of Tucker;

WHEREAS: The Mayor and City Council have reviewed the extension/termination of the special land use request based on the criteria found in Section 46-1594 of the Zoning Ordinance of the City of Tucker;

NOW THEREFORE, the Mayor and City Council of the City of Tucker while in Regular Session on July 8, 2024 hereby approves a twelve-month extension of Special Land Use Permit 22-0001 until May 9, 2025. This extension is hereby subject to the same conditions of approval that are listed in O2022-02-36.

SO EFFECTIVE this 8th day of July 2024.

Approved by:

Frank Auman, Mayor

Attest:

Bonnie Warne, City Clerk

SEAL

AN ORDINANCE FOR THE TERMINATION OF SPECIAL LAND USE PERMIT 22-0001 (O2022-02-36) IN LAND LOT 189 OF THE 18th DISTRICT.

WHEREAS: Notice to the public regarding said special land use permit extension/termination has been duly published in The Champion, the Official News Organ of Tucker; and

WHEREAS: A Public Hearing was held by the Mayor and City Council of Tucker on June 10, 2024 and July 8, 2024;

WHEREAS: The Mayor and City Council is the governing authority for the City of Tucker;

WHEREAS: The Mayor and City Council have reviewed the extension/termination of the special land use request based on the criteria found in Section 46-1594 of the Zoning Ordinance of the City of Tucker;

NOW THEREFORE, the Mayor and City Council of the City of Tucker while in Regular Session on July 8, 2024 hereby terminates Special Land Use Permit 22-0001 as approved by O2022-02-36.

SO EFFECTIVE this 8th day of July 2024.

Approved by:

Frank Auman, Mayor

Attest:

Bonnie Warne, City Clerk

SEAL

AN ORDINANCE FOR SPECIAL LAND USE PERMIT 22-0001 AND CONCURRENT VARIANCES CV-22-0001, CV-22-0002, CV-22-0003, AND CV-22-0004 IN LAND LOT 189 OF THE 18th DISTRICT TO ALLOW FOR DENSITY OVER 24 UNITS PER ACRE FOR AHS AT 2059 NORTHLAKE PARKWAY.

WHEREAS: Notice to the public regarding said special land use permit and concurrent variances have been duly published in The Champion, the Official News Organ of Tucker; and

WHEREAS: A Public Hearing was held by the Mayor and City Council of Tucker on March 14, 2022 and May 9, 2022;

WHEREAS: The Mayor and City Council is the governing authority for the City of Tucker;

WHEREAS: The Mayor and City Council has reviewed the special land use request and concurrent variances based on the criteria found in Section 46-1594 and 46-1633 of the Zoning Ordinance of the City of Tucker;

NOW THEREFORE, the Mayor and City Council of the City of Tucker while in Regular Session on May 9, 2022 hereby ordains and approves Special Land Use Permit 22-0001 to allow for a mixed-use, multifamily development with a density over 24 units per acre, subject to the following conditions:

1. The property shall be developed in general conformance with the site plan received by the City of Tucker Planning and Zoning Department on May 4, 2022, with changes to meet these conditions and other requirements of the code.
2. The use of the development shall be limited to office, retail/restaurant, co-working space, and multifamily residential, which shall consist of a maximum of 280 multi-family units in three residential buildings and a maximum of 129 residential units in the existing office building.
3. The two apartment buildings closest to Northlake Parkway shall be limited to a maximum height of 6 stories or 63' and the third apartment building, closest to East Exchange Place shall be limited to 7 stories or 72'.
4. Building elevations shall be constructed in general conformance with the architectural designs received by the City of Tucker Planning and Zoning Department on May 6, 2022.
5. A minimum of 640 parking spaces shall be provided.
6. All ground floor units fronting Northlake Parkway shall have a patio with direct access to an internal sidewalk.
7. All ground floor units abutting the common amenity space shall have a patio with direct access

to the amenity space.

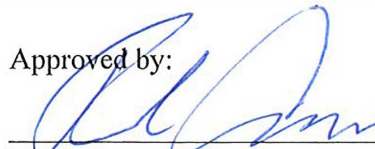
8. All signage shall comply with the Sign Ordinance.
9. Utilities shall be located underground.
10. The minimum lease term shall not be shorter than 6 months.
11. An on-site leasing office with property maintenance staff shall be provided to serve as a contact point for residents and local authorities.
12. All businesses operating at this location, including the office spaces in the residential units, shall, where required, comply with the City of Tucker requirements for Occupational Tax Certificates.
13. A minimum of 15% of the units shall qualify as workforce housing units, defined as housing that is affordable to households earning between 80 and 140 percent of area median income (AMI). AMI shall be defined as the area median income for the area within a 3-mile radius of the subject property at the time of Certificate of Occupancy issuance and recalculated on each annual anniversary date. Owner shall submit proof of compliance with this condition by December 31 of each year, starting with the calendar year after the final Certificate of Occupancy issues, to the Planning and Zoning Director.
 - a. The breakdown of workforce housing units shall generally comply with the following ratios:
 - i. Studios: 20%;
 - ii. 1-Bed: 65%;
 - iii. 2-Bed: 10%; and
 - iv. 3-Bed: 5%.
 - b. The workforce housing units shall generally be interspersed with all other dwelling units and shall be provided in all four buildings shown on the site plan submitted May 4, 2022.
 - c. The interior and exterior finish, durability, and quality of construction of the workforce housing units shall be compatible with and comparable in quality and durability to the rest of the dwelling units in the development and shall comply with the design standards of the NL-2 zoning district.
 - d. Renewal of an OTC for the entire development shall be required annually, contingent upon compliance with workforce housing requirements.
14. Owner/Developer shall allow for future interparcel access to the adjacent properties to the east and west. Traffic barriers may be temporarily put in drive aisle radius to allow parking until the adjacent properties are redeveloped. Owner/Developer shall grant a construction easement to adjacent property owner when the future interparcel access to the east and/or west is constructed.
15. Owner/Developer shall construct a ten-foot (10') wide concrete trail and a five-foot (5') landscape strip along the entire frontage of Northlake and East Exchange Place, as shown in the current version of the Trail Master Plan. An additional five foot (5') wide street furniture

zone shall be provided along Northlake Parkway.


16. Owner/Developer shall construct a ten-foot (10') wide trail constructed of pervious concrete, subject to review and approval of the City Engineer, through the center of the development as shown on the site plan and per the current version of the Trail Master Plan. Owner/Developer shall provide the city with a permanent easement for the trail. The easement shall be dedicated at no cost to the City by time of Certificate of Occupancy issuance.
17. Owner/Developer shall construct ADA compliant internal sidewalks with pervious concrete, subject to review and approval of the City Engineer and crosswalks that will provide pedestrian connectivity from all apartment buildings to the sidewalk along Northlake Parkway and East Exchange Place. A pedestrian circulation plan shall be subject to review and approval of the Planning and Zoning Director.
18. A maximum of twenty percent (20%) of parking spaces may be compact spaces. A compact space shall be defined as any space narrower than nine feet (9') in width. Compact spaces shall be identified with appropriate signage.
19. The Development shall be limited to a maximum of one (1) right/left in / right out only curb cut on Northlake Parkway and two (2) full access curb cuts on East Exchange Place. Further, Owner shall add a "No Left Turn" sign and a raised median at the Northlake Parkway curb cut to restrict left-turning movements onto Northlake Parkway.
20. Owner/Developer shall construct a deceleration lane at the site entrance on Northlake Parkway.
21. Owner/Developer shall dedicate at no cost to the City of Tucker such additional right-of-way along the entire frontage of Northlake Parkway such that there is a minimum of seventy-five feet (75') from centerline, twelve feet (12') from back of curb, or two feet (2') from back of sidewalk, whichever is greater.
22. Owner/Developer shall provide stormwater management in compliance with Tucker's Post Construction Stormwater Management Ordinance.

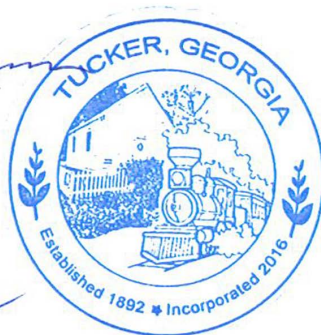
So effective this 9th day of May 2022.

Approved by:

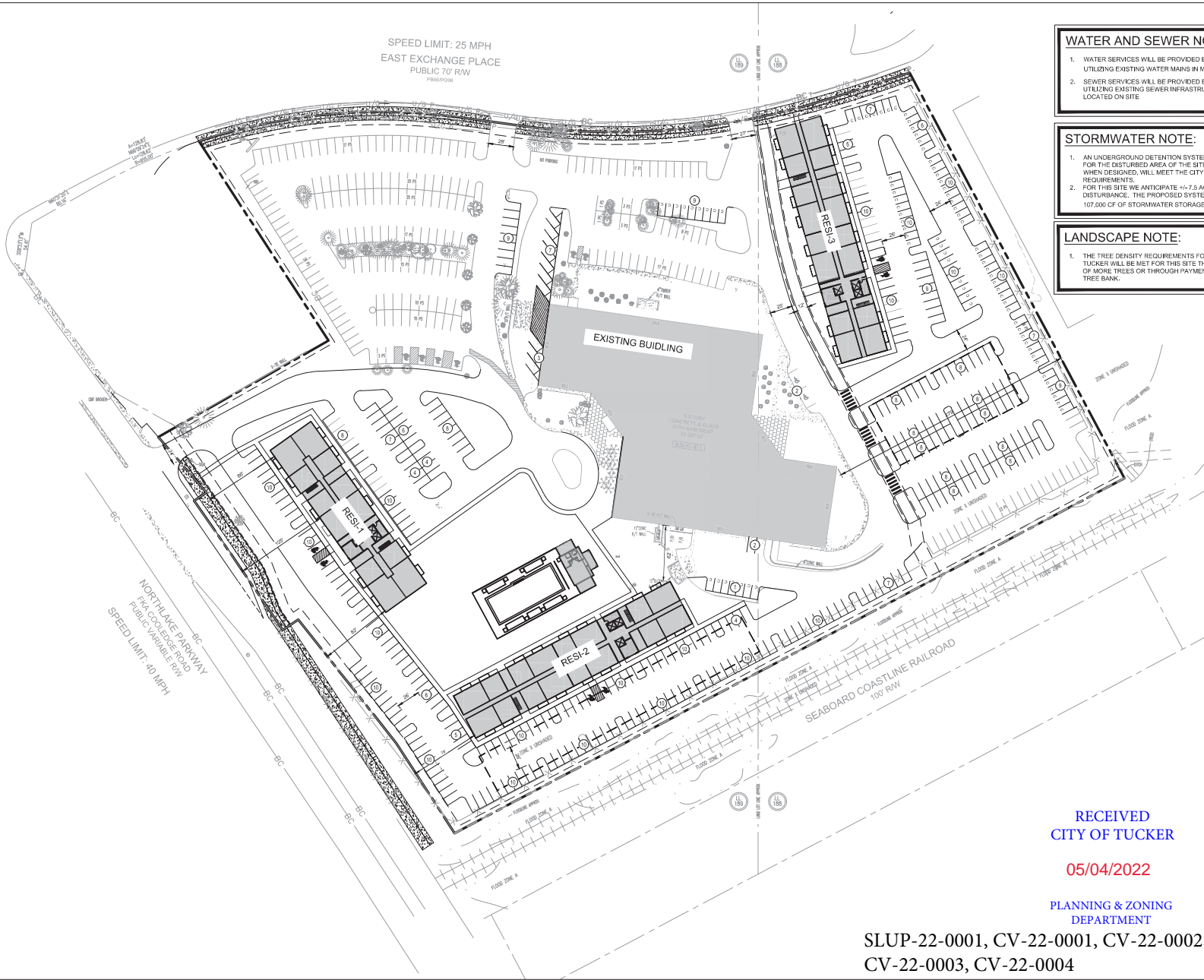

Frank Auman, Mayor

Attest:


Bonnie Warne, City Clerk



SEAL



SPEED LIMIT: 25 MPH
 EAST EXCHANGE PLACE
 PUBLIC 70' RW
 PUBLIC USE

NORTHLAKE PARKWAY
 6'X COLLEGE ROAD
 PUBLIC VARIABLE RW
 SPEED LIMIT: 40 MPH

WATER AND SEWER NOTES:

1. WATER SERVICES WILL BE PROVIDED BY DEKALB COUNTY UTILIZING EXISTING WATER MAINS IN MAIN ROAD
2. SEWER SERVICES WILL BE PROVIDED BY DEKALB COUNTY UTILIZING EXISTING SEWER INFRASTRUCTURE CURRENTLY LOCATED ON SITE

STORMWATER NOTE:

1. AN UNDERGROUND DETENTION SYSTEM WILL BE PROVIDED FOR THE DISTURBED AREA OF THE SITE. THIS SYSTEM WHEN DESIGNED, WILL MEET THE CITY AND STATE REQUIREMENTS.
2. FOR THIS SITE WE ANTICIPATE ~7.5 ACRES OF DISTURBANCE. THE PROPOSED SYSTEM WILL PROVIDE ~107,000 CF OF STORMWATER STORAGE.

LANDSCAPE NOTE:

1. THE TREE DENSITY REQUIREMENTS FOR THE CITY OF TUCKER WILL BE MET FOR THIS SITE THROUGH THE ADDITION OF MORE TREES OR THROUGH PAYMENT INTO THE CITY TREE BANK.

DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	NL-2
PROPOSED ZONING:	NL-2
SITE AREA:	13.00 ACRES
DISTURBED AREA:	+/- 5.50 ACRES
LOT COVERAGE:	10.3 ACRES (79.2%)
OPEN SPACE:	2.85 ACRES (21.9%)
REQUIRED BUILDING HEIGHT:	135 FT 9 STORIES
PROPOSED BUILDING HEIGHT:	72 FT (RES 3) 7 STORIES 63 FT (RES 1 AND RES 2) 6 STORIES
EXISTING BUILDING HEIGHT:	87.1 FT 5 STORIES
BUILDING SETBACK REQUIREMENTS:	FRONT (MIN) 0 FT FRONT (MAX) 30 FT SIDE (MIN) 20 FT BACK (MIN) 20 FT
LANDSCAPE SETBACK:	FRONT (MIN) 6 FT SIDE (MIN) 6 FT BACK (MIN) 6 FT
PROPOSED LAND USES & DENSITIES:	
MULTIFAMILY RESIDENTIAL	280 UNITS
LIVE WORK	128 UNITS
OFFICE/COWORKING SPACE	97,240 SF
TOTAL FLOOR SPACE:	579,951 GSF
RESIDENTIAL	482,711 SF
OFFICE/LOBBY/AMENITY:	97,240
PROPOSED DENSITY:	31.46 UNITS/ACRE
PARKING SUMMARY:	
REQUIRED PARKING (MINIMUM):	528 SPACES (TOTAL)
MULTIFAMILY (280 UNITS)	280 SPACES (1.00 UNIT)
LIVE WORK (128 UNITS)	128 SPACES (1.00 UNIT)
OFFICE/COWORKING (97,315 SF)	119 SPACES (1.0250 SF)
REQUIRED PARKING (MAXIMUM):	1,645 SPACES (TOTAL)
MULTIFAMILY (280 UNITS)	840 SPACES (3.00 UNIT)
LIVE WORK (128 UNITS)	387 SPACES (3.00 UNIT)
OFFICE/COWORKING (97,315 SF)	238 SPACES (1.0250 SF)
PROPOSED PARKING:	640 SPACES (TOTAL)
STANDARD:	560 SPACES
COMPACT:	80 SPACES
HANDICAP:	14 SPACES
PARKING LOT LANDSCAPING:	
REQUIRED:	10% MIN.
PROPOSED:	10%

ALTERNATIVE VEHICLE AND BIKE PARKING:

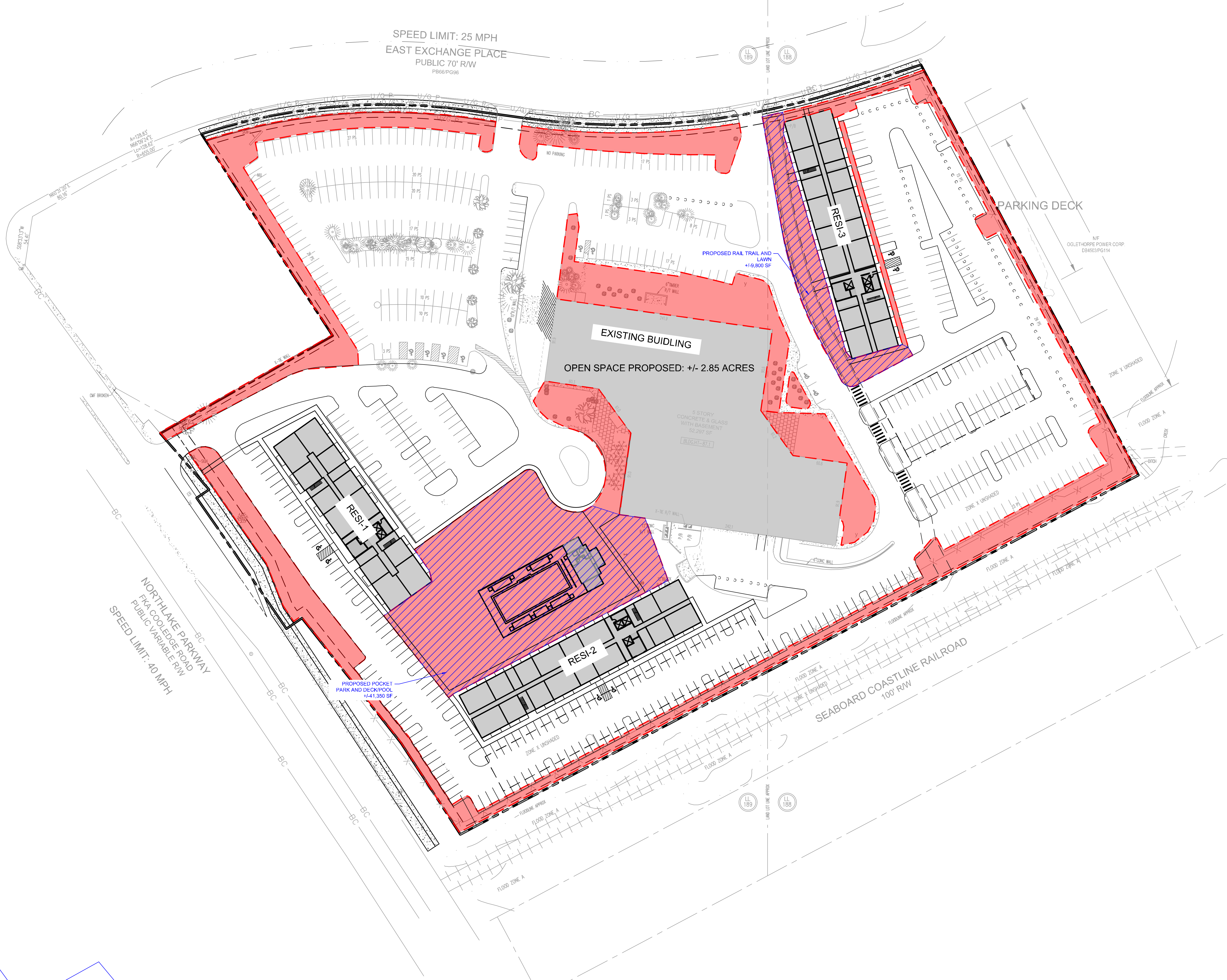
1. THE SITE WILL PROVIDE BIKE/MOPED PARKING AS REQUIRED BY CODE. THE EXACT LOCATION WILL BE DETERMINED DURING THE PERMITTING PHASE. FOR THIS SITE, 36 BIKE/MOPED SPACES WILL BE PROVIDED (1 PER 20).
2. THE SITE WILL PROVIDE ALTERNATIVE VEHICLE PARKING THROUGHOUT THE SITE AS REQUIRED BY CODE. THE EXACT LOCATION WILL BE DETERMINED DURING THE PERMITTING PHASE. FOR THIS SITE, 15 ALTERNATIVE FUEL SPACES WILL BE PROVIDED (2% OF TOTAL).

SITE LOCATION MAP

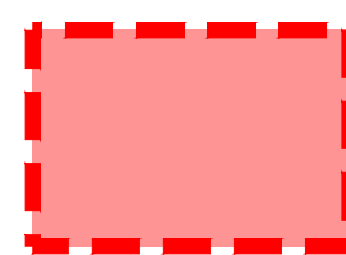


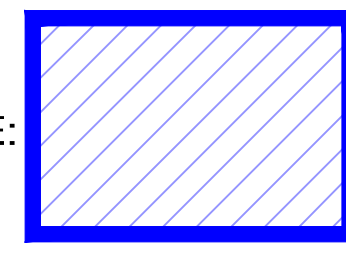
RECEIVED
 CITY OF TUCKER
 05/04/2022
 PLANNING & ZONING
 DEPARTMENT

SLUP-22-0001, CV-22-0001, CV-22-0002,
 CV-22-0003, CV-22-0004



LEGEND:

OPEN SPACE: 

OUTDOOR SPACE: 

DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	NL-2
PROPOSED ZONING:	NL-2
SITE AREA:	13.00 ACRES
OPEN SPACE:	2.85 ACRES (21.9%)
OUTDOOR SPACE:	1.10 ACRES (8.4%)

RECEIVED
CITY OF TUCKER

05/04/2022

PLANNING & ZONING
DEPARTMENT

SLUP-22-0001, CV-22-0001, CV-22-0002,
CV-22-0003, CV-22-0004



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DEPARTMENT



City of Tucker

**OFFICE OF
COMMUNITY
DEVELOPMENT**

Courtney Smith
Director

August 28, 2023

VIA EMAIL

Stacy Reeves

Resia (formerly AHS)
12895 SW 132nd Street
Miami, FL 33186

Re: Extension of SLUP-22-0001 (Ordinance O2022-02-36)

Dear Ms. Reeves,

SLUP-22-0001 for AHS at 2059 Northlake Parkway was approved by Mayor and City Council on May 9, 2022. Sec. 46-1599(b) states that special land use permits expire automatically within 12 months of approval unless the necessary permits are applied for/issued and construction promptly begins and is diligently pursued. No land disturbance permit or building permit has been submitted to the City of Tucker for the multifamily project, therefore, SLUP-22-0001 should automatically expire on May 9, 2023. However, the city is initiating a text amendment that addresses the expiration of SLUP's and in preparation of that amendment, we will be **extending your SLUP approval to May 9, 2024**. Please be sure to speak with the city before May 9, 2024 should your project still remain on hold at that time.

Sec. 46-1599. Limitations of special land use permits.

(b) Expiration of a special land use permit. Unless a building permit or other required approval is applied for within 12 months of the mayor and city council' approval, and construction pursuant to such building permit is promptly begun and diligently pursued thereafter, the special land use permit shall expire automatically, unless the permit is extended upon application to the mayor and city council in accordance with subsection (c) of this section.

(Ord. No. 2016-06-07, att. (7.4.11), 7-11-2016; Ord. No. O2020-03-07, exh. A, 3-23-2020)

Sincerely,

Courtney Smith

Community Development Director

City of Tucker – 1975 Lakeside Parkway, Suite 350, Tucker, GA 30084

Phone: 678-597-9040 | Fax: 470-719-8229 | tuckerga.gov

Sec. 46-1594. Special land use permit; criteria to be considered.

The following criteria shall be considered by the planning and zoning department, the planning commission, and the mayor and city council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the mayor and city council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and the application is in compliance with all applicable regulations in article IV of this chapter:

- (1) Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.
- (2) Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.
- (3) Adequacy of public services, public facilities, and utilities to serve the proposed use.
- (4) Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.
- (5) Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.
- (6) Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.
- (7) Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.
- (8) Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.
- (9) Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.
- (10) Whether or not the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.
- (11) Whether or not the proposed use is consistent with the policies of the comprehensive plan.
- (12) Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.
- (13) Whether or not there is adequate provision of refuse and service areas.
- (14) Whether the length of time for which the special land use permit is granted should be limited in duration.
- (15) Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.
- (16) Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.
- (17) Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.

-
- (18) Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.
 - (19) Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area.
 - (20) Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.

(Ord. No. 2016-06-07, att. (7.4.6), 7-11-2016; Ord. No. O2020-03-07, exh. A, 3-23-2020)