



Mayor & City Council
Regular Meeting Agenda

Tuesday, January 11, 2022, 6:00 PM

Tucker City Hall

1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084

Members:

Frank Auman, Mayor
Roger W. Orlando, Council Member District 1, Post 1
Cara Schroeder, Council Member District 2, Post 1
Alexis Weaver, Council Member District 3, Post 1
Virginia Rece, Council Member District 1, Post 2
Noelle Monferdini, Council Member District 2, Post 2
Anne Lerner, Council Member District 3, Post 2

Webinar: <https://us02web.zoom.us/j/86825414571> or phone: 877 853 5247 (Toll Free) Webinar ID: 868 2541 4571

Pages

A.	CALL TO ORDER	
B.	OATH OF OFFICE	
C.	ROLL CALL	
D.	PLEDGE OF ALLEGIANCE	
E.	MAYOR'S OPENING REMARKS	
F.	PUBLIC COMMENTS	
G.	APPROVAL OF THE AGENDA	
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I.	STAFF REPORTS	
J.	NEW BUSINESS	
J.1.	Resolution R2022-01-01	14
	A Resolution to Elect the Mayor Pro-Tem	
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	A Resolution to Revise the Downtown Development Authority (DDA) Boundary	
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Approval of Old Norcross Road Easement Acquisition

J.4. Quote Q2021-013-CE2203 Ken.Hildebrandt 73

Award of Quote for MARTA Bus Pads Phase 2

K. OLD BUSINESS

K.1. Ordinance O2021-12-34 and O2021-12-35 Courtney.Smith 88

Second Read and Public Hearing of an Ordinance to the Mayor and City Council for a Special Land Use Permit SLUP-21-0008 (by Ordinance O2021-12-34) to allow fuel pumps and Special Land Use Permit SLUP-21-0009 (by Ordinance O2021-12-35) to allow alcohol sales for a gas station redevelopment at 4114 Lavista Road.

L. MAYOR AND COUNCIL COMMENTS

M. EXECUTIVE SESSION

- If required for personnel, real estate or litigation

N. ACTION AFTER EXECUTIVE SESSION

- As needed

O. ADJOURNMENT



MAYOR & CITY COUNCIL

SPECIAL CALLED MEETING MINUTES

Monday, December 13, 2021, 6:00 PM

Tucker City Hall

1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084

Members Present: Frank Auman, Mayor
Pat Soltys, Council Member District 1, Post 1
Matt Robbins, Council Member District 2, Post 1
Michelle Penkava, Council Member District 3, Post 1
Noelle Monferdini, Council Member District 2, Post 2
Anne Lerner, Council Member District 3, Post 2
Virginia Rece, Council Member District 1, Post 2

A. CALL TO ORDER

Mayor Auman called the meeting to order at 6:03 PM.

B. ROLL CALL

The above were in attendance for a quorum (Councilmember Soltys arrived at 6:10 PM).

C. HONOR OUTGOING COUNCIL MEMBERS

In honor of the outgoing Council Members Pat Soltys, Matt Robbins and Michelle Penkava as they complete their terms in office, a video was shown that was prepared by the Communications Dept, words of well-wishing were heard from residents, family, friends and colleagues. Mayor Auman presented each outgoing Councilmember with a proclamation in appreciation of their service.

C.1 P21-10 Proclamation in Honor of Pat Soltys

C.2 P21-11 Proclamation in Honor of Matt Robbins

C.3 P21-12 Proclamation in Honor of Michelle Penkava

D. ADJOURNMENT

MOVER: F. Auman

SECONDER: N. Monferdini

Motion to Adjourn for refreshments at 6:43 PM passed without objection.

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, N. Monferdini, A. Lerner, and V. Rece

APPROVED (7 to 0)

APPROVED: Frank Auman, Mayor

ATTEST: Bonnie Warne, Clerk

Date Approved



**MAYOR & CITY COUNCIL
REGULAR MEETING MINUTES**

**Monday, December 13, 2021, 7:00 PM
Tucker City Hall
1975 Lakeside Pkwy, Ste 350B, Tucker, GA 30084**

Members Present: Frank Auman, Mayor
Pat Soltys, Council Member District 1, Post 1
Matt Robbins, Council Member District 2, Post 1
Michelle Penkava, Council Member District 3, Post 1
Virginia Rece, Council Member District 1, Post 2
Noelle Monferdini, Council Member District 2, Post 2
Anne Lerner, Council Member District 3, Post 2

ZOOM link; <https://us02web.zoom.us/j/86513848066>

A. CALL TO ORDER

Mayor Auman called the meeting to order at 7:00 PM.

B. ROLL CALL

The above were in attendance for a quorum. (Note: Councilmember Soltys excused absence at 11:11 PM for medical reasons)

C. PLEDGE OF ALLEGIANCE

The pledge was led by the new City Staff.

D. MAYOR'S OPENING REMARKS

Mayor Auman introduced and welcomed three new staff members: Lisa Owen, Records Management Clerk, Robin Stevens, Social Media Coordinator, and Jackie Moffo, Economic Development Manager. The Mayor gave an update on the new businesses since the Nov 8th meeting: 29 new Occupational Tax Certificate applications were received. The Mayor also mentioned how citizens can sign up to receive the two-time award winning In Tucker magazine.

E. PUBLIC COMMENTS

Public comments were heard from four citizens in regards to the Tucker Summit CID Traffic Study update, sewer capacity, sanitation service for commercial, 2 new Eagle Scouts in B.S. Troop 129, massage therapy, and a resident with a Tucker zip code but not living within the city limits questioned why he was not able to vote in the city's election.

F. APPROVAL OF THE AGENDA

Motion to approve the agenda as presented passed unanimously.

MOVER: M. Robbins

SECONDER: M. Penkava

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

G. APPROVAL OF THE MINUTES

G.1 Regular Meeting - November 8, 2021

Motion to approve the minutes as presented passed unanimously.

MOVER: N. Monferdini

SECONDER: V.Rece

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

G.2 Work Session - November 22, 2021

Motion to approve the minutes as presented passed unanimously.

MOVER: N. Monferdini

SECONDER: V.Rece

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

G.3 Special Called Meeting - November 22, 2021

Motion to approve the minutes as presented passed unanimously.

MOVER: N. Monferdini

SECONDER: V.Rece

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

H. NEW BUSINESS

H.1 Ordinance O2021-12-34

Planning and Zoning Director Courtney Smith spoke on the Special Land Use Permit SLUP-21-0008 and SLUP 21-0009 applications. Mayor Auman held a public hearing, which the applicant spoke in favor and nobody spoke in opposition. The second read will be on January 11, 2022.

FIRST READ

H.2 Resolution R2021-12-26

Mayor Auman recommended appointing Steve Nicholas as the Chief Judge for Tucker Municipal Court.

Motion to approve Resolution R2021-12-26 to appoint Steve Nicholas as Chief Judge passed unanimously.

MOVER: M. Robbins

SECONDER: M. Penkava

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

H.3 Resolution R2021-12-27

John McHenry, Economic Development Director/Assistant City Manager, spoke on the resolution of the proposed ARPA funding project list that will make significant advances in water, stormwater and water line facilities while creating new outdoor recreation opportunities for our citizens.

Motion to approve Resolution R2021-12-27 passed unanimously.

MOVER: N. Monferdini

SECONDER: A. Lerner

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

H.4 Contract C2021-016-CO2201

Matt Holmes, Communications Director, spoke on the bid for website redesign and maintenance. Thirteen bids were received, and after the initial scoring, three finalists were chosen to interview. During the interview process Planeteria Media stood out from the others in all areas but specifically in the areas that are most important to the team: their Content Management System (CMS) is Open-Source, allowing for a more customizable creation process, more timely updates for the ever-changing trends and best practices in web design, their design and migration process, and ADA compliance.

Motion to award the contract to Planeteria Media in the amount of \$55,000 passed unanimously. (\$20,000 requires a budget amendment).

MOVER: A. Lerner

SECONDER: M. Penkava

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

H.5 Contract C2021-019-CE2205-SP2202 award by Resolution R2021-12-28

City Engineer Ken Hildebrandt spoke on the bid for the construction of sidewalk on portions of Brockett Road and Montreal Road. Gaps were identified on Brockett Road and Montreal Road, both collector streets, as priorities for sidewalk installation. Sidewalk will be installed on the east side of Brockett Road at three locations: Lawrenceville Highway to 2169 Brockett Road, in front of Brockett Elementary School, and from Marvin Lee Drive to Cooledge Road. Additionally, sidewalk will be constructed on both sides of Montreal Road from #1300 to #1414 (near Montreal Park and Alcan Way). Fourteen bids were received with DAF Concrete as low bid of \$277,760.00.

Motion to award the public works contract by Resolution R2021-12-28 to DAF Concrete for \$277,760.00 passed unanimously.

MOVER: N. Monferdini

SECONDER: M. Robbins

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

H.6 Intergovernmental Agreement IGA-2021-12-DBOE

Parks and Recreation Director Carlton Robertson spoke on the Intergovernmental Agreement for Facility Usage with DeKalb County Board of Education, which would formalize shared facility use, define usable space (fields, facilities, courts, etc.) and defines use responsibilities for each party, and will allow use by the schools and city when needed without the need to complete rental agreements for each use.

Motion to approve the Mayor to execute an Intergovernmental Agreement with the DeKalb County BOE substantially similar as presented passed unanimously.

MOVER: M. Penkava

SECONDER: N. Monferdini

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

I. OLD BUSINESS

I.1 Ordinance O2021-10-22

Motion to defer SLUP-21-0004 to January 24, 2022 per the applicant's request passed unanimously.

MOVER: M. Penkava

SECONDER: P. Soltys

AYES: (6): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, and A. Lerner

ABSTAIN: (1): N. Monferdini

APPROVED (6 to 0)

I.2 Ordinance O2021-11-23

Planning and Zoning Director Courtney Smith spoke on the rezoning application RZ-21-0002 for a townhome development at 3281 Tucker Norcross Road. Mayor Auman held a public hearing, which the applicant spoke in favor and four citizens spoke in opposition of the application.

Motion to deny the application for major modification to approved conditions of zoning for CZ-15-19934 (RZ-21-0002) was unanimous.

MOVER: M. Penkava

SECONDER: A. Lerner

Ordinance O2021-11-23 for application RZ-21-0002 was Denied Unanimously.

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED TO DENY REQUEST (7 to 0)

I.3 Ordinance O2021-11-24

Planning and Zoning Director Courtney Smith spoke on the rezoning RZ-21-0003 application for a drive through facility at 4650 Hugh Howell Road. Mayor Auman held a public hearing, which the applicant spoke in favor and nobody spoke in opposition of the application.

Motion to approve rezoning RZ-21-0003 with 40 conditions by Ordinance O2021-11-24 passed unanimously.

MOVER: P. Soltys

SECONDER: M. Robbins

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

I.4 Ordinance O2021-11-25

Planning and Zoning Director Courtney Smith spoke on the Special Land Use Permit SLUP-21-0005 application to allow a massage/health spa establishment at 2088 Idlewood Road Suite #6 for Phoenix Wellness Center. Mayor Auman held a public hearing, which the applicant spoke in favor and nobody spoke in opposition of the application.

Motion to approve the Special Land Use Permit SLUP-21-0005 with 7 conditions by Ordinance O2021-11-25 passed unanimously.

MOVER: N. Monferdini

SECONDER: V.Rece

AYES: (7): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

APPROVED (7 to 0)

I.5 Ordinance O2021-11-26

Planning and Zoning Director Courtney Smith spoke on the City-initiated rezoning RZ-21-0004 at 1581 Juliette Rd. Mayor Auman held a public hearing, which nobody spoke in favor or opposition.

Motion to approve the rezoning RZ-21-0004 by Ordinance O2021-11-26 passed in favor 5-2.

MOVER: A. Lerner

SECONDER: M. Robbins

AYES: (5): F. Auman, M. Robbins, M. Penkava, V.Rece, and A. Lerner

NAYES: (2): P. Soltys, and N. Monferdini

APPROVED (5 to 2)

I.6 Ordinance O2021-11-27

Planning and Zoning Director Courtney Smith spoke on the City-initiated rezoning RZ-21-0005 at 1551 Juliette Rd. Mayor Auman held a public hearing, which nobody spoke in favor or opposition.

Motion to approve the rezoning RZ-21-0005 by Ordinance O2021-11-27 passed in favor 5-2.

MOVER: A. Lerner

SECONDER: M. Penkava

AYES: (5): F. Auman, M. Robbins, M. Penkava, V.Rece, and A. Lerner

NAYES: (2): P. Soltys, and N. Monferdini

APPROVED (5 to 2)

I.7 Ordinance O2021-11-28

Planning and Zoning Director Courtney Smith spoke on the City-initiated rezoning RZ-21-0006 at 5960 Ease Ponce De Leon Avenue. Mayor Auman held a public hearing, which nobody spoke in favor or opposition.

Motion to approve the rezoning RZ-21-0006 by Ordinance O2021-11-28 passed in favor 6-1.

MOVER: P. Soltys

SECONDER: M. Penkava

AYES: (6): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, and A. Lerner

NAYES: (1): N. Monferdini

APPROVED (6 to 1)

I.8 Ordinance O2021-11-29

Planning and Zoning Director Courtney Smith spoke on the City-initiated rezoning RZ-21-0007 at 1220 Richardson St. Mayor Auman held a public hearing, which nobody spoke in favor and one person spoke in opposition.

Table RZ-21-0007 without objection to read in RZ-21-0008.

Motion to defer rezoning RZ-21-0007 and RZ-21-0008 until March 14, 2022 and to extend the moratorium on RZ-21-0007 and RZ-21-0008 until March 14, 2022 passed in favor 6-1.

MOVER: M. Penkava

SECONDER: N. Monferdini

DEFER TO MARCH 14, 2022

AYES: (6): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, and N. Monferdini

NAYES: (1): A. Lerner

APPROVED (6 to 1)

I.9 Ordinance O2021-11-30

Planning and Zoning Director Courtney Smith spoke on the City-initiated rezoning RZ-21-0008 at 1250 Richardson St. Mayor Auman held a public hearing, which nobody spoke in favor and 2 spoke in opposition.

Motion to defer rezoning RZ-21-0007 and RZ-21-0008 until March 14, 2022 and to extend the moratorium on RZ-21-0007 and RZ-21-0008 until March 14, 2022 passed in favor 6-1.

MOVER: M. Penkava
SECONDER: N. Monferdini

DEFER TO MARCH 14, 2022

AYES: (6): F. Auman, P. Soltys, M. Robbins, M. Penkava, V.Rece, and N. Monferdini

NAYES: (1): A. Lerner

APPROVED (6 to 1)

I.10 Ordinance O2021-11-31

Planning and Zoning Director Courtney Smith spoke on the City-initiated rezoning RZ-21-0009 at 1249 Richardson St. Mayor Auman held a public hearing, which nobody spoke in favor and one person spoke in opposition.

Motion to approve the rezoning RZ-21-0009 by Ordinance O2021-11-31 passed in favor 5-1-1.

MOVER: A. Lerner

SECONDER: V.Rece

AYES: (5): F. Auman, M. Robbins, M. Penkava, V.Rece, and A. Lerner

NAYES: (1): N. Monferdini

ABSENT: (1): P. Soltys

APPROVED (5 to 1)

I.11 Ordinance O2021-11-32

Planning and Zoning Director Courtney Smith spoke on the City-initiated rezoning RZ-21-0010 at 1237 Richardson St. Mayor Auman held a public hearing, which nobody spoke in favor or opposition.

Motion to approve the rezoning RZ-21-0010 by Ordinance O2021-11-32 passed in favor 5-1-1.

MOVER: A. Lerner

SECONDER: M. Robbins

AYES: (5): F. Auman, M. Robbins, M. Penkava, V.Rece, and A. Lerner

NAYES: (1): N. Monferdini

ABSENT: (1): P. Soltys

APPROVED (5 to 1)

I.12 Ordinance O2021-11-33

Planning and Zoning Director Courtney Smith spoke on the City-initiated rezoning RZ-21-0011 at 5160 Spring View Avenue. Mayor Auman held a public hearing, which nobody spoke in favor or opposition.

Motion to approve the rezoning RZ-21-0011 by Ordinance O2021-11-33 passed in favor 5-1-1.

MOVER: A. Lerner

SECONDER: M. Penkava

AYES: (5): F. Auman, M. Robbins, M. Penkava, V.Rece, and A. Lerner

NAYES: (1): N. Monferdini

ABSENT: (1): P. Soltys

APPROVED (5 to 1)

J. MAYOR AND COUNCIL COMMENTS

The Mayor and Council thanked staff, wished the new Council much success, and Happy Holidays to all.

K. EXECUTIVE SESSION - None

L. ACTION AFTER EXECUTIVE SESSION - None

M. ADJOURNMENT

MOVER: N. Monferdini

SECONDER: M. Penkava

Motion to Adjourn at 11:38 PM passed unanimously.

AYES: (6): F. Auman, M. Robbins, M. Penkava, V.Rece, N. Monferdini, and A. Lerner

ABSENT: (1): P. Soltys

APPROVED (6 to 0)

APPROVED: Frank Auman, Mayor

ATTEST: Bonnie Warne, Clerk

Date Approved



MEMO

To: Honorable Mayor and City Council Members
From: Tami Hanlin, City Manager
Date: January 11, 2022
RE: Memo on a Resolution to Elect a Mayor Pro-Tem

Issue:

The mayor pro tempore role needs to be voted upon and elected to serve in the absence of the mayor per the City of Tucker Charter.

Recommendation:

The Council to elect a mayor pro tempore for the City of Tucker

Background:

Charter and Code of Ordinances for the City of Tucker, Georgia Section 2.09. Meetings, oath of office, and mayor pro tempore (b) Following the induction of the mayor and councilmembers, the city council, by a majority vote of the councilmembers, shall elect a councilmember to be mayor pro tempore, who shall serve for a term of two years and until a successor is elected and qualified. The number of successive terms an individual may hold a position as mayor pro tempore shall be unlimited.

The mayor pro tempore shall assume the duties and powers of the mayor during the mayor's temporary disability, suspension, or absence. If the mayor pro tempore is absent because of sickness or disqualification, any one of the remaining councilmembers, chosen by the councilmembers present, shall be clothed with all the rights and privileges of the mayor as described in this Charter and shall perform the mayor's duties in the same manner as the mayor pro tempore

Summary:

A mayor pro tem shall be elected and appointed by the City Council by resolution.

Financial Impact: None.

**STATE OF GEORGIA
CITY OF TUCKER**

RESOLUTION R2022-01-01

**A RESOLUTION APPOINTING A MAYOR PRO TEMPORE OF THE CITY OF
TUCKER, GEORGIA**

WHEREAS, according to the Charter and Code of Ordinances for the City of Tucker, Georgia Section 2.09. Meetings, oath of office, and mayor pro tempore (b) Following the induction of the mayor and councilmembers, the city council, by a majority vote of the councilmembers, shall elect a councilmember to be mayor pro tempore, who shall serve for a term of two years and until a successor is elected and qualified. The number of successive terms an individual may hold a position as mayor pro tempore shall be unlimited; and

WHEREAS, the mayor pro tempore shall assume the duties and powers of the mayor during the mayor's temporary disability, suspension, or absence. If the mayor pro tempore is absent because of sickness or disqualification, any one of the remaining councilmembers, chosen by the councilmembers present, shall be clothed with all the rights and privileges of the mayor as described in this Charter and shall perform the mayor's duties in the same manner as the mayor pro tempore.; and

WHEREAS, _____ is recommended to serve and is duly qualified and agreeable to hold the position as Mayor Pro Tempore of the City of Tucker, Georgia; and

NOW THEREFORE, BE IT RESOLVED by a majority vote of the Mayor and Council of the City of Tucker that Councilmember _____ shall be appointed as Mayor Pro Tem and said appointment shall be and remain effective from and after its date of adoption and until revoked.

SO ORDAINED and EFFECTIVE, this 11th day of January 2022.

APPROVED:

Frank Auman, Mayor

ATTEST:

Bonnie Warne, City Clerk

(seal)



MEMO

To: Honorable Mayor and City Council Members
From: John McHenry
CC: Tami Hanlin, City Manager
Date: January 11th, 2022
RE: Memo on Revised Downtown Development Authority Boundary

Issue: Need to revise Downtown Development Authority boundary.

Recommendation: Staff is recommending that the Downtown Development Authority boundary be expanded to include commercial properties in the Northlake area that have been annexed since the City created the initial boundary in May of 2017..

Background: With the request for annexations in the Northlake area the City which has grown. The properties are of a commercial nature including a shopping center and the majority of Northlake Mall. For the Downtown Development Authority to use their economic development tools to further redevelopment, these parcels need to be within their boundary. Only the City can make changes to Downtown Development Authority boundary. These 16 parcels would expand the boundary of Downtown Development Authority.

Summary: Tucker Downtown Development Authority expands boundary to increase redevelopment opportunities in Northlake.

Financial Impact: No financial impact

**A RESOLUTION TO REVISE THE GEOGRAPHICAL AREA OF THE DOWNTOWN
DEVELOPMENT AUTHORITY FOR THE CITY OF TUCKER, GEORGIA**

WHEREAS, the Mayor and City Council have determined that there exists a need for an authority to function in the City of Tucker;

WHEREAS, O.C.G.A § 36-42-6 states that the governing body shall designate as the downtown development area that geographical area within the municipal corporation which, in the judgment of the governing body, constitutes the central business district and shall appoint the initial directors of the authority;

WHEREAS, the Mayor and City Council initially set the boundary for Downtown Development Authority on the 8th of May, 2017;

WHEREAS, the City has annexed additional commercial properties which are an addition to the central business district;

WHEREAS, the Mayor and City Council shall appoint the Board of the Downtown Development Authority by separate Resolution;

NOW THEREFORE BE IT RESOLVED this 11th day of January 2022 by the Mayor and City Council that the attached map and parcel listing shall be designated as the downtown development area which constitutes the central business district.

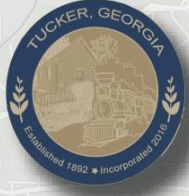
APPROVED:

Frank Auman, Mayor

ATTEST:

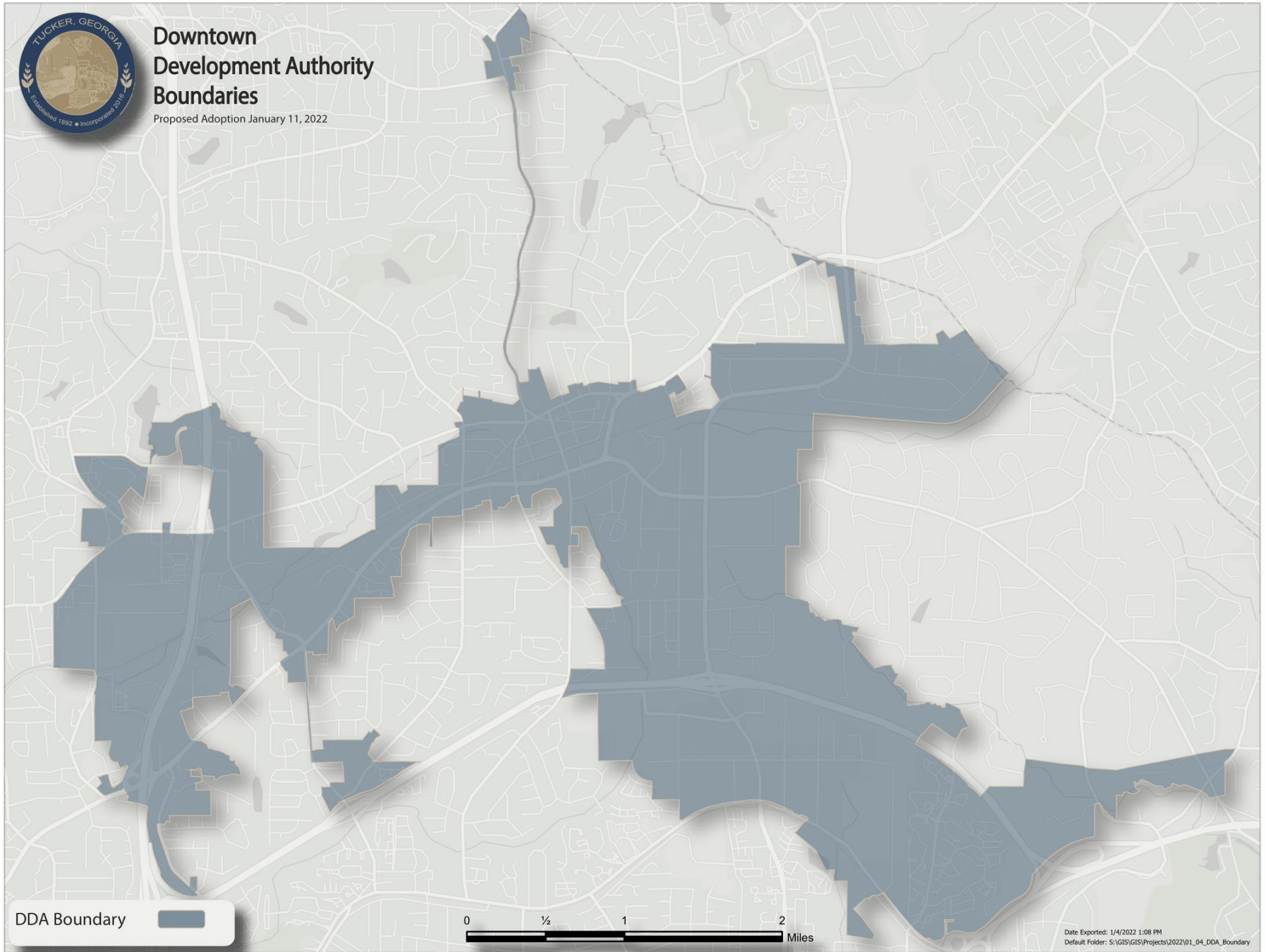
Bonnie Warne, City Clerk

(seal)



Downtown Development Authority Boundaries

Proposed Adoption January 11, 2022



<u>PARCEL ID</u>	<u>STREET ADDRESS</u>	² <u>UNIT</u>	<u>TYPE</u>	<u>CITY</u>	<u>STATE</u>	<u>ZIP</u>	<u>EXTENSION</u>
18 214 17 125	2248 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 04 092	2227 DILLARD STREET			TUCKER	GA	30084	4906
18 223 01 030	4998 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3032
18 214 04 064	2103 IDLEWOOD ROAD			TUCKER	GA	30084	4811
18 215 03 005	4538 HUGH HOWELL ROAD			TUCKER	GA	30084	5014
1821402012	2119 ROSSER TERRACE			TUCKER	GA	30084	4902
18 214 17 105	2233 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 04 074	2126 ROSSER TERRACE			TUCKER	GA	30084	4907
18 214 04 024	2125 HANFRED COURT			TUCKER	GA	30084	4807
18 215 02 001	2140 FLINTSTONE DRIVE			TUCKER	GA	30084	5943
1821408018	4450 HUGH HOWELL ROAD			TUCKER	GA	30084	
18 185 01 080	4444 ELMDALE DRIVE			TUCKER	GA	30084	6246
18 139 05 026	4601 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1001
18 139 05 001	1585 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083	1915
18 214 15 003	2297 MAIN STREET			TUCKER	GA	30084	1740
18 214 17 132	2251 DILLARD CROSSING			TUCKER	GA	30084	5943
18.21417 006	2107 DILLARD CROSSING			TUCKER	GA	30084	5854
18 212 11 027	4011 CHELSEA COMMON			TUCKER	GA	30084	4314
18 188 04 047	3567 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5804
18 214 17 070	2181 DILLARD CROSSING			TUCKER	GA	30084	5939
18 214 01 029	2182 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	4911
18 212 03 092	3875 STEPHENS COURT	STE	C	TUCKER	GA	30084	4322
18 210 01 009	2093 VISTA DALE COURT			TUCKER	GA	30084	5423
18 190 02 002	3905 LAVISTA ROAD			TUCKER	GA	30084	5108
18 214 15 012	4286 3RD AVENUE			TUCKER	GA	3,0084	
18 184 06 003	4772 STONE DRIVE			TUCKER	GA	30084	6621
18 184 07 036	1949 MOUNTAIN INDUSTRIAL BOULEVARD	STE	5	TUCKER	GA	30084	6613
18 187 07 021	3603 WOODBRIAR CIRCLE	UNIT	E	TUCKER	GA	30084	5863
1818707078	3607 WOODBRIAR CIRCLE	UNIT	J	TUCKER	GA	30084	5838
1821211020	4022 CHELSEA COMMON			TUCKER	GA	30084	4306
18 190 05 080	3825 LAVISTA ROAD	UNIT	A3	TUCKER	GA	30084	5134
18 214 04 065	2115 IDLEWOOD ROAD			TUCKER	GA	30084	4816
18 213 08 020	2354 FELLOWSHIP ROAD			TUCKER	GA	30084	4624
18 165 05 021	1649 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	7024
18 215 01 002	4650 HUGH HOWELL ROAD			TUCKER	GA	30084	5943
18 187 07 086	3609 WOODBRIAR CIRCLE	UNIT	B	TUCKER	GA	30084	5840"
18 256 06 032	2720 TUCKER VALLEY ROAD			TUCKER	GA	30084	3003
18 184 04 002	1830 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6617
18 185 01 074	4489 BIBB BOULEVARD			TUCKER	GA	30084	
18 214 01 006	4454 FLORENCE STREET			TUCKER	GA	30084	4901

18 214 17 157	2294 DILLARD CROSSING			TUCKER	GA	30084	5943
1821401016	2158 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	5020
18 214 04 020	2163 HANFRED COURT			TUCKER	GA	30084	4807
18188 04 048	3549 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5804
18 212 04 010	3766 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5507
18 212 03 091	3881° STEPHENS COURT			TUCKER	GA	30084	4322
18 212 03 094	3861 STEPHENS COURT			TUCKER	GA	30084	4322
18 256 06 031	2730 TUCKER VALLEY ROAD			TUCKER	GA	30084	3003
18 188 01 024	2043 STEEL DRIVE			TUCKER	GA	30084	5803
1821306007	2267 BROCKETT ROAD			TUCKER	GA	30084	4400
18 188 01 017	3540 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4104
18 138 01 009	1510 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
1821417009	2133 DILLARD CROSSING			TUCKER	GA	30084	5854
18 214 17 035	2128 DILLARD CROSSING			TUCKER	GA	30084	5878
18 214 17 023	2161 DILLARD CROSSING			TUCKER	GA	30084	5937
18 184 07 004	4665 GRANITE DRIVE			TUCKER	GA	30084	6609
18 214 16 007	2204 DILLARD STREET			TUCKER	GA	30084	4829
18 214 02 011	4447 FLORENCE STREET			TUCKER	GA	30084	4902
18 169 01 014	1664 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083	7616
1821416008	2200 DILLARD STREET			TUCKER	GA	30084	4829
18 215 02 014	4615 HUGH HOWELL ROAD			TUCKER	GA	30084	6303
18 213 03 002	3955 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4520
18 144 03 223	2997 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	8131
1821417111	2249 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 078	2197 DILLARD CROSSING			TUCKER	GA	30084	5939
18 225 05 016	4304 LYNBURN DRIVE			TUCKER	GA	30084	4440
18 214 17 084	2210 DILLARD CROSSING			TUCKER	GA	30084	5940
18 214 17 052	2160 DILLARD CROSSING			TUCKER	GA	30084	5934
18 223 06 007	4963 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3006
18 184 02 003	2075 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	6252
18 213 07 008	4096 COMANCHE DRIVE			TUCKER	GA	30084	4422
1821315003	4012 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	8504
18 213 09 010	2308 FELLOWSHIP ROAD			TUCKER	GA	30084	4612
18 212 11 006	4037 CHELSEA COMMON			TUCKER	GA	30084	4314
18 226 06 018	5097 CHAMBLEE TUCKER ROAD			TUCKER	GA	30084	3539
18 21211 042	3988 CHELSEA COMMON			TUCKER	GA	30084	4321
1821415018	4162 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4715
18 139 05 024	4649 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1003
18 215 02 023	4681 HUGH HOWELL ROAD		REAR	TUCKER	GA	30084	
18 210 09 022							
1818707014	3601 WOODBRIAR CIRCLE	UNIT	F	TUCKER	GA	30084	5863
1818707016	3601 WOODBRIAR CIRCLE	UNIT	H	TUCKER	GA	30084	5863
18 187 07 053	3599 WOODBRIAR CIRCLE	UNIT	C	TUCKER	GA	30084	5838

18 187 07 070	3607 WOODBRIAR CIRCLE	UNIT	B	TUCKER	GA	30084	5838
18 213 08 049	4112 ADRIAN STREET			TUCKER	GA	30084	
18 210 08 044	2150 NORTHLAKE PARKWAY			TUCKER	GA	30084	4114
18 212 07 009	3671 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5508
1821211081	3948 CHELSEA COMMON			TUCKER	GA	30084	4321
18 188 01 014	3516 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4104
1818701092	3613 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5510
18 189 07 003	2060 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	5334
18 213 12 003	2349 2ND STREET			TUCKER	GA	30084	4626
18 213 08 015	4130 ADRIAN STREET			TUCKER	GA	30084	4406
1821308019	4200 BANCROFT CIRCLE			TUCKER	GA	30084	4406
18 144 11 002	1491 MONTREAL ROAD E			TUCKER	GA	30084	8006
18 213 06 008	2261 BROCKETT ROAD			TUCKER	GA	30084	4400
18 213 08 004	4072 ADRIAN STREET			TUCKER	GA	30084	4404
18 213 12 004	2341 2ND STREET			TUCKER	GA	30084	4626
18 213 16 007	4271 1ST AVENUE			TUCKER	GA	30084	8505
18 212 11 003	2344 BROCKETT ROAD			TUCKER	GA	30084	4475
18 212 11 029	3999 CHELSEA COMMON			TUCKER	GA	30084	
18 226 06 017	5103 CHAMBLEE TUCKER ROAD			TUCKER	GA	30084	3506
18 212 11 058	3975 CHELSEA COMMON			TUCKER	GA	30084	4323
18 212 04 002	3820 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4503
18 213 12 023	4228 1ST AVENUE	STE	3	TUCKER	GA	30084	
18 188 01 032	2014 STEEL DRIVE			TUCKER	GA	30084	5832
1819004010	3289 MONTREAL INDUSTRIAL WAY.			TUCKER	GA	30084	5214
18 190 05 105	3825 LAVISTA ROAD	UNIT	Z1	TUCKER	GA	30084	5133
18 190 05 048	3825 LAVISTAROAD	UNIT	M2	TUCKER	GA	30084	5121
18 190 05 050	3825 LAVISTA ROAD	UNIT	N4	TUCKER	GA	30084	
18 190 02 036	1860 MONTREAL ROAD W			TUCKER	GA	30084	5709
18 190 03 015	2007 MONTREAL ROAD W			TUCKER	GA	30084	5204
18 164 06 003	1644 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	6702
18 214 08 013	2301 FULLER WAY			TUCKER	GA	30084	
18 214 17 159	2298 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 099	2224 DILLARD CROSSING			TUCKER	GA	30084	5943
18 184 07 026	4756 HAMMERMILL ROAD			TUCKER	GA	30084	6613
18 171 02 003	1670 VEAL MILL ROAD			STONE MOUNTAIN	GA	30083	2001
18 226 02 002	5036 LAVISTA ROAD			TUCKER	GA	30084	3520
18 210 11 003	3530 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 213 12 013	2370 MAIN STREET	UNIT	1	TUCKER	GA	30084	
18 190 05 071	3825 LAVISTA ROAD	UNIT	S2	TUCKER	GA	30084	5126
18 256 05 060	2922 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3012
18 214 08 007	4404 HUGH HOWELL ROAD			TUCKER	GA	30084	8518
18 224 05 002	4600 NORTH ROYALATLANTA DRIVE			TUCKER	GA	30084	3830
18 170 02 012	4600 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1009

18 190 05 072	3825 LAVISTA ROAD	UNIT	S3	TUCKER	GA	30084	
18 164 03 050	1724 MONTREAL CIRCLE			TUCKER	GA	30084	6802
18 214 04 093	2223 DILLARD STREET			TUCKER	GA	30084	4906
18 187 07 081	3607 WOODBRIAR CIRCLE	UNIT	M	TUCKER	GA	30084	5840
18 213 07 014	4148 BANCROFT CIRCLE			TUCKER	GA	30084	4472
18 213 08 002	2341 BROCKETT ROAD			TUCKER	GA	30084	4474
18 212 11 031	4000 CHELSEA COMMON			TUCKER	GA	30084	4306
18 184 06 006	.4919 HAMMERMILL ROAD			TUCKER	GA	30084	
18 138 01 012	1574 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
18 222 01 015	5100 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	1214
18 223 05 003	4774 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3805
18 224 05 004	4696.NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3830
18 256 06 030	2740 TUCKER VALLEY ROAD			TUCKER	GA	30084	3003
18 144 12 016	1459 MONTREAL ROAD E	UNIT	402	TUCKER	GA	30084	6900
18 144 12 010	1459 MONTREAL ROAD E	UNIT	311	TUCKER	GA	30084	6930
18 213 12 025	4228 1ST AVENUE	STE	5	TUCKER	GA	30084	4426
18 190 05 002	3825 LAVISTA ROAD	UNIT	B 1	TUCKER	GA	30084	5110
18 190 04 009	1855 MONTREAL ROADW		REAR	TUCKER	GA	30084	
18 164 03 048	1720 MONTREAL CIRCLE			TUCKER	GA	30084	6802
18 190 05 087	3825 LAVISTA ROAD	UNIT	V3	TUCKER	GA	30084	5129
18 190 02 004	3865 LAVISTA ROAD			TUCKER-	GA	30084	5108
18 190 03 002	2015 MONTREAL ROAD W		REAR	TUCKER	GA	30084	5224
18 190 05 079	3825 LAVISTA ROAD	UNIT	A2	TUCKER	GA	30084	5134
18 188 02 034	1922 NORTHLAKE PARKWAY			TUCKER	GA	30084	7131
1821502026	2177 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 215 04 015	4551 HUGH HOWELL ROAD			TUCKER	GA	30084	
18 187 07 047	3595 WOODBRIAR CIRCLE	UNIT	M	TUCKER	GA	30084	5810
18187 07 063	3605 WOODBRIAR CIRCLE	UNIT	E	TUCKER	GA	30084	5838
18 213 14 024	4221 1ST AVENUE	STE	E	TUCKER	GA	30084	8504
18 213 14 026	4221 1ST AVENUE			TUCKER	GA	30084	8504
18 171 02 012	1701 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1104
18 171 02 022	1664 LEWIS WAY			STONE MOUNTAIN	GA	30083	1104
18 225 08 013	4459 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3708
18 256 06 197	2897 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3010
18 223 01 029	2725 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3032
18 184 08 002	4695 HAMMERMILL ROAD			TUCKER	GA	30084	6666
18 214 05 034	4330 COWAN ROAD			TUCKER	GA	30084	
18 214 17 083	2208 DILLARD CROSSING			TUCKER	GA	30084	5940
1821417110	2223 DILLARD CROSSING			TUCKER	GA	30084	5943
18 225 05 007	5127 .LAVISTA ROAD			TUCKER	GA	30084	3602
18 215 02 002	4640 GRANITE DRIVE			TUCKER	GA	30084	6303
18 214 17 077	2195 DILLARD CROSSING			TUCKER	GA	30084	5939
18 223 06 012	4949 SOUTH ROYAL ATLANTA DRIVE .			TUCKER	GA	30084	3006

18 189 02 010	1795 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084 5915
1821001 007	2105 VISTA DALE COURT			TUCKER	GA	30084 5418
18-210 01 014	2122 VISTA DALE COURT			TUCKER	GA	30084 5417
18 214 17 048	2152 DILLARD CROSSING			TUCKER	GA	30084 5934
18 214 17 030	2147 DILLARD CROSSING			TUCKER	GA	30084 5937
18 188 05 067	3443 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5802
18 214 08 011	4500 HUGH HOWELL ROAD			TUCKER	GA	30084 8518
18 184 07 039	1959 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084
18 214 04 028	2126 HANFRED COURT			TUCKER	GA	30084 4807
18 215 02 007	2145 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6303
18 140 01 059	1580 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083 7921
18 214 08 008	4346 HUGH HOWELL ROAD			TUCKER	GA	30084 8518
18 214 04 022	2143 HANFRED COURT			TUCKER	GA	30084 4807
18 214 17 127	2261 DILLARD CROSSING			TUCKER	GA	30084 5943
18 214 04 033	4340 HANFRED LANE			TUCKER	GA	30084 4811
18 212 07 007	3701 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084.5511
18 212 04 017	3658 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5507
18 213 10.013	4200 RAILROAD AVENUE			TUCKER	GA	30084 4446
18 187 07 007	3597 WOODBRIAR CIRCLE	UNIT	G	TUCKER	GA	30084 5841
18 187 07 045	3595 WOODBRIAR CIRCLE	UNIT	K	TUCKER	GA	30084 5810
18 187 07 052	3599 WOODBRIAR CIRCLE	UNIT	B	TUCKER	GA	30084 5810
18 187 07 059	3605 WOODBRIAR CIRCLE	UNIT	A	TUCKER	GA	30084 5838
18 212 11 074	3951 CHELSEA COMMON			TUCKER	GA	30084
18 212 11 080	3950 CHELSEA COMMON			TUCKER	GA	30084 4321
18 188 05 002	3383 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 7116
18 188 01 036	2000 STEEL DRIVE			TUCKER	GA	30084 5832
18 224 03 005	2530 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 3707
18 223 07 027	2501 ROYAL PLACE			TUCKER	GA	30084 3033
18 223 01 014	4919 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3032
18 256 06 198	2893 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 3037
18 225 04 004	5128 LAVISTA ROAD.			TUCKER	GA	30084 3637
18 223 02 005	2558 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 3810
18 256 05 056	2831 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084
18 225 05 024	5189 LAVISTA ROAD			TUCKER	GA	30084
18 184 08 004	4789 HAMMERMILL ROAD			TUCKER	GA	30084 6611
18 222 02 019	5175 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3053
18 225 08 014	4275 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 3708
18 223 06 018	5025 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084.3006
18 185 01 069	4401 BIBB BOULEVARD			TUCKER	GA	30084 6243
18 184 07 011	2037 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6306
18 185 01 075	4411 BIBB BOULEVARD			TUCKER	GA	30084 6246
18 214 17 039	2136 DILLARD CROSSING			TUCKER	GA	30084 5878
18 21417 012	2127 DILLARD CROSSING			TUCKER	GA	30084 5854

1821417115	2241 DILLARD CROSSING			TUCKER	GA	30084 5943
18 139 05 021	4579 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1001
18 139 05 020	4609 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1915
18 139 03 001	4721 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1915
18 138 01 001	4801 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1515
18138 01,0"13	4841 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1325
18 138 02 021	4899 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1325
1813904001	5448 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083 1915
18 256 05 057	2926 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 1706
18 215 02 025	4642 GRANITE DRIVE			TUCKER	GA	30084 6303
1821417120	2238 DILLARD CROSSING			TUCKER	GA	30084 5943
18 214 17 126	2250 DILLARD CROSSING			TUCKER	GA	30084 5943
18 214 02 014	2103 ROSSER TERRACE			TUCKER	GA	30084 4908
18 185 01 050	4496 ELMDALE DRIVE			TUCKER	GA	30084 6250
18 184 07 023	4880 HAMMERMILL ROAD			TUCKER	GA.	30084 6613'
18 214 05 027	4303 HUGH HOWELL ROAD			TUCKER	GA	30084.4906
18 184 05 023	4627 HAMMERMILL ROAD			TUCKER	GA	30084
18 210 09 019	2255 NORTHLAKE PARKWAY			TUCKER	GA	30084 4114
18 187 07 008	3597 WOODBRIAR CIRCLE	UNIT	H	TUCKER	GA	30084 5841
18 187 07 055	3599 WOODBRIAR CIRCLE	UNIT	E	TUCKER	GA	30084 5838
18 187 07 062	3605 WOODBRIAR CIRCLE	UNIT	D	TUCKER	GA	30084 5838
18 187 07 074	3607 WOODBRIAR CIRCLE	UNIT	F	TUCKER	GA	30084 5838
18 187 07 087	3609 WOODBRIAR CIRCLE	UNIT	C	TUCKER	GA	30084 5840
18 187 07 089	3609 WOODBRIAR CIRCLE	UNIT	E	TUCKER	GA	30084 5840
18 187 07 092	3609 WOODBRIAR CIRCLE	UNIT	H	TUCKER	GA	30084 5840
18 187 07 004	3597 WOODBRIAR CIRCLE	UNIT	D	TUCKER	GA	30084 6403
18 214 17 045	2148 DILLARD CROSSING			TUCKER	GA	30084 5934
18 214 17 017	2145 DILLARD CROSSING			TUCKER	GA	30084 5937
18 214 17 020	2139 DILLARD CROSSING			TUCKER	GA	30084 5937
18 184 05 014	1909 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6630
18 214 17 064	2169 DILLARD CROSSING			TUCKER	GA	30084 5937
18 214 17 093	2213 DILLARD CROSSING			TUCKER	GA	30084 5941
18 214 17 092	2215 DILLARD CROSSING			TUCKER	GA	30084 5941
18 214 17 091	2217 DILLARD CROSSING			TUCKER	GA	30084 5941
18 214 17 085	2212 DILLARD CROSSING			TUCKER	GA	30084 5940
1821417087	2216 DILLARD CROSSING			TUCKER	GA	30084 5940
18 212 03 024	2258 BROCKETT ROAD			TUCKER	GA	30084 4414
1821001003	2135 VISTA DALE COURT			TUCKER	GA	30084 5418
18 210 01 005	2119 VISTA DALE COURT			TUCKER	GA	30084 5418
18 188 04 011	3555 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5850
18 210 02 001	4135 LAVISTA ROAD			TUCKER	GA	30084 5300
18 210 10 002	4131 LAVISTA ROAD			TUCKER	GA	30084 4114
18 210 10 001	4125 LAVISTA ROAD			TUCKER	GA	30084

18 21417 106	2231 DILLARD CROSSING	TUCKER	GA	30084 5943
18 214 17 101	2228 DILLARD CROSSING	TUCKER	GA	30084 5943
18 214 17 032	2122 DILLARD CROSSING	TUCKER	GA	30084 5878
18 214 17 008	2103 DILLARD CROSSING	TUCKER	GA	30084 5854
18 165 05 023	1810 CEMETERY AVENUE	TUCKER	GA	30084 7024
18 184 06 001	1909 FORGE STREET	TUCKER	GA	30084 6608
18 171 05 004	1629 LITTON DRIVE	STONE MOUNTAIN	GA	30083 1116
18 170 01 008	1619 MOUNTAIN INDUSTRIAL BOULEVARD	STONE MOUNTAIN	GA	30083
18 1.70 02 022	1661 ROADHAVEN DRIVE	STONE MOUNTAIN	GA	30083 1009
18 171 02 002	4900 LEWIS ROAD	STONE MOUNTAIN	GA	30083 2001
18 214 04 080	2174 ROSSER TERRACE	TUCKER	GA	30084 4907
18 21417130	2255 DILLARD CROSSING	TUCKER	GA	30084 5943
18 214 17 142	2282 DILLARD CROSSING	TUCKER	GA	30084 5943
18 214 17 141	2280 DILLARD CROSSING	TUCKER	GA	30084 5943
18 214 01 012	4498 FLORENCE STREET	TUCKER	GA	30084 4901
18 256 06 035	2690 TUCKER VALLEY ROAD	TUCKER	GA	30084 3003
18 214 17 133	2273 DILLARD CROSSING	TUCKER	GA	30084 5943
18 214 04 063	2165 IDLEWOOD ROAD	TUCKER	GA	30084 4811
18 214 04 034	4348 HANFRED LANE	TUCKER	GA	30084 4811
18 138 02 004	5682 EAST PONCE DE LEON AVENUE	STONE MOUNTAIN	GA	30083 1325
18 215 02 015	4633 HUGH HOWELL ROAD	TUCKER	GA	30084 6303
18 184 01 010	1819 MOUNTAIN INDUSTRIAL BOULEVARD	TUCKER	GA	30084 6600
18 214 04 095	2213 DILLARD STREET	TUCKER	GA	30084 4906
18 214 04 017	4345 COWAN ROAD	TUCKER	GA	30084 4802
18 21416 011	4405 COWAN ROAD	TUCKER	GA	30084 4829
18 223 07 029	2534 ROYAL PLACE	TUCKER	GA	30084 8600
18 224 05 003	4660 NORTH ROYAL ATLANTA DRIVE	TUCKER	GA	30084 3830
18 212 11 039	4007 CHELSEA COMMON	TUCKER	GA	30084 4314
18 212 11 046	4006 CHELSEA COMMON	TUCKER	GA	30084 4306
18 212 11 055	3979 CHELSEA COMMON	TUCKER	GA	30084 4323
18 212 11 030	4002 CHELSEA COMMON	TUCKER	GA	30084
18 212 10 038	2201 MOON STREET	TUCKER	GA	30084 3301
18 212 03 033	2278 BROCKETT ROAD	TUCKER	GA	30084 4414
18 213 14 003	2316 MAIN STREET	TUCKER	GA	30084
18 213 15 013	4070 LAWRENCEVILLE HIGHWAY	TUCKER	GA	30084 4621
18 213 15 020	4094 LAWRENCEVILLE HIGHWAY	TUCKER	GA	30084 4616
18 213 09 006	4105 BANCROFT CIRCLE	TUCKER	GA	30084 4411
18 188 05 014	3393 LAWRENCEVILLE HIGHWAY	TUCKER	GA	30084 7135
18 188 05 003	3417 LAWRENCEVILLE HIGHWAY	TUCKER	GA	30084 7116
18 214 09 021	2245 IDLEWOOD ROAD	TUCKER	GA	30084 4818
18 170 02 004	1678 MOUNTAIN INDUSTRIAL BOULEVARD	STONE MOUNTAIN	GA	30083
18 171 02 013	1635 STONE RIDGE DRIVE	STONE MOUNTAIN	GA	30083 1104
18 138 02 024	1446 ROCK MOUNTAIN BOULEVARD	STONE MOUNTAIN	GA	30083

18 212 11 056	3977 CHELSEA COMMON			TUCKER	GA	30084 4323
18 212 11 061	3969 CHELSEA COMMON			TUCKER	GA	30084 4323
18 212 11 066	3972 CHELSEA COMMON			TUCKER	GA	30084 4321
18 187 07 013	3601 WOODBRIAR CIRCLE	UNIT	E	TUCKER	GA	30084 5863
1818707028	3603 WOODBRIAR CIRCLE	UNIT	L	TUCKER	GA	30084 5863
1821302011	2189 BROCKETT ROAD			TUCKER	GA	30084 4514
18 189 02 051	2060 NORTHLAKE PARKWAY			TUCKER	GA	30084 7036
18 226 04 006	2390 MAIN STREET			TUCKER	GA	30084
18 212 06 017	3781 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4504
18 189 05 013	2082 EAST EXCHANGE PLACE			TUCKER	GA	30084 5334
18 188 01 010	3482 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5801
18 188 01 028	3378 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 7138
18 188 01 035	1996 STEEL DRIVE			TUCKER	GA	30084
18 144 10 002	3394 SETTLEMENT ROAD			TUCKER	GA	30084
18 189 08 024	1870 MONTREAL COURT			TUCKER	GA	30084 5211
18 213 08 016	4136 ADRIAN STREET			TUCKER	GA	30084 4406
18 213 04 021	2211 FELLOWSHIP ROAD			TUCKER	GA	30084 2834
1821304013	4075 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4620
18 144 07 010	2915 LAWRENCEVILLE HIGHWAY,			TUCKER	GA	30084 8130
18 213 06 024	4073 COMANCHE DRIVE			TUCKER	GA	30084 4423
1821307006	4080 COMANCHE DRIVE			TUCKER	GA	30084 4422
18 213 07 009	4100 COMANCHE DRIVE			TUCKER	GA	30084 4424
18 213 04 010	4107 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4817
18 213 06 010	2249 BROCKETT ROAD			TUCKER	GA	30084 4400
1821306011	2243 BROCKETT ROAD			TUCKER	GA	30084 4400
1821310005	4186 RAILROAD AVENUE			TUCKER	GA	30084 4484
18 213 10 007	2302 2ND STREET			TUCKER	GA	30084 4453
18 213 10 009	2318 2ND STREET			TUCKER	GA	30084 4453
1821311004	4188 1ST AVENUE			TUCKER	GA	30084 4427
18 213 12 012	2356 MAIN STREET			TUCKER	GA	30084
1821314014	4205 1ST AVENUE	STE	300	TUCKER	GA	30084 4430
18 213 08 021	2366 FELLOWSHIP ROAD			TUCKER	GA	30084 4624
18 213 08 037	4845 LAVISTA ROAD			TUCKER	GA	30084 4436
18 213 12 008	2368 MAIN STREET			TUCKER	GA	30084 4477
18 188 01 002	1975 LAKESIDE PARKWAY			TUCKER	GA	30084 5840
18 188 04 018	3605 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5850
18 212 07 012	3691 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
1821203030	2188 STEPHENS STREET			TUCKER	GA	30084 4414
18 212 03 029	2267 MOON STREET			TUCKER	GA	30084 4414
1816501060	1761 CEMETERY AVENUE			TUCKER	GA	30084
18 213 15 018	2250 TOWNSHIP LANE			TUCKER	GA	30084 4616
18 213 16 029	2341 MAIN STREET			TUCKER	GA	30084 2505
18 213 05 003	3926 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4110

1821305005	3940 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4505
18 213 05 008	3950 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4505
18 210 11 005	3521 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
18 210 11 021	3552 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
1821011 017	3584 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
18- 210 11 025	3544 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
18 213 12 036	4228 1ST AVENUE	STE	16	TUCKER	GA	30084 4426
18 190 03 001	3937 LAVISTA ROAD			TUCKER	GA	30084 5201
18 164 03 016	1700 MONTREAL CIRCLE			TUCKER	GA	30084 6801
18 190 05 085	3825 LAVISTA ROAD	UNIT	U 1	TUCKER	GA	30084 5109
18 190 05 068	3825 LAVISTA ROAD	UNIT	R3	TUCKER	GA	30084 5125
18 164 03 049	1718 MONTREAL CIRCLE			TUCKER	GA	30084
18 164 06 006	1628 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084 7031
1821415013	2305 4TH STREET			TUCKER	GA	30084 4716
18 139 03 003	5500 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083 1915
1814412019	1459 MONTREAL ROAD E	UNIT	510	TUCKER	GA	30084 6900
18 190 05 024	3825 LAVISTA ROAD	UNIT	G3	TUCKER	GA	30084 5115
18 190 05 025	3825 LAVISTA ROAD	UNIT	G4	TUCKER	GA	30084 5115
18 190 05 033	3825 LAVISTA ROAD	UNIT	14	TUCKER	GA	30084 5117
18 190 05 032	3825 LAVISTA ROAD	UNIT	13	TUCKER	GA	30084 5117
18 190 05 030	3825 LAVISTA ROAD	UNIT	I 1	TUCKER	GA	30084
18 190 05 055	3825 LAVISTA ROAD	UNIT	03	TUCKER	GA	30084 5141
18 190 05 015	3825 LAVISTA ROAD	UNIT	E2	TUCKER	GA	30084 5113
18 190 05 014	3825 LAVISTA ROAD	UNIT	E 1	TUCKER	GA	30084 5113
18 225 05 025	4294 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4421
18 214 17 026	2155 DILLARD CROSSING			TUCKER	GA	30084 5937
18 214 05 008	4297 HUGH HOWELL ROAD			TUCKER	GA	30084 4827
18 214 08 017	4416 HUGH HOWELL ROAD			TUCKER	GA	30084 8518
18 210 11 014	3569 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
1821401034	2165 ROSSER TERRACE			TUCKER	GA	30084 4912
1821207010	3687 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5508
18 213 08 050	4068 ADRIAN STREET			TUCKER	GA-	30084 4404
18 213 15 009	4050 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4622
18 213 06 006	2273 BROCKETT ROAD			TUCKER	GA	30084 4400
1818801046	3396 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
18 189 08 017	3367 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084 5211
18 189 04 008	2013 WEEMS ROAD		REAR	TUCKER	GA	30084
1821312019	2372 MAIN STREET	UNIT	E	TUCKER	GA	30084 4456
1821011001	3501 NORTHLAKE CENTER DRIVE			TUCKER	GA	30084
18 144 12 003	1459 MONTREAL ROAD E	UNIT	210	TUCKER	GA	30084 8130
1821417011	2129 DILLARD CROSSING			TUCKER	GA	30084 5854
18 214 17144	2286 DILLARD CROSSING			TUCKER	GA	30084 5943
18 213 15 019	4092 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4616

18 189_02 100	101 CRESCENT CENTRE PAR't<YvAY			TUCKER	GA	30084
18 214 09 017	2241 IDLEWOOD ROAD			TUCKER	GA	30084 2821
18 214 04 015	2191 IDLEWOOD ROAD			TUCKER	GA	30084 4816
1821401011	4490 FLORENCE STREET			TUCKER	GA	30084 4901
18 215 02 008	2157 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6303
18 184 07 034	4958 HAMMERMILL ROAD			TUCKER	GA	30084 6613
18 213 08 041	4927 LAVISTA ROAD			TUCKER	GA	30084 4437
1817001006	1701 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083
18 171 05 001	1717 LITTON DRIVE			STONE MOUNTAIN	GA	30083 1104
18 210 11 019	3528 HABERSHAM ATNORTHLAKE			TUCKER	GA	30084 4009
1821312014	2372 MAIN STREET			TUCKER	GA	30084 4456
18 164 07 051	3338 MONTREAL STATION			TUCKER	GA	30084
18 187 07 085	3609 WOODBRIAR CIRCLE	UNIT	A	TUCKER	GA	30084 5840
18 190 02 006	3184 ALBERTA LANE			TUCKER	GA	30084 5108
18 190 05 019	3825 LAVISTA ROAD	UNIT	F2	TUCKER	GA	30084 5114
18 185 01 070	2030 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084 6266
1821011018	3588 HABERSHAM AT NORTH LAKE			TUCKER	GA	30084 4009
18 170 02 014	4578 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1002
18 212 11 035	3993 CHELSEA COMMON			TUCKER	GA	30084
18 214 16 010	2209 HANFRED LANE			TUCKER	GA	30084
18 223 07 020	2535 ROYAL PLACE			TUCKER	GA	30084 3035
18 188 04 007	3489 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5861
1821314011	4229 1ST AVENUE			TUCKER	GA	30084 4430
18 213 16 005	2333 MAIN STREET			TUCKER	GA	30084 2505
18138 02 007	1569 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083 1325
18 189 02 094	100 CRESCENT CENTRE PAR't<YvAY			TUCKER	GA	30084 7021
18 190 02 009	3202 ALBERTA LANE			TUCKER	GA	30084 5701
18 190 04 019	1841 MONTREAL ROAD W			TUCKER	GA	30084-5211
18 214 08 015	4410 HUGH HOWELL ROAD			TUCKER	GA	30084 8518
18 225 08 019	4451 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 3708
18 213 12 006	4228 1ST AVENUE			TUCKER	GA	30084
18 214 04 069	2218 HANFRED LANE			TUCKER	GA	30084 4826
1821401030	2166 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084 4911
18 214 17 103	2232 DILLARD CROSSING			TUCKER	GA	30084 5943
18 187 07 035	3595 WOODBRIAR CIRCLE	UNIT	A	TUCKER	GA	30084 5839
18 213 10 008	2310 2ND STREET			TUCKER	GA	30084 4453
18 212 11 062	3959 CHELSEA COMMON			TUCKER	GA	30084
1821211075	3958 CHELSEA COMMON			TUCKER	GA	30084 4321
18 184 07 040	4541 GRANITE DRIVE			TUCKER	GA	30084
18 188 03 005	3317 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 7132
18 190 05 012	3825 LAVISTA ROAD	UNIT	D3	TUCKER	GA	30084 5112
18 124 03 001	5804 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083 5807
18 184 08 006	1875 FORGE STREET			TUCKER	GA	30084 6611

18 226 06 015	5115 CHAMBLEE TUCKER ROAD			TUCKER	GA	30084	3506
18 213 07 015	4119 ADRIAN STREET			TUCKER	GA	30084	4472
18 226 05 004	5130 CHAMBLEE TUCKER ROAD			TUCKER	GA	30084	
18 138 04 005	1501 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083	1325
18 187 07 080	3607 WOODBRIAR CIRCLE	UNIT	L	TUCKER	GA	30084	5838
18 212 11 069	3968 CHELSEA COMMON			TUCKER	GA	30084	4321
18 190 02 042	2032 MONTREAL ROAD W			TUCKER	GA	30084	5709
1821417119	2236 DILLARD CROSSING			TUCKER	GA	30084	5943
18 171 02 014	1625 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1104
18 214 01 031	4505 HUGH HOWELL ROAD			TUCKER	GA	30084	5002
18 215 02 009	4647 HUGH HOWELL ROAD			TUCKER	GA	30084	6303
1821316010	2337 MAIN STREET			TUCKER	GA	30084	2505
18 213 04 020	4003 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	2834
18 213 17 004	4305 LYNBURN DRIVE			TUCKER	GA	30084	4441
18 184 02 005	2055 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	6252
1818407018	4980 HAMMERMILL ROAD			TUCKER	GA	30084	6610
18 222 01 013	5080 NORTH ROYAL ATLANTA DRIVE		REAR	TUCKER	GA	30084	1214
18 223 07 022	2527 COMMERCE PLACE			TUCKER	GA	30084	3036
18 185 01 071	4414 ELMDALE DRIVE			TUCKER	GA	30084	6266
18 189 08 022	1880 MONTREAL COURT			TUCKER	GA	30084	5211
18 256 06 085	2845 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3010
18 225 03 013	5180 LAVISTA ROAD			TUCKER	GA	30084	3636
18 184 07 029	4760 HAMMERMILL ROAD			TUCKER	GA	30084	
18 184 08 003	4759 HAMMERMILL ROAD			TUCKER	GA	30084	6611
18 184 08 007	4757 STONE DRIVE			TUCKER	GA	30084	6611
18 170 01.009	1735 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083	1027
18 138 04 007	1445 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083	1505
18 165 02 005	3071 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	8014
18 256 06 087	4916 PRESIDENTS WAY			TUCKER	GA	30084	3010
1821309002	4151 BANCROFT CIRCLE			TUCKER	GA	30084	4411
18 213 05 013	3900 LAWRENCEVILLE HIGHWAY	STE	C	TUCKER	GA	30084	4505
18 213 02 010	3907 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4514
1814411 006	2949 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	8006
1814411 007	1497 MONTREAL ROAD W			TUCKER	GA	30084	
1814410001	2963 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	8130
18 138 01 016	1621 LITTON DRIVE			STONE MOUNTAIN	GA	30083	
18 225 08 017	4375 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3708
1821211011	4021 CHELSEA COMMON			TUCKER	GA	30084	4314
18 212 11 016	4030 CHELSEA COMMON			TUCKER	GA	30084	4306
1821211019	4034 CHELSEA COMMON			TUCKER	GA	30084	
18 226 06 001	4842 LAVISTA ROAD			TUCKER	GA	30084	4460
18 223 01 027	4967 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3032
18 139 03 004	1545 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083	1915

18 256 05 064	2892 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3095
18 170 03 001	4550 GREER CIRCLE			STONE MOUNTAIN	GA	30083	1009
18 138 02 009	1519 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
18 170 02 019	4611 GREER CIRCLE			STONE MOUNTAIN	GA	30083	1009
18 214 16 006	2210 DILLARD STREET			TUCKER	GA	30084	4829
18 225 05 006	5133 LAVISTA ROAD			TUCKER	GA	30084	3602
18 214 04 023	2133 HANFRED COURT			TUCKER	GA	30084	4807
18 214 05 030	4296 COWAN ROAD			TUCKER	GA	30084	4906
18 224 07 024	2483 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 214 17 074	2189 DILLARD CROSSING			TUCKER	GA	30084	5939.
18 214 17 068	2177 DILLARD CROSSING			TUCKER	GA	30084	5937
18 214 05 031	2219 IDLEWOOD ROAD			TUCKER	GA	30084	4818
18184 01 025	4660 HAMMERMILL ROAD			TUCKER	GA	30084	6600
18 214 17 165	2101 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 066	2173 DILLARD CROSSING			TUCKER	GA	30084	5937
18 214 05 022	4320 COWAN ROAD			TUCKER	GA	30084	4801
18 225 08 009	4305 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	
18 214 17 053	2162 DILLARD CROSSING			TUCKER	GA	30084	5934
18 214 17 050	2156 DILLARD CROSSING			TUCKER	GA	30084	5934
18 214 04 086	4435 HUGH HOWELL ROAD			TUCKER	GA	30084	4909
18 215 03 003	2241 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	5014
18 214 17 100	2226 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 160	2091 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 15 015	4180 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4716
18 214 08 009	4340 HUGH HOWELL ROAD			TUCKER	GA	30084	8518
18 215 02 017	2184 FLINTSTONE DRIVE			TUCKER	GA	30084	6303
18 210 01 032	2109 LAVISTA EXECUTIVE PARK			TUCKER	GA	30084	5422
18 189 08 019	3389 MONTREALINDUSTRIAL WAY			TUCKER	GA	30084	
18 212 04 011	3756 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5507
18 187 07 049	3595 WOODBRIAR CIRCLE	UNIT	0	TUCKER	GA	30084	5810
18187 07 060	3605 WOODBRIAR CIRCLE	UNIT	B	TUCKER	GA	30084	5838
18 213 15 008	2268 TOWNSHIP LANE			TUCKER	GA	30084	4622
18 188 01 033	3400 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5832
1821011011	3554 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 210 11 024	3581 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 190 05 038	3825 LAVISTA ROAD	UNIT	K1	TUCKER	GA	30084	5119
18190 05 037	3825 LAVISTA ROAD	UNIT	J4	TUCKER	GA	30084	
18 190 05 042	3825 LAVISTA ROAD	UNIT	L 1	TUCKER	GA	30084	5120
18 190 05 005	3825 LAVISTA ROAD	UNIT	B4	TUCKER	GA	30084	5109
18 164 07 017	1790 MONTREAL CIRCLE			TUCKER	GA	30084	7031
18 164 07 035	1800 MONTREAL COURT			TUCKER	GA	30084	7031
18 226 10 009	5007 LAVISTA ROAD			TUCKER	GA	30084	3512
18 226 03 001	5073 LAVISTA ROAD			TUCKER	GA	30084	3536

18 187 07 029	3603 WOODBRIAR CIRCLE	UNIT	M	TUCKER	GA	30084 5839
18 190 02 023	3196 MANITOBA TRAIL			TUCKER	GA	30084 5217
18 164 07 034	1700 MONTREAL CIRCLE			TUCKER	GA	30084
18 190 02 029	3203 MANITOBA TRAIL			TUCKER	GA	30084 5706
18 190 05 099	3825 LAVISTA ROAD	UNIT	Y2	TUCKER	GA	30084 5132
18 190 03 024	2015 MONTREAL ROAD W			TUCKER	GA	30084 5224
18 190 05 004	3825 LAVISTA ROAD	UNIT	B3	TUCKER	GA	30084 5110
18 190 05 001	3827 LAVISTA ROAD			TUCKER	GA	30084
18 225 04 005.	5136 LAVISTA ROAD			TUCKER	GA	30084 3637
18 224 06 025	2488 TUCKERSTONE PARKWAY			TUCKER	GA	30084 3813
18 138 01 006	.5530 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083 1325
18 210 08 016	2200 NORTHLAKE PARKWAY			TUCKER	GA	30084 4114
18 213 08 048	4124 ADRIAN STREET			TUCKER	GA	30084
18 214 04 090	2239 DILLARD STREET			TUCKER	GA	30084 4906
18 212 06 013	3815 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4504
18 213 04 072	2208 IDLEWOOD ROAD			TUCKER	GA	30084 4817
18 212 04 003	3850 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4503
18 184 05 017	1940 FORGE STREET			TUCKER	GA	30084 6608
18 214 17 069	2179 DILLARD CROSSING			TUCKER	GA	30084 5937
18 124 02 006	5862 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083
18 214 04 088	4409 HUGH HOWELL ROAD			TUCKER	GA	30084 4906
18 190 02 016	3203 ALBERTA LANE			TUCKER	GA	30084 5704
18 212 11 057	3957 CHELSEA COMMON			TUCKER	GA	30084
18 212 11 067	3970 CHELSEA COMMON			TUCKER	GA	30084 4321
1821408016	4434 HUGH HOWELL ROAD			TUCKER	GA	30084 8518
18 214 17 019	2141 DILLARD CROSSING			TUCKER	GA	30084 5937
18 214 17 147	2285 DILLARD CROSSING			TUCKER	GA	30084 5943
1818407031	4559 GRANITE DRIVE			TUCKER	GA	30084 6613
18 171 05 007	1635 LITTON DRIVE			STONE MOUNTAIN	GA	30083
18 213 08 014	4116 ADRIAN STREET			TUCKER	GA	30084 4404
18 190 03 012	3300 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084 5137
18 214 17 153	2387 DILLARD WAY			TUCKER	GA	30084
18 214 04 091	2233 DILLARD STREET			TUCKER	GA	30084 4906
18 214 01 024	4453 HUGH HOWELL ROAD			TUCKER	GA	30084 4911
18 222 02 024	5203 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 8611
18 214 17 037	2132 DILLARD CROSSING			TUCKER	GA	30084 5878
18 222 03 007	5025 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 8611
18 214 07 021	2345 4TH STREET			TUCKER	GA	30084 8518
18 214 10 028	4268 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
18 185 01 001	4391 BIBB BOULEVARD			TUCKER	GA	30084 6611
18 214 02 006	4483 FLORENCE STREET			TUCKER	GA	30084 4902
18 139 04 006	1584 MCCURDY DRIVE			STONE MOUNTAIN	GA	30083 1915
18 170 02 015	1698 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083 1002

18 144 12 009	1459 MONTREAL ROAD E	UNIT	309	TUCKER	GA	30084 6930
18 144 03 016	1441 MONTREAL ROAD E			TUCKER	GA	30084
18 190 05 035	3825 LAVISTA ROAD	UNIT	J2	TUCKER	GA	30084 5118
18190 05 011	3825 LAVISTA ROAD	UNIT	D2	TUCKER	GA	30084 5112
18 190 05 040	3825 LAVISTA ROAD	UNIT	K3	TUCKER	GA	30084 5119
18 190 02 011	2010 MONTREAL ROAD W			TUCKER	GA	30084 5203
18 190 05 089	3825 LAVISTA ROAD	UNIT	V1	TUCKER	GA	30084 5129
18 164 07 018	1800 MONTREAL CIRCLE			TUCKER	GA	30084 7031
18 164 07 031	3317 MONTREAL STATION			TUCKER	GA	30084 7031
18 190 03 008	3935 LAVISTA ROAD			TUCKER	GA	30084 5137
18 140 01 063	1550 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083 1316
18 222 03 010	5145 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3034
18 215 04 007	2157 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084 5014
18 165 05 001	3000 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 8012
18 213 16 008	2345 MAIN STREET			TUCKER	GA	30084 2505
18 187 07 058	3599 WOODBRIAR CIRCLE	UNIT	H	TUCKER	GA	30084 5838
18 138 01 008	1548 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083 1325
18 215 02 022	4679 HUGH HOWELL ROAD			TUCKER	GA	30084 6303
18 226 10 004	4991 LAVISTA ROAD			TUCKER	GA	30084 3512
18 214 17 123	2244 DILLARD CROSSING			TUCKER	GA	30084 5943
18 215 03 002	2280 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 5014
18 215 02 006	2109 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6303
18 214 17 057	2190 DILLARD CROSSING			TUCKER	GA	30084 5938
1817001004	4720 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1019
18 214 09 018	2247 IDLEWOOD ROAD			TUCKER	GA	30084 4818
18 214 09 025	2249 IDLEWOOD ROAD		REAR	TUCKER	GA	30084
1821311001	2332 2ND STREET			TUCKER	GA	30084
18 213 12 005	4200 1ST AVENUE			TUCKER	GA	30084 4429
18 214 17 029	2149 DILLARD CROSSING			TUCKER	GA	30084 5937
18 214 17 013	2125 DILLARD CROSSING			TUCKER	GA	30084 5854
1821417016	2119 DILLARD CROSSING			TUCKER	GA	30084 5854
18 214 17 002	2115 DILLARD CROSSING			TUCKER	GA	30084 5854
18 187 07 067	3605 WOODBRIAR CIRCLE	UNIT	I	TUCKER	GA	30084 5838
18 187 07 069	3607 WOODBRIAR CIRCLE	UNIT	A	TUCKER	GA	30084 5838
18 187 07 082	3607 WOODBRIAR CIRCLE	UNIT	N	TUCKER	GA	30084 5840
18 223 06 013	4909 SOUTH ROYAL ATLANTA DRIVE		REAR	TUCKER	GA	30084
18 185 01 067	2010 KILMAN DRIVE			TUCKER	GA	30084 6243
18 184 03 003	1836 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6252
18 214 04 027	2118 HANFRED COURT			TUCKER	GA	30084 4807
18 21417116	2239 DILLARD CROSSING			TUCKER	GA	30084 5943
18 214 05 010	4339 HUGH HOWELL ROAD			TUCKER	GA	30084 4827
18 138 02 026	1644 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083
18 185 01 085	4461 BIBB BOULEVARD			TUCKER	GA	30084 6238

1821417158	2296 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 134	2271 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 149	2281 DILLARD CROSSING			TUCKER	GA	30084	5943
1821001 030	2125 LAVISTA EXECUTIVE PARK			TUCKER	GA	30084	5422
1821207011	3709 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5508
18 21211 013	4017 CHELSEA COMMON			TUCKER	GA	30084	4314
18 212 11 023	4016 CHELSEA COMMON			TUCKER	GA	30084	4306
18 212 11 025	4015 CHELSEA COMMON			TUCKER	GA	30084	4314
18 212 03 006	2241 MOON STREET			TUCKER	GA	30084	4210
18 226 06 008	4934 LAVISTA ROAD			TUCKER	GA	30084	4403
1821302018	2185 BROCKETT ROAD			TUCKER	GA	30084	
18 212 11 053	3983 CHELSEA COMMON			TUCKER	GA	30084	4323
1821203019	2302 BROCKETT ROAD			TUCKER	GA	30084	4455
18 213 06 013	4080 BANCROFT CIRCLE			TUCKER	GA	30084	4408
18 188 01 011	3492 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5801
18 188 01 005	3430 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5801
18 189 07 006	1990 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	
18 210 01 001	4327 LAVISTA ROAD			TUCKER	GA	30084	5431
1818701202	3619 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	6011
18 187 07 025	3603 WOODBRIAR CIRCLE	UNIT	I	TUCKER	GA	30084	5863
18 213 08 042	4941 LAVISTA ROAD			TUCKER	GA	30084	4437
18 213 08 008	4088 ADRIAN STREET			TUCKER	GA	30084	4404
18 213 14 008	2344 MAIN STREET			TUCKER	GA	30084	
18 213 14 016	2295 2ND STREET			TUCKER	GA	30084	4452
18 213 05 002	3890 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4110
18 212 11 034	3994 CHELSEA COMMON			TUCKER	GA	30084	4321
1821211037	4003 CHELSEA COMMON			TUCKER	GA	30084	4314
18 226 04 008	5019 LAVISTA ROAD			TUCKER	GA	30084	
18 212 11 059	3973 CHELSEA COMMON			TUCKER	GA	30084	4323
18 213 04 006	2202 IDLEWOOD ROAD			TUCKER	GA	30084	4817
18 212 09 002	2236 MOON STREET			TUCKER	GA	30084	3301
18 213 08 045	4905 LAVISTA ROAD			TUCKER	GA	30084	4437
18 171 02 019	1708 LEWIS WAY			STONE MOUNTAIN	GA	30083	1104
18 171 02 011	1707 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1104
18 138 02 010	1495 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
1818405012	1881 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6630
18 184 06 002	4732 STONE DRIVE			TUCKER	GA	30084	6621
18 187 07 044	3595 WOODBRIAR CIRCLE	UNIT	J	TUCKER	GA	30084	5810
18 187 07 083	3607 WOODBRIAR CIRCLE	UNIT	0	TUCKER	GA	30084	5840
18 214 04 077	2150 ROSSER TERRACE			TUCKER	GA	30084	4907
1821417151	2277 DILLARD CROSSING			TUCKER	GA	30084	5943
18 212 04 013	3744 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5507
18 188 01 029	2018 STEEL DRIVE			TUCKER	GA	30084	7138

1818801016	3532 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4104
18 186 02 007	2052 IDLEWOOD ROAD			TUCKER	GA	30084	6108
18 215 04 009	2200 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	5014
18 214 04 007	4305 COWAN ROAD			TUCKER	GA	30084	5016
18 214 01 022	4473 HUGH HOWELL ROAD			TUCKER	GA	30084	4911
18 214 17 080	2201 DILLARD CROSSING			TUCKER	GA	30084	5941
18 214 17 081	2203 DILLARD CROSSING			TUCKER	GA	30084	5941
18 214 01 026	4445 HUGH HOWELL ROAD			TUCKER	GA	30084	4911
18 214 09 023	2243 IDLEWOOD ROAD		REAR	TUCKER	GA	30084	
1821417089	2221 DILLARD CROSSING			TUCKER	GA	30084	5941
18 215 04 004	2121 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	5014
18 214 04 073	2118 ROSSER TERRACE			TUCKER	GA	30084	4907
1821408014	2333 FULLER WAY			TUCKER	GA	30084	8518
18 171 02 021	1687 LEWIS WAY			STONE MOUNTAIN	GA	30083	1104
1814412020	1459 MONTREAL ROAD E	UNIT	501	TUCKER	GA	30084	6928
1821417018	2143 DILLARD CROSSING			TUCKER	GA	30084	5937
18 214 17 044	2146 DILLARD CROSSING			TUCKER	GA	30084	5934
18 184 02 002	1989 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	6640
18 214 05 012	4351 HUGH HOWELL ROAD			TUCKER	GA	30084	4827
18 184 07 008	4701 GRANITE DRIVE			TUCKER	GA	30084	6306
18 185 01 091	4381 BIBB BOULEVARD			TUCKER	GA	30084	6223
18 138 04 003	1625 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083	1325
18 185 01 023	2016 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	6251
1821401 010	4482 FLORENCE STREET			TUCKER	GA	30084	4901
18190 02 034	1928 MONTREAL ROAD W			TUCKER	GA	30084	5201
18 209 06 003	4099 LAVISTA ROAD			TUCKER	GA	30084	2701
18 209 06 011	3967 LAVISTA ROAD			TUCKER	GA	30084	5206
18 209 06 012	3963 LAVISTA ROAD			TUCKER	GA	30084	
1819005041	3825 LAVISTA ROAD	UNIT	K4	TUCKER	GA	30084	5119
18 190 04 015	3331 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084	5211
18 190 03 013	1989 MONTREAL ROAD W			TUCKER	GA	30084	
18 188 02 035	1918 NORTHLAKE PARKWAY			TUCKER	GA	30084	7070
18 21410 025	4270 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3715
1821501 003	2301 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	5943
18 223 06 009	2595 MOUNTAIN INDUSTRIAL BOULEVARD	STE	1	TUCKER	GA	30084	3006
18 214 02 005	4491 FLORENCE STREET			TUCKER	GA	30084	4902
18 214 02 010	4455 FLORENCE STREET			TUCKER	GA	30084	4902
18 213 12 030	4228 1ST AVENUE	STE	10	TUCKER	GA	30084	
1821009020	2300 NORTHLAKE CENTER DRIVE			TUCKER	GA	30084	4114
18 226 01 012	5090 LAVISTA ROAD			TUCKER	GA	30084	3511
1818801044	1979 LAKESIDE PARKWAY			TUCKER	GA	30084	5862
18 190 02 008	3196 ALBERTA LANE			TUCKER	GA	30084	5701
18 225 08 011	4431 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	

18 223 02 003	4823 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3032
18 187 07 065	3605 WOODBRIAR CIRCLE	UNIT	G	TUCKER	GA	30084	5838
1818707042	3595 WOODBRIAR CIRCLE	UNIT	H	TUCKER	GA	30084	5810
18 189 08 023	1878 MONTREAL COURT			TUCKER	GA	30084	5211
18 190 04 014	3350 MONTREAL STATION			TUCKER	GA	30084	5211
18 188 02 004	3356 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5862
18 214 17 138	2263 DILLARD CROSSING			TUCKER	GA	30084	5943
18 212 03 098	3862 STEPHENS COURT			TUCKER	GA	30084	4322
18 213 11 002	4195 FELLOWSHIP ROAD			TUCKER	GA	30084	4613
18 226 06 010	4946 LAVISTA ROAD			TUCKER	GA	30084	4403
18 188 04 023	3477 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	
1818501073	2111 KILMAN DRIVE			TUCKER	GA	30084	6246
18 138 02 006	1581 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
18 226 06 012	4958 LAVISTA ROAD			TUCKER	GA	30084	4403
18190 05 039	3825 LAVISTA ROAD	UNIT	K2	TUCKER	GA	30084	5119
18 125 01 003	5116 MOORE STREET			STONE MOUNTAIN	GA	30083	7279
18 223 07 005	4920 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3031
18 256 05 062	2912 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3095
18 223 02 006	2660 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3810
18 144 01 001	2942 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	8134
18 213 07 010	4104 COMANCHE DRIVE			TUCKER	GA	30084	4424
1821307016	4105 ADRIAN STREET			TUCKER	GA	30084	4472
18 213 14 021	4221 1ST AVENUE	STE	B	TUCKER	GA	30084	8504
18 187 07 031	3603 WOODBRIAR CIRCLE	UNIT	0	TUCKER	GA	30084	5839
18 213 05 009	3970 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4505
18 213 05 012	3976 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4505
18 212 11 005	2340 BROCKETT ROAD			TUCKER	GA	30084	4475
18 226 06 004	4910 LAVISTA ROAD			TUCKER	GA	30084	4403
18 226 06 006	4922 LAVISTA ROAD			TUCKER	GA	30084	4403
18 212 11 051	3987 CHELSEA COMMON			TUCKER	GA	30084	
18 187 07 019	3603 WOODBRIAR CIRCLE	UNIT	C	TUCKER	GA	30084	5863
1821101030	3630 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5403
1821008017	2256 NORTHLAKE PARKWAY			TUCKER	GA	30084	4114
18 187 07 048	3595 WOODBRIAR CIRCLE	UNIT	N	TUCKER	GA	30084	5810
18 214 02 001	2110 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	4912
18 169 04 004	1825 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	6624
18 184 07 035	4850 HAMMERMILL ROAD			TUCKER	GA	30084	6613
18 184 06 007	1939 FORGE STREET			TUCKER	GA	30084	6609
18 226 06 039	4964 LAVISTA ROAD			TUCKER	GA	30084	4403
18 213 02 017	2201 _BROCKETT ROAD	STE	C	TUCKER	GA	30084	4520
1821001013	2112 VISTA DALE COURT			TUCKER	GA	30084	5417
18 144 12 025	1459 MONTREAL ROAD E	UNIT	-PH	TUCKER	GA	30084	
18 212 03 020	2298 BROCKETT ROAD			TUCKER	GA	30084	4455

18 213 04 015	4059 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 2834
18 226 02 005	5066 LAVISTA ROAD			TUCKER	GA	30084 3500
18 213 04 063	2170 IDLEWOOD ROAD			TUCKER	GA	30084 4615
18 212 10 025	2211 MOON STREET			TUCKER	GA	30084 3301
18 212 03 026	2221 MOON STREET			TUCKER	GA	30084 4414
18 190 05 044	3825 LAVISTA ROAD	UNIT	L3	TUCKER	GA	30084 5120
18 190 02 045	1912 MONTREAL ROAD W			TUCKER	GA	30084 5201
18 190 02 012	2004 MONTREAL ROAD W			TUCKER	GA	30084 5203
18 190 05 077	3825 LAVISTA ROAD	UNIT	T4	TUCKER	GA	30084 5127
18 164 07 037	1804 MONTREAL COURT			TUCKER	GA	30084 7031
18 164 07 041	3335 MONTREAL STATION			TUCKER	GA	30084 6807
18 190 03 006	2036 WEEMS ROAD			TUCKER	GA	30084 5224
18 190 05 098	3825 LAVISTA ROAD	UNIT	Y1	TUCKER	GA	30084 5132
18 190 05 065	3825 LAVISTA ROAD	UNIT	Q4	TUCKER	GA	30084 5124
18 190 02 020	1974 MONTREAL ROAD W			TUCKER	GA	30084 5217
18 215 04 016	4578 ELMDALE DRIVE			TUCKER	GA	30084
1818707010	3601 WOODBRIAR CIRCLE	UNIT	B	TUCKER	GA	30084 5841
18187 07 011	3601 WOODBRIAR CIRCLE	UNIT	C	TUCKER	GA	30084 5841
18 213 14 027	4221 1ST AVENUE	STE	H	TUCKER	GA	30084 8504
18 213 04 012	4099 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4620
18 213 08 009	4092 ADRIAN STREET			TUCKER	GA	30084 4404
1821310011	2306 2ND STREET			TUCKER	GA	30084 4453
18 213 14 029	2305 2ND STREET			TUCKER	GA	30084
18 213 16 012	2329 MAIN STREET			TUCKER	GA	30084 2505
18 212 11 002	2346 BROCKETT ROAD			TUCKER	GA	30084 4475
1821211004	2342 BROCKETT ROAD			TUCKER	GA	30084 4475
18 139 04 004	1528 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083
18 223 02 004	4775 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3032
18 169 01 015	4478 GREER CIRCLE			STONE MOUNTAIN	GA	30083 7616
18 212 11 021	4020 CHELSEA COMMON			TUCKER	GA	30084 4306
18 213 16 038	2335 MAIN STREET			TUCKER	GA	30084
18 226 04 007	5013 LAVISTA ROAD			TUCKER	GA	30084
18 21211 047	4008 CHELSEA COMMON			TUCKER	GA	30084 4306
18 189 02 089	1953 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084
18 222 02 023	5215 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 8611
18 222 03 008	5099 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3034
18 214 04 032	2166 HANFRED COURT			TUCKER	GA	30084 4806
18 184 07 017	4796 HAMMERMILL ROAD			TUCKER	GA	30084 6610
18 223 07 026	5032 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3033
18 224 03 007	4707 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3804
18 17102018	1677 LEWIS WAY			STONE MOUNTAIN	GA	30083
18 214 17 022	2135 DILLARD CROSSING			TUCKER	GA	30084 5854
18 214 17 162	2095 DILLARD CROSSING			TUCKER	GA	30084 5943

18 184 07 044							
18 170 02 016	1673 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083	1002
18 139 03 007	1562 LITTON DRIVE			STONE MOUNTAIN	GA	30083	1915
18 184 03 005	1880 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 214 17 154	2288 DILLARD CROSSING			TUCKER	GA	30084	5943
18 212 04 007	3836 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4503
18 189 08 018	3399 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084	
18 256 06 125	4921 PRE_SIDENTS WAY			TUCKER	GA	30084	3100
18184 07 006	2043 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6308
18 214 01 035	4489 HUGH HOWELL ROAD			TUCKER	GA	30084	4912
18 214 01 036	2192 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	4912
1818501068	2058 KILMAN DRIVE			TUCKER	GA	30084	6243
18 125 07 002	5882 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	
1821401 001	2211 ROSSER TERRACE			TUCKER	GA	30084	4910
18 214 05 029	2199 IDLEWOOD ROAD			TUCKER	GA	30084	4906
18 21417114	2243 DILLARD CROSSING			TUCKER	GA	30084	5943
18 222 02 018	5087 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	1214
18170 02 011	4640 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1009
1821504010	2050 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	5014
18 214 09 005	2256 4TH STREET.			TUCKER	GA	30084	8518
18 214 15 008	4146 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4716
18 185 01 076	4508 BIBB BOULEVARD			TUCKER	GA	30084	6246
18 214 04 019	2173 HANFRED COURT			TUCKER	GA	30084	4802
18 215 02 020	2146 FLINTSTONE DRIVE			TUCKER	GA	30084	6303
18 214 15 001	2300 4TH STREET			TUCKER	GA	30084	8505
18 214 01 005	4446 FLORENCE STREET			TUCKER	GA	30084	4912
18 210 10 008	4121 LAVISTA ROAD			TUCKER	GA	30084	4114 ..
18 214 17 164	2099 DILLARD CROSSING			TUCKER	GA	30084	5943
18 213 08 022	4971 LAVISTA ROAD			TUCKER	GA	30084	4624
18 190 05 057	3825 LAVISTA ROAD	UNIT	01	TUCKER	GA	30084	5141
18 190 05 020	3825 LAVISTA ROAD	UNIT	F3	TUCKER	GA	30084	5114
18 190 05 091	3825 LAVISTA ROAD	UNIT	W2	TUCKER	GA	30084	5130
18 190 05 013	3825 LAVISTA ROAD	UNIT	D4	TUCKER	GA	30084	5112
18 164 06 002	1648 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	6702
18 190 04 021	1827 MONTREAL ROAD W		REAR	TUCKER	GA	30084	
18 190 02 013	3185 ALBERTA LANE			TUCKER	GA	30084	5702
1818501087	2099 KILMAN DRIVE			TUCKER	GA	30084	6251
18 164 07 048	1816 MONTREAL COURT			TUCKER	GA	30084	6807
18 214 17 128	2259 DILLARD CROSSING			TUCKER	GA	30084	5943
18 215 04 014	4545 HUGH HOWELL ROAD			TUCKER	GA	30084	5014
18 226 02 004	5058 LAVISTA ROAD			TUCKER	GA	30084	3500
18 212 06 012	3823 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4504
18 187 07 022	3603 WOODBRIAR CIRCLE	UNIT	F	TUCKER	GA	30084	5863

18 187 07 023	3603 WOODBRIAR CIRCLE	UNIT	G	TUCKER	GA	30084	5863
18 144 12 018	1459 MONTREAL ROAD E	UNIT	509	TUCKER	GA	30084	6900
1821011016	3582 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 213 12 015	2374 MAIN STREET			TUCKER	GA	30084	
18 144 12 006	1459 MONTREAL ROAD E	UNIT	204	TUCKER	GA	30084	6926
18 190 05 034	3825 LAVISTA ROAD	UNIT	J 1	TUCKER	GA	30084	
18 225 08 005	4353 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3704
18 214 17 086	2214 DILLARD CROSSING			TUCKER	GA	30084	5940
18 214 04 026	2106 HANFRED COURT			TUCKER	GA	30084	4807
18 213 08 017	4184 BANCROFT CIRCLE			TUCKER	GA	30084	4406
18 226 06 005	4916 LAVISTA ROAD			TUCKER	GA	30084	4403
18 210 01 004	2127 VISTA DALE COURT			TUCKER	GA	30084	5418
18 256 06 079	2825 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3010
18 257 01 001	50 POUNDS DRIVE			TUCKER	GA	30084	8606
18 214 17 076	2193 DILLARD CROSSING			TUCKER	GA	30084	5939
18 188 01 047	3408 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	
18 210 03 035	2286 WENDER DRIVE			TUCKER	GA	30084	3921
18 187 07 075	3607 WOODBRIAR CIRCLE	UNIT	G	TUCKER	GA	30084	5838
18 213 14 009	2346 MAIN STREET			TUCKER	GA	30084	
18 190 02 026	3185 MANITOBA TRAIL			TUCKER	GA	30084	5706
18 190 03 007	4083 LAVISTA ROAD			TUCKER	GA	30084	5224
18 210 01 027	4303 LAVISTA ROAD			TUCKER	GA	30084	5417
18 188 05 013	3367 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	7116
18 214 17 027	2153 DILLARD CROSSING			TUCKER	GA	30084	5937
18 21417 108	2227 DILLARD CROSSING			TUCKER	GA	30084	5943
18214 16 001	4437 COWAN ROAD			TUCKER	GA	30084	4829-
18 184 07 038	1999 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 214 05 023	4315 HUGH HOWELL ROAD			TUCKER	GA	30084	4801
18 21415 005	2279 MAIN STREET			TUCKER	GA	30084	1740
18 214 04 079	2166 ROSSER TERRACE			TUCKER	GA	30084	4907
18 214 04 101	2169 DILLARD STREET			TUCKER	GA	30084	4906
18 214 04 076	2142 ROSSER TERRACE			TUCKER	GA	30084	4907
18 214 04 031	2154 HANFRED COURT			TUCKER	GA	30084	4806
18 214 17 146	2287 DILLARD CROSSING			TUCKER	GA	30084	5943
18 188 04 049	3531 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5804
18 210 01 033	2130 LAVISTA EXECUTIVE PARK			TUCKER	GA	30084	5422
18 187 07 079	3607 WOODBRIAR CIRCLE	UNIT	K	TUCKER	GA	30084	5838
18 212 03 096	3849 STEPHENS COURT			TUCKER	GA	30084	4322
1821310006	4204 RAILROAD AVENUE			TUCKER	GA	30084	4484
18 213 09 004	4129 BANCROFT CIRCLE			TUCKER	GA	30084	4411
18 189 03 013	2075 NORTHLAKE PARKWAY			TUCKER	GA	30084	7021
18 210 03 037	4270 LAVISTA ROAD			TUCKER	GA	30084	3921
18 144 12 026	1459 MONTREAL ROAD E	UNIT	410	TUCKER	GA	30084	6928

18 139 05 002	1555 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083	1915
18 224 05 005	4732 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3830
18184 05 001	1929 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6634
18 225 03 012	5172 LAVISTA ROAD			TUCKER	GA	30084	3636
1822403001	4727 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3707
18 214 04 037	4370 HANFRED LANE			TUCKER	GA	30084	4811
18 215 04 008	4535 HUGH HOWELL ROAD			TUCKER	GA	30084	5014
18 170 02 008	4550 LEWIS ROAD	STE	400	STONE MOUNTAIN	GA	30083	1009
18 215 02 004	2133 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6303
18 225 05 005	5141 LAVISTA ROAD			TUCKER	GA	30084	3602
1817002010	4580 LEWIS ROAD			STONE MOUNTAIN	GA	30083	
18 224 08 021	2401 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3811
18 222 02 017	5055 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	1214
18 187 07 006	3597 WOODBRIAR CIRCLE	UNIT	F	TUCKER	GA	30084	5841
1821401 015	2150 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	5020
18 190 03 022	2054 WEEMS ROAD			TUCKER	GA	30084	5227
18 256 06 037	2670 TUCKER VALLEY ROAD			TUCKER	GA	30084	3002
18 213 11 003	4176 1ST AVENUE			TUCKER	GA	30084	4427
18 214 07 034	2331 4TH STREET			TUCKER	GA	30084	8518
18 213 08 028	4897 LAVISTA ROAD			TUCKER	GA	30084	4436
18 187 07 032	3603 WOODBRIAR CIRCLE	UNIT	p	TUCKER	GA	30084	5839
18 213 14 005	2336 MAIN STREET			TUCKER	GA	30084	
18 125 01 021	5912 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	
18 118 06 002	1200 MONTREAL ROAD E			TUCKER	GA	30084	8214
18 213 02 009	3877 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4514
18 144 07 009	2929 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	8130
18 213 06 022	4089 COMANCHE DRIVE			TUCKER	GA	30084	4423
18 213 07 017	4095 ADRIAN STREET			TUCKER	GA	30084	4405
18 213 08 003	4064 ADRIAN STREET			TUCKER	GA	30084	
18 213 08 001	2347 BROCKETT ROAD.			TUCKER	GA	30084	4474
18 213 15 005	4026 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4622
18 213 16 014	2323 MAIN STREET			TUCKER	GA	30084	4471
18 212 06 009	3853 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4501
18 212 11 032	3998 CHELSEA COMMON			TUCKER	GA	30084	4321
18 212 03 021	2292 BROCKETT ROAD			TUCKER	GA	30084	4414
18 21211 043	3986 CHELSEA COMMON			TUCKER	GA	30084	4321
18 212 11 045	3980 CHELSEA COMMON			TUCKER	GA	30084	
18 212 03 104	2201 STEPHENS STREET			TUCKER	GA	30084	4316
18 213 02 001	3925 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4506
1818701001	3627 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	6129
18 188 01 021	2040 STEEL DRIVE			TUCKER	GA	30084	5803
18 213 08 007	4086 ADRIAN STREET			TUCKER	GA	30084	4404
18 213 12 017	2376 MAIN STREET	UNIT	1	TUCKER	GA	30084	

18 14412 008	1459 MONTREAL ROAD E		COMM	TUCKER	GA	30084	
18 145 14 001	1370 MONTREAL ROAD E			TUCKER	GA	30084	8128
18 190 05 016	3825 LAVISTA ROAD	UNIT	E3	TUCKER	GA	30084	
18 190 04 022	1901 MONTREAL ROAD W			TUCKER	GA	30084	5211
18 190 05 056	3825 LAVISTA ROAD	UNIT	02	TUCKER	GA	30084	5141
18 190 04 013	1815 MONTREAL ROAD W			TUCKER	GA	30084	5211
18 164 07 040	3345 MONTREAL STATION			TUCKER	GA	30084	6807
18 190 05 083	3825 LAVISTA ROAD	UNIT	U3	TUCKER	GA	30084	5128
18 190 04 020	1859 MONTREAL ROAD W			TUCKER	GA	30084	5211
18 190 05 104	3825 LAVISTA ROAD	UNIT	Z2	TUCKER	GA	30084	5133
18 190 03 020	2014 WEEMS ROAD			TUCKER	GA	30084	5227
18 164 03 051	1728 MONTREAL CIRCLE			TUCKER	GA	30084	6802
18 214 01 009	4474 FLORENCE STREET			TUCKER	GA	30084	4901
18 184 08 001	4661 HAMMERMILL ROAD			TUCKER	GA	30084	6666
18 214 17 067	2175 DILLARD CROSSING			TUCKER	GA	30084	5937
18 214 01 032	4499 HUGH HOWELL ROAD			TUCKER	GA	30084	5002
1821304011	4101 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4817
18 184 07 045							
18 139 05 007	5390 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	
18 214 17 021	2137 DILLARD CROSSING			TUCKER	GA	30084	5854
18 214 17 042	2142 DILLARD CROSSING			TUCKER	GA	30084	5934
18 214 17 033	2124 DILLARD CROSSING			TUCKER	GA	30084	5878
18 214 04 099	2191 DILLARD STREET			TUCKER	GA	30084	4906
1821410027	2355 BURNS AVENUE			TUCKER	GA	30084	4419
18 21410 026	4260 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3715
18 171 05 005	1669 LITTON DRIVE			STONE MOUNTAIN	GA	30083	1116
18 214 01 028	4519 HUGH HOWELL ROAD			TUCKER	GA	30084	4911
18 138 01 007	1532 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
18 225 05 011	5095 LAVISTA ROAD			TUCKER	GA	30084	3502
18 214 17 137	2265 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 096	2207 DILLARD CROSSING			TUCKER	GA	30084	5941
18 225 05 021	4292 LYNBURN DRIVE			TUCKER	GA	30084	
18 224 08 022	2409 MOUNTAIN INDUSTRIAL BOULEVARD		REAR	TUCKER	GA	30084	
18 138 04 008	1391 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083	1505
18 185 01 084	4380 BIBB BOULEVARD			TUCKER	GA	30084	
18 224 03 004	4667 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3707
18 256 05 063	2900 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3095
18 170 04 004	1817 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	1009
18 213 14 023	4221 1ST AVENUE	STE	D	TUCKER	GA	30084	8504
18 188 01 038	2070 STEEL DRIVE			TUCKER	GA	30084	5832
1821307018	4089 ADRIAN STREET			TUCKER	GA	30084	4405
18 190 05 066	3825 LAVISTA ROAD	UNIT	R1	TUCKER	GA	30084	5125
18 223 07 024	2513 ROYAL PLACE			TUCKER	GA	30084	3035

18 214 04 084	2206 ROSSER TERRACE			TUCKER	GA	30084 4909
18 138 01 002	1625 LITTON DRIVE			STONE MOUNTAIN	GA	30083 1515
1821405011	4347 HUGH HOWELL ROAD			TUCKER	GA	30084 4827
18 190 02 021	1966 MONTREAL ROAD W			TUCKER	GA	30084 5217
18 187 07 038	3595 WOODBRIAR CIRCLE	UNIT	D	TUCKER	GA	30084 5871
18 214 17 003	2113 DILLARD CROSSING			TUCKER	GA	30084 5854
18 226 05 002	5000 LAVISTA ROAD			TUCKER	GA	30084
18 212 11 041	3990 CHELSEA COMMON			TUCKER	GA.	30084 4321
18 212 11 044	3984 CHELSEA COMMON			TUCKER	GA	30084 4321
18 212 11 063	3978 CHELSEA COMMON			TUCKER	GA	30084 4321
18 223 05 005	4874 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3805
18 185 01 065	4466 ELMDALE DRIVE			TUCKER	GA	30084 6542
18 212 04 004	3862 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4503
18 166 02 069	1812 COOLEDGE ROAD			TUCKER	GA	30084
18 213 07 012	4114 COMANCHE DRIVE			TUCKER	GA	30084 4424
18 213 07 013	4142 BANCROFT CIRCLE			TUCKER	GA	30084 4472
18 226 05 005	5002 LAVISTA ROAD			TUCKER	GA	30084
18 226 06 007	4928 LAVISTA ROAD			TUCKER	GA	30084 4403
1818501086	2000 TUCKER INDUSTRIAL ROAD			TUCKER.	GA	30084 6251
18 214 17 135	2:269 DILLARD CROSSING			TUCKER	GA	30084 5943
18 214 08 006	4394 HUGH HOWELL ROAD			TUCKER	GA	30084 8518
18 214 04 078	2158 ROSSER TERRACE			TUCKER	GA	30084 4907
18 214 01 003	2177 ROSSER TERRACE			TUCKER	GA	30084 4912
18 171 02 016	1660 LEWIS WAY			STONE MOUNTAIN	GA	30083 1104
18187 07 064	3605 WOODBRIAR CIRCLE	UNIT	F	TUCKER	GA	30084 5838
18 213 14 025	4221 1ST AVENUE	STE	F	TUCKER	GA	30084 8504
18 189 02 005	1990 WEST EXCHANGE PLACE			TUCKER	GA	30084 5915
18 212 04 016	3702 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5507
18 188 04 017	3597 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5850
18 212 06 029	3797 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5510
18 213 15 014	4108 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4711
18 189 07 004	2000 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084 5334
1818903012	2059 NORTHLAKE PARKWAY			TUCKER	GA	30084 7021
18 188 05 016	3377 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 7135
18 144 03 194	1399 MONTREAL ROAD E			TUCKER	GA	30084 8015
18 144 07 012	1468 MONTREAL ROAD E			TUCKER	GA	30084
1821307011	4108 COMANCHE DRIVE			TUCKER	GA	30084 4424
18 213 16 036	2325 MAIN STREET			TUCKER	GA	30084 2505
18 164 07 050	3336 MONTREAL STATION			TUCKER	GA	30084
18 214 17 025	2157 DILLARD CROSSING			TUCKER	GA	30084 5937
18 214 17 036	2130 DILLARD CROSSING			TUCKER	GA	30084 5878
18 144 12 015	1459 MONTREAL ROAD E	UNIT	401	TUCKER	GA	30084 6900
18 144 12 027	1459 MONTREAL ROAD E	UNIT	406	TUCKER	GA	30084 6928

18 190 05 088	3825 LAVISTA ROAD	UNIT	V2	TUCKER	GA	30084	5129
18 164 03 033	1777 MONTREAL CIRCLE			TUCKER	GA	30084	6918
18 164 03 053	1722 MONTREAL CIRCLE			TUCKER	GA	30084	6818
18 190 05 102	3825 LAVISTA ROAD	UNIT	Z4	TUCKER	GA	30084	5133
18 190 05 007	3825 LAVISTA ROAD	UNIT	C2	TUCKER	GA	30084	5111
18 145 04 038	1636 TALTON DRIVE			TUCKER	GA	30084	6913
18 21417 060	2196 DILLARD CROSSING			TUCKER	GA	30084	5938
18 170 02 013	4616 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1009
18 213 02 015	2181 BROCKETT ROAD			TUCKER	GA	30084	4507
18 225 08 012	2415 COFER CIRCLE			TUCKER	GA	30084	3708
18 225 08 002	4475 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3615
18 170 01 010	1741 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083	1027
18 214 04 096	2209 DILLARD STREET			TUCKER	GA	30084	4906
18 214 16 013	2209 HANFRED LANE		REAR	TUCKER	GA	30084	
18138 02 019	5680 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	
18 214 02 002	4513 FLORENCE STREET			TUCKER	GA	30084	4904
18 214 16 002	2226 DILLARD STREET			TUCKER	GA	30084	4829
18 215 02 005	2125 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6303
18 214 04 087	4421 HUGH HOWELL ROAD			TUCKER	GA	30084	4909
18 214 02 015	2130 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	5016
18 214 15 019	4170 LAWRENCEVILLE HIGHWAY			-TUCKER	GA	30084	4715
1821417094	2211 DILLARD CROSSING			TUCKER	GA	30084	5941
18 171 02 015	1-541 LEWIS WAY			STONE MOUNTAIN	GA	30083	1104
18 171 05 002	1640 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1104
18 184 03 004	4576 HIRSCH DRIVE			TUCKER	GA	30084	6252
18 214 17 054	2164 DILLARD CROSSING			TUCKER	GA	30084	5934
18 214 09 022	2245 IDLEWOOD ROAD		REAR	TUCKER	GA	30084	4818
18 215 03 006	2232 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	5014
1818401020	1841 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6600
18 187 07 036	3595 WOODBRIAR CIRCLE	UNIT	B	TUCKER	GA	30084	5871
18 188 02 003	1944 NORTHLAKE PARKWAY			TUCKER	GA	30084	5862
18 210 01 012	2104 VISTA DALE COURT			TUCKER	GA	30084	5424
18 144 11 005	3439 SETTLEMENT ROAD			TUCKER	GA	30084	8006
18 213 04 093	2215 FELLOWSHIP ROAD			TUCKER	GA	30084	
18 213 14 004	2332 MAIN STREET			TUCKER	GA	30084	4413
1818707018	3603 WOODBRIAR CIRCLE	UNIT	B	TUCKER	GA	30084	5863
18 212 03 036	2215 MOON STREET			TUCKER	GA	30084	4414
18 213 16 006	2331 MAIN STREET			TUCKER	GA	30084	
18 187 01.198	3665 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5926
18 189 05 008	2089 NORTHLAKE PARKWAY			TUCKER	GA	30084	7021
18 170 04 003	1827 AUGER DRIVE			TUCKER	GA	30084	1009
18 138 01 014	4781 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1325
18 223 01 011	2689 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3000

18 224 03 006	2550 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3707
18 256 05 061	2910 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3095
18 256 06 036	2680 TUCKER VALLEY ROAD	2682		TUCKER	GA	30084	3002
18 256 06 049	2901 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3022
1821211014	2322 BROCKETT ROAD			TUCKER	GA	30084	
18 213 04 070	2160 IDLEWOOD ROAD			TUCKER	GA	30084	4615
18 187 07 001	3597 WOODBRIAR CIRCLE	UNIT	A	TUCKER	GA	30084	6403
18 187 07 054	3599 WOODBRIAR CIRCLE	UNIT	D	TUCKER	GA	30084	5838
18 214 01 027	4511 HUGH HOWELL ROAD			TUCKER	GA	30084	4911
18 21417113	2245 DILLARD CROSSING			TUCKER	GA	30084	5943
18 145 13 001	1600 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	7031
18 223 05 002	4840 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3805
18 214 17 073	2187 DILLARD CROSSING			TUCKER	GA	30084	5939
18 184 08 008	4720 STONE DRIVE			TUCKER	GA	30084	6611
18 171 02 020	1707 LEWIS WAY			STONE MOUNTAIN	GA	30083	1104
18 139 04 002	5430 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	1915
18 169 06 001	4473 SARR PARKWAY			STONE MOUNTAIN	GA	30083	
18 171 02 010	4920 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1104
18 213 04 022	2203 FELLOWSHIP ROAD			TUCKER	GA	30084	2834
1819004012	3301 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084	5211
18 190 05 096	3825 LAVISTA ROAD	UNIT	X2	TUCKER	GA	30084	5109
18 125 01 022	5932 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	
18 184 07 030	4764 HAMMERMILL ROAD			TUCKER	GA	30084	6613
18 138 02 011	5622 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	1325
18 138 04 006	1475 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083	1505
18 214 04 005	2179 IDLEWOOD ROAD			TUCKER	GA	30084	
18 214 17 038	2134 DILLARD CROSSING			TUCKER	GA	30084	5878
18 214 17 049	2154 DILLARD CROSSING			TUCKER	GA	30084	5934
18 256 06 029	2750 TUCKER VALLEY ROAD			TUCKER	GA	30084	3003
18 138 02 020	5786 EAST PONCE DE LEON AVENUE		MARTA	STONE MOUNTAIN	GA	30083	1325
18 214 04 010	4329 COWAN ROAD			TUCKER	GA	30084	5016
18 224 07 023	2425 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 214 17 121	2240 DILLARD CROSSING			TUCKER	GA	30084	5943
18 170 02 018	4554 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1009
18 214 05 037	2227 IDLEWOOD ROAD			TUCKER	GA	30084	
18 214 08 001	2334 FULLER WAY			TUCKER	GA	30084	8518
18 214 17 058	2192 DILLARD CROSSING			TUCKER	GA	30084	5938
18 225 05 018	4316 LYNBURN DRIVE			TUCKER	GA	30084	4440
18 170 02 007	1641 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083	1009
18 223 06 017	4995 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3006
18 214 04 061	2143 IDLEWOOD ROAD			TUCKER	GA	30084	4811
18 214 09 019	2255 IDLEWOOD ROAD			TUCKER	GA	30084	
18 21415 002	4283 3RD AVENUE			TUCKER	GA	30084	8505

18 214 17 155	2290 DILLARD CROSSING			TUCKER	GA	30084	5943
18 210 01 036	2121 LAVISTA EXECUTIVE PARK			TUCKER	GA	30084	5300
18 212 04 008	3782 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5507
18 212 03 099	3872 STEPHENS COURT			TUCKER	GA	30084	4322
18 210 09 021	2263 NORTHLAKE PARKWAY			TUCKER	GA	30084	
18 213 06 005	2279 BROCKETT ROAD			TUCKER	GA	30084	4400
18 21211 076	3956 CHELSEA COMMON			TUCKER	GA	30084	4321
18 21211 078	3953 CHELSEA COMMON			TUCKER	GA	30084	
18 212 03 121	2268 BROCKETT ROAD			TUCKER	GA	30084	
18 188 01 042	1927 LAKESIDE PARKWAY			TUCKER	GA	30084	5862
1818801043	1990 LAKESIDE PARKWAY			TUCKER	GA	30084	5862
18 210 11 008	3543 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 190 05 028	3825 LAVISTA ROAD	UNIT	H3	TUCKER	GA	30084	
18 190 05 022	3825 LAVISTA ROAD	UNIT	G1	TUCKER	GA	30084	5115
18 190 02 030	1956 MONTREAL ROAD W			TUCKER	GA	30084	5706
18 190 05 062	3825 LAVISTA ROAD	UNIT	Q1	TUCKER	GA	30084	5124
18 209 06 013	3953 LAVISTA ROAD			TUCKER	GA	30084	5206
18190 05 043	3825 LAVISTA ROAD	UNIT	L2	TUCKER	GA	30084	5120
18 164 07 047	3358 MONTREAL STATION			TUCKER	GA	30084	6807
18 190 04 005	3353 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084	
18 164 03 052	1726 MONTREAL CIRCLE			TUCKER	GA	30084	6819
18 184 07 048	4513 ROGER MARTEN WAY			TUCKER	GA	30084	
18 190 05 061	3825 LAVISTA ROAD	UNIT	p1	TUCKER	GA	30084	
18 190 03 004	1955 MONTREAL ROAD W			TUCKER	GA	30084	5224
18 190 05 097	3825 LAVISTA ROAD	UNIT	X1	TUCKER	GA	30084	5131
18 214 15 020	2307 4TH STREET			TUCKER	GA	30084	
18 214 02 004	4499 FLORENCE STREET			TUCKER	GA	30084	4902
18 213 08 034	4865 LAVISTA ROAD	STE	A	TUCKER	GA	30084	4436
18 184 06 004	4879 HAMMERMILL ROAD			TUCKER	GA	30084	6645
18 225 03 010	5154 LAVISTA ROAD			TUCKER	GA	30084	3636
18 225 08 003	4467 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3704
18 256 05 028	2876 MOUNTAIN INDUSTRIAL BOULEVARD.			TUCKER	GA	30084	
18 139 03 006	1550 LITTON DRIVE			STONE MOUNTAIN.	GA	30083	1915
18.138 01 010	1554 LITTON DRIVE			STONE MOUNTAIN	GA	30083	1325
1_8 190 05 029	3825 LAVISTA ROAD	UNIT	H4	TUCKER	GA	30084	5116
18 190 05 059	3825 LAVISTA ROAD	UNIT	P3	TUCKER	GA	30084	5123
18 212 03 088	2182 STEPHENS STREET			TUCKER	GA	30084	4312
18 213 08 025	4915 LAVISTA ROAD			TUCKER	GA	30084	4437
18 185 01 066	4432 BIBB BOULEVARD			TUCKER	GA	30084	6235
1821502012	4745 HUGH HOWELL ROAD			TUCKER	GA	30084	6303
18 214 04 018	4365 COWAN ROAD			TUCKER	GA	30084	4802
18 214 04 040	2204 HANFRED LANE			TUCKER	GA	30084	4811
18 223 06 004	2649 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3006

18 214 07 024	4333 LYNBURN DRIVE			TUCKER	GA	30084 8518
18 214 08 003	4271 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 8518
18 213 06 002	2299 BROCKETT ROAD			TUCKER	GA	30084 4400
1821314010	4239 1ST AVENUE			TUCKER	GA	30084 4430
18 213 05 004	3932 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4110
18 212 03 027	2233 MOON STREET			TUCKER	GA	30084 4414
18 144 07 001	1414 MONTREAL ROAD E			TUCKER	GA	30084 8140
18 213 12 027	4228 1ST AVENUE	STE	7	TUCKER	GA	30084 4426
18 190 05 081	3825 LAVISTA ROAD	UNIT	A4	TUCKER	GA	30084 5134
1821417075	2191 DILLARD CROSSING			TUCKER	GA	30084 5939
18 214 17 046	2387 DILLARD WAY		COMM	TUCKER	GA	30084
18 187 07 050	3595 WOODBRIAR CIRCLE	UNIT	p	TUCKER	GA	30084 5810
18 144 12 017	1459 MONTREAL ROAD E	UNIT	408	TUCKER	GA	30084
18 210 11 007	3538 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
1821409016	2237 IDLEWOOD ROAD			TUCKER	GA	30084 2821
18 214 16 012	4419 COWAN ROAD			TUCKER	GA	30084 4829
18 214 17 097	2220 DILLARD CROSSING			TUCKER	GA	30084 5940
18 214 17 098	2222 DILLARD CROSSING			TUCKER	GA	30084 5943
18 214 05 036	4299 HUGH HOWELL ROAD			TUCKER	GA	30084 4704
18 214 17 102	2230 DILLARD CROSSING			TUCKER	GA	30084 5943
18 184 01 018	1823 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6600
18 187 07 034	3611 WOODBRIAR CIRCLE			TUCKER	GA	30084
18 187 07 061	3605 WOODBRIAR CIRCLE	UNIT	C	TUCKER	GA	30084 5838
18 188 01 031	2008 STEEL DRIVE			TUCKER	GA	30084
18 213 06 014	4088 BANCROFT CIRCLE			TUCKER	GA	30084 4408
18 213 06 004	2285 BROCKETT ROAD			TUCKER	GA	30084 4400
18 212 11 068	3955 CHELSEA COMMON			TUCKER	GA	30084
1821211070	3966 CHELSEA COMMON			TUCKER	GA	30084 4321
18 165 06 002	2981 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
18 210 01 008	2097 VISTA DALE COURT			TUCKER	GA	30084 5423
18 213 03 029	2218 FELLOWSMIP ROAD			TUCKER	GA	30084 4609
18 184 07 046						
18 214 01 037	2168 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084
18 213 07 007	4088 COMANCHE DRIVE			TUCKER	GA	30084 4422
1821307001	4057 ADRIAN STREET			TUCKER	GA	30084 4412
18 213 07 003	2315 BROCKETT ROAD			TUCKER	GA	30084 4412
18 213 10 010	4173 1ST AVENUE			TUCKER	GA	30084 4428
18 213 11 005	4184 1ST AVENUE			TUCKER	GA	30084 4427
18 213 16 009	2343 MAIN STREET			TUCKER	GA	30084 2505
1821316037	4292 RAILROAD AVENUE			TUCKER	GA	30084 4487
18 213 09 001	4163 BANCROFT CIRCLE			TUCKER	GA	30084 4411
18 214 17 005	2109 DILLARD CROSSING			TUCKER	GA	30084 5854
18 188 04 020	3495 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084

18 210 08 014	2152 NORTHLAKE PARKWAY			TUCKER	GA	30084
18 212 11 007	4035 CHELSEA COMMON			TUCKER	GA	30084 4314
18 21211 017	4028 CHELSEA COMMON			TUCKER	GA	30084 4306
18 212 11 033	3996 CHELSEA COMMON			TUCKER	GA	30084 4321
18 226 06 016	5109 CHAMBLEE TUCKER ROAD			TUCKER	GA	30084 3506
18 213 03 005	2179 MORRIS AVENUE			TUCKER	GA	30084 4500
18 213 16 016	4286 RAILROAD AVENUE			TUCKER	GA	30084 2505
18169 01 011	1640 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083.7616
18 188 01 006	3440 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5801
18 213 12 021	4228 1ST AVENUE	STE	1	TUCKER	GA	30084 4426
18 164 06 010	1606 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084 7031
18 190 02 040	3893 LAVISTA ROAD			TUCKER	GA	30084 5709
18 187 07 017	3603 WOODBRIAR CIRCLE	UNIT	A	TUCKER	GA	30084 5863
18 187 07 026	3603 WOODBRIAR CIRCLE.	UNIT	j	TUCKER	GA	30084 5863
18 187 07 027	3603 WOODBRIAR CIRCLE	UNIT	K	TUCKER	GA	30084 5863
18 213 12 022	4228 1ST AVENUE	STE	2	TUCKER	GA	30084
18 213 12 032	4228 1ST AVENUE	STE	12	TUCKER	GA	30084 4426
18 144 12 002	1459 MONTREAL ROAD E	UNIT	207 A	TUCKER	GA	30084
1814412 011	1459 MONTREAL ROAD E	UNIT	301 A	TUCKER	GA	30084 6900
18 190 05 031	3825 LAVISTA ROAD	UNIT	12	TUCKER	GA	30084 5117
18 190 05 017	3825 LAVISTA ROAD	UNIT	E4	TUCKER	GA	30084 5113
18 190 02 031	1950 MONTREAL ROAD W			TUCKER	GA	30084 5201
18 140 01 062	1562 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083
18 190 05 069	3825 LAVISTA ROAD	UNIT	R4	TUCKER	GA	30084 5125
18 190 02 033	3190 MANITOBA TRAIL			TUCKER	GA	30084 5705
18 190 02 044	1886 MONTREAL ROAD W			TUCKER	GA	30084 5709
18 190 05 067	3825 LAVISTA ROAD	UNIT	R2	TUCKER	GA	30084 5125
18 190 05 008	3825 LAVISTA ROAD	UNIT	C3	TUCKER	GA	30084 5109
18 214 15 014	2295 4TH STREET			TUCKER	GA	30084 4716
18 188 01 041	2016 STEEL DRIVE			TUCKER	GA	30084
18 213 08 040	4921 LAVISTA ROAD			TUCKER	GA	30084 4437
18 213 08 043	4947 LAVISTA ROAD			TUCKER	GA	30084 4437
18 213 12 002	2373 FELLOWSHIP ROAD			TUCKER	GA	30084 4626
1821317001	2367 MAIN STREET			TUCKER	GA	30084 2505
18 184 07 047	4523 ROGER MARTEN WAY			TUCKER	GA	30084
18 187 07 037	3595 WOODBRIAR CIRCLE	UNIT	C	TUCKER	GA	30084 5871
18 187 07 088	3609 WOODBRIAR CIRCLE	UNIT	D	TUCKER	GA	30084 5840
18 187 07 002	3597 WOODBRIAR CIRCLE	UNIT	B	TUCKER	GA	30084 6403
18 216 06 003	4807 HUGH HOWELL ROAD			STONE MOUNTAIN	GA	30087 1035
1821404098	2199 DILLARD STREET			TUCKER	GA	30084 4906
18 213 07 004	4062 COMANCHE DRIVE			TUCKER	GA	30084 4422
1821211028	4009 CHELSEA COMMON			TUCKER	GA	30084 4314
18 213 07 005	4070 COMANCHE DRIVE			TUCKER	GA	30084 4422

18 213 07 021	4162 BANCROFT CIRCLE			TUCKER	GA	30084	4472
1821315006	4036 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4622
18 212 03 018	2310 BROCKETT ROAD			TUCKER	GA	30084	4416
18 213 08 046	4084 ADRIAN STREET			TUCKER	GA	30084	4404
18 226 10 008	5009 LAVISTA ROAD		REAR	TUCKER	GA	30084	
18 212 03 037	2185 MOON STREET			TUCKER	GA	30084	
18 213 14 006	2338 MAIN STREET			TUCKER	GA	30084	
18 213 09 008	4138 RAILROAD AVENUE			TUCKER	GA	30084	4486
1817102008	1671 VEAL MILL ROAD			STONE MOUNTAIN	GA	30083	2001
18 214 04 082	2190 ROSSER TERRACE			TUCKER	GA	30084	4907
18 215 01 001	4740 HUGH HOWELL ROAD			TUCKER	GA	30084	5943
18 214 17 010	2131 DILLARD CROSSING			TUCKER	GA	30084	5854
18 214 17 047	2150 DILLARD CROSSING			TUCKER	GA	30084	5934
1821011020	3537 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 190 05101	3825 LAVISTA ROAD	UNIT	Y4	TUCKER	GA	30084	
18 214 02 008	4467 FLORENCE STREET			TUCKER	GA	30084	4902
18 214 04 085	2214 ROSSER TERRACE			TUCKER	GA	30084	4909
18 21416 004	2218 DILLARD STREET			TUCKER	GA	30084	4829
18 225 05 013	4316 CHURCH STREET			TUCKER	GA	30084	3502
18 224 07 022	2387 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 215 02 024	4670 GRANITE DRIVE			TUCKER	GA	30084	6303
18 224 07 017	2439 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3802
18 170 02 005	4566 LEWIS ROAD	STE	H	STONE MOUNTAIN	GA	30083	1027
18 139 04 009	1564 MCCURDY DRIVE			STONE MOUNTAIN	GA	30083	1915
18 138 04 009	1355 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083	1505
18 21412 004	4297 1ST AVENUE			TUCKER	GA	30084	8505
18 215 04 003	2101 TUCKER INDUSTRIAL ROAD			TUCKER	GA	3008_4	5014
18 187 07 009	3601 WOODBRIAR CIRCLE	UNIT	A	TUCKER	GA	30084	5841
18 187 07 077	3607 WOODBRIAR CIRCLE	UNIT	I	TUCKER	GA	30084	5838
18 139 05 029	1595 MCCURDY DRIVE			STONE MOUNTAIN	GA	30083	
18 256 06 034	2700 TUCKER VALLEY ROAD			TUCKER	GA	30084	3003
18 256 05 059	2916 MOUNTAIN INDUSTRIAL 8OULEVARD			TUCKER	GA	30084	3012
18 21417117	2237 DILLARD CROSSING			TUCKER	GA	30084	5943
18 185 01 088	1998 KILMAN DRIVE			TUCKER	GA	30084	6251
18 214 05 028	4327 HUGH HOWELL ROAD			TUCKER	GA	30084	4906
18 214 15 009	2288 4TH STREET			TUCKER	GA	30084	4716
18 215 03 004	2275 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	5014
18 223 07 023	2500 ROYAL PLACE			TUCKER	GA	30084	3036
18 225 08 001	2427 COFER CIRCLE			TUCKER	GA	30084	4421
18 222 01 014	5090 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	1214
18 138 02 008	1531 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
18 139 03 002	5520 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	1915
18 170 01 001	1727 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083	

18 214 17 136	2267 DILLARD CROSSING			TUCKER	GA	30084	5943
18 212 04 015	3734 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5507
18188 03 002	3333 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	7132
18 213 09 005	4119 BANCROFT CIRCLE			TUCKER	GA	30084	4411
18 212 03 022	2284 BROCKETT ROAD			TUCKER	GA	30084	4414
18 210 03 039	4286 LAVISTA ROAD			TUCKER	GA	30084	3921
18 210 03 050	4300 LAVISTA ROAD			TUCKER	GA	30084	3921
18 210 01 002	2145 VISTA DALE COURT			TUCKER	GA	30084	5418
18189 05 011	2060 EAST EXCHANGE PLACE			TUCKER	GA	30084	5320
18 164 07 053	100 MONTREAL STATION			TUCKER	GA	30084	
18 144 12 014	1459 MONTREAL ROAD E	UNIT	306	TUCKER	GA	30084	6900
18 190 05 023	3825 LAVISTA ROAD	UNIT	G2	TUCKER	GA	30084	5115
18 190 02 027	3191 MANITOBA TRAIL			TUCKER	GA	30084	5706
18 190 02 028	3197 MANITOBA TRAIL			TUCKER	GA	30084	5706
18 190 05 049	3825 LAVISTA ROAD	UNIT	M1	TUCKER	GA	30084	5121
18 190 05 003	3825 LAVISTA ROAD	UNIT	B2	TUCKER	GA	30084	5109
18 190 02 014	3191 ALBERTA LANE			TUCKER	GA	30084	5702
18 164 03 019	1775 MONTREAL ROAD W			TUCKER	GA	30084	6724
18164 03 044	1751 MONTREAL CIRCLE			TUCKER	GA	30084	6802
1819002001	3925 LAVISTA ROAD			TUCKER	GA	30084	5108
18 213 07 020	4075 ADRIAN STREET			TUCKER	GA	30084	4405
18 226 09 001	2380 4TH STREET			TUCKER	GA	30084	3503
18 187 07 030	3603 WOODBRIAR CIRCLE	UNIT	N	TUCKER	GA	30084	5839
18 164 03 054	1656 TALTON DRIVE			TUCKER	GA	30084	
1819005075	3825 LAVISTA ROAD	UNIT	T2	TUCKER	GA	30084	
18 185 01 089	4520 ELMDALE DRIVE			TUCKER	GA	30084	6604
18 215 02 003	2185 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 214 04 089	2245 DILLARD STREET			TUCKER	GA	30084	4906
18 210 11 026	3580 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 210 11 022	3578 HABERSHAM AT NORTHLAKE		REAR	TUCKER	GA	30084	
18 144 12 001	1459 MONTREAL ROAD E	UNIT	207	TUCKER	GA	30084	8130
18 144 12 012	1459 MONTREAL ROAD E	UNIT	301	TUCKER	GA	30084	6900
18 213 03 028	2212 FELLOWSHIP ROAD			TUCKER	GA	30084	4609
18 213 12 020	4985 LAVISTA ROAD			TUCKER	GA	30084	4456
18 212 04 005	3800 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4503
18189 05 009	2081 NORTHLAKE PARKWAY			TUCKER	GA	30084	5320
18 189 02 087	1883 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	
18 190 03 019	2009 MONTREAL ROAD W			TUCKER	GA	30084	5227
18 214 17 043	2144 DILLARD CROSSING			TUCKER	GA	30084	5934
18 215 02 018	4719 HUGH HOWELL ROAD			TUCKER	GA	30084	6303
18 188 01 037	3446 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	
18 213 08 044	4869 LAVISTA ROAD			TUCKER	GA	30084	
18 212 11 001	2348 BROCKETT ROAD			TUCKER	GA	30084	

1821211071	3964 CHELSEA COMMON			TUCKER	GA	30084	4321
18 214 15 017	4226 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4716
18 190 05 060	3825 LAVISTA ROAD	UNIT	P2	TUCKER	GA	30084	5123
18 222 01 001	5238 ROYAL WOODS PARKWAY			TUCKER	GA	30084	1214
18 21417 062	2165 DILLARD CROSSING			TUCKER	GA	30084	5937
18 186 02 016	2060 IDLEWOOD ROAD			TUCKER	GA	30084	6200
18 209 06 008	4071 LAVISTA ROAD			TUCKER	GA	30084	
18 209 06 009	4055 LAVISTA ROAD			TUCKER	GA	30084	
18 209 06 010	3951 LAVISTA ROAD			TUCKER	GA	30084	
18 184 07 049							
18 184 07 050							
1821314020	4221 1ST AVENUE	STE	A	TUCKER	GA	30084	8504
18 213 14 022	4221 1ST AVENUE	STE	C	TUCKER	GA	30084	8504
18 213 16 015	2321 MAIN STREET			TUCKER	GA	30084	2505
18 213 05 001	3876 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4110
18 21211 012	4019 CHELSEA COMMON			TUCKER	GA	30084	4314
1821211015	4032 CHELSEA COMMON			TUCKER	GA	30084	4306
18187 01 002	3641 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	6129
18 227 03 001	2393 HENDERSON ROAD			TUCKER	GA	30084	3431
18 164 07 049	3334 MONTREAL STATION			TUCKER	GA	30084	
18 165 01 056	3150 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	7127
18 213 03 059	3989 LAWRENCEVILLE HIGHWAY	SIDE		TUCKER	GA	30084	
18 213 04 019	4013 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	2834
18 212 01 017	4826 LAVISTA ROAD			TUCKER	GA	30084	4401
1821308012	4104 ADRIAN STREET			TUCKER	GA	30084	4404
18 213 08 023	4957 LAVISTA ROAD			TUCKER	GA	30084	4437
18 213 08 027	4905 LAVISTA ROAD		A	TUCKER	GA	30084	4437
18 210 11 009	3546 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 14412 023	1459 MONTREAL ROAD E	UNIT	504	TUCKER	GA	30084	6928
18 145 14 005	1390 MONTREAL ROAD E			TUCKER	GA	30084	8120
18 190 05 027	3825 LAVISTA ROAD	UNIT	H2	TUCKER	GA	30084	
18 190 05 063	3825 LAVISTA ROAD	UNIT	02	TUCKER	GA	30084	5124
18 190 05 046	3825 LAVISTA ROAD	UNIT	M4	TUCKER	GA	30084	5121
18 184 07 005	2063 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6308
18 164 06 008	1616 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	7031
18 145 13 003	2924 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	8129
18 124 02 004	5860 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	5807
18 215 02 013	2200 FLINTSTONE DRIVE			TUCKER	GA	30084	6303
18 223 07 021	2532 COMMERCE PLACE			TUCKER	GA	30084	3036
18 184 04 001	1820 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6617
18 213 03 001	3989 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4520
18213 14 015	2301 2ND STREET			TUCKER	GA	30084	4454
18 212 11 048	4010 CHELSEA COMMON			TUCKER	GA	30084	4306

18 213 06 018	4114 BANCROFT CIRCLE			TUCKER	GA	30084 4410
18 190 05 084	3825 LAVISTA ROAD	UNIT	U2	TUCKER	GA	30084
18 164 07 045	1798 MONTREAL CIRCLE			TUCKER	GA	30084 6807
18 187 07 015	3601 WOODBRIAR CIRCLE	UNIT	G	TUCKER	GA	30084 5863
18 214 17 143	2284 DILLARD CROSSING			TUCKER	GA	30084 5943
18 214 17 004	2111- DILLARD CROSSING			TUCKER	GA	30084 5854
18 187 07 071	3607 WOODBRIAR CIRCLE	UNIT	C	TUCKER	GA	30084 5838
1818407051	2019 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084
18 210 01 035	2135 NORTHLAKE PARKWAY			TUCKER	GA	30084 5300
18 225 05 017	4310 LYNBURN DRIVE			TUCKER	GA	30084 4440
18 224 06 022	2430 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 3708
18 213 07 019	4083 ADRIAN STREET			TUCKER	GA	30084 4405
18 210 02 004	4153 LAVISTA ROAD			TUCKER	GA	30084 5308
18 215 04 011	4561 HUGH HOWELL ROAD			TUCKER	GA	30084
18 212 03 015	4829 LAVISTA ROAD.			TUCKER	GA	30084 4402
18 215 04 006	2054 MOUNTAIN MEADOW WALK			TUCKER	GA	30084
18 215 04 001	2158 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 5014
18 188 02 029	3336 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 7131
18 213 12 035	4228 1ST AVENUE	STE	15	TUCKER	GA	30084
18 190 02 046	1884 MONTREAL ROAD W			TUCKER	GA	30084
18 189 04 004	2037 WEEMS ROAD			TUCKER	GA	30084 7021
18 225 05 014	4358 LYNBURN DRIVE			TUCKER	GA	30084 4435
18 213 06 025	4118 BANCROFT CIRCLE			TUCKER	GA	30084
18 215 05 001	4761 HUGH HOWELL ROAD			TUCKER	GA	30084 5014
18 215 05 003	2177 FLINTSTONE DRIVE			TUCKER	GA	30084 5014
18 215 05 004	2137 FLINTSTONE DRIVE			TUCKER	GA	30084 5014
18 213 16 013	2327 MAIN STREET			TUCKER	GA	30084 2505
1821502011	2135 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084
1821401 013	4504 FLORENCE STREET			TUCKER	GA	30084 4903
18 140 01 064	1584 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083
18 214 01 008	4466 FLORENCE STREET			TUCKER	GA	30084 4901
18 214 08 005	4398 HUGH HOWELL ROAD			TUCKER	GA	30084 8518
18 21417 152	2275 DILLARD CROSSING			TUCKER	GA	30084 5943
18 188 04 009	3535 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5861
1818904011	3496 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084 7021
18 212 04 012	3750 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5507
18 212 03 089	3897 STEPHENS COURT			TUCKER	GA	30084 4322
18 213 09 007	4126 RAILROAD AVENUE			TUCKER	GA	30084 4486
18 212 11 077	3954 CHELSEA COMMON			TUCKER	GA	30084 4321
18 188 02 032	1926 NORTHLAKE PARKWAY			TUCKER	GA	30084 7069
1818906001	2039 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084 5334
18 210 01 010	2092 VISTA DALE COURT			TUCKER	GA	30084 5424
1821316039	2327 MAIN STREET	FL	2	TUCKER.	GA	30084 2505

18 215 02 027	2140 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084
18 139 05 031	1601 MCCURDY DRIVE			STONE MOUNTAIN CID	GA	30083
18 210 05 002	4235 LAVISTA ROAD			TUCKER	GA	30084 2896
18 184 02 007	2029 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084 6252
18 170 04 001	1810 AUGER DRIVE			TUCKER	GA	30084 1009
18 210 03 031	2247 NORTHLAKE PARKWAY			TUCKER	GA	30084 5308
18 224 03 003	2460 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084
18 214 17 156	2292 DILLARD CROSSING			TUCKER	GA	30084 5943
18 184 07 025	4820 HAMMERMILL ROAD			TUCKER	GA	30084 6613
18184 07 007	2053 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6308
18 210 03 055	2249 NORTHLAKE PARKWAY			TUCKER	GA	30084
18 209 06 001						
18 139 05 025						
18 210 05 004	4239 LAVISTA ROAD			TUCKER	GA	30084 2896
18 210 03 040	2286 WENDER DRIVE		REAR	TUCKER	GA	30084 3921
18 189 02 008	1950 WEST EXCHANGE PLACE			TUCKER	GA	30084 5915
1821211010	4023 CHELSEA COMMON			TUCKER	GA	30084 4314
18 187 07 033	3591 WOODBRIAR CIRCLE			TUCKER	GA	30084
18 187 07 040	3595 WOODBRIAR CIRCLE	UNIT	F	TUCKER	GA	30084 5810
1821211079	3949 CHELSEA COMMON			TUCKER	GA	30084
18 213 17 003	4301 LYNBURN DRIVE			TUCKER	GA	30084
18 187 07 090	3609 WOODBRIAR CIRCLE	UNIT	F	TUCKER.	GA	30084 5840
18 190 05 018	3825 LAVISTA ROAD	UNIT	F 1	TUCKER	GA	30084 5114
18 190 05 090	3825 LAVISTA ROAD	UNIT	W1	TUCKER	GA	30084 5130
18 190 05 051	3825 LAVISTA ROAD	UNIT	N3	TUCKER	GA	30084 5121
18 190 03 017	2001 MONTREAL ROAD W			TUCKER	GA	30084 5248
18 190 05 076	3825 LAVISTA ROAD	UNIT	T3	TUCKER	GA	30084 5109
18 190 05 026	3825 LAVISTA ROAD	UNIT	H1	TUCKER	GA	30084
18 226 06 040	4898 LAVISTA ROAD			TUCKER	GA	30084 4403
18 187 07 057	3599 WOODBRIAR CIRCLE	UNIT	G	TUCKER	GA	30084 5838
18 213 04 004	2184 IDLEWOOD ROAD			TUCKER	GA	30084 4517
18 164 06 001	1656 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084
18 214 04 021	2153 HANFRED COURT			TUCKER	GA	30084 4807
18 214 17 015	2121 DILLARD CROSSING			TUCKER	GA	30084 5854
18 224 06 023	2440 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084
8 214 17122	2242 DILLARD CROSSING			TUCKER	GA-	30084 5943
18 225 08 016	4373 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 3708
18 170 02 023	1620 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083
18 187 07 084	3607 WOODBRIAR CIRCLE	UNIT	P	TUCKER	GA	30084 5840
18 188 01 015	3524 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4104
18 213 04 008	2214 IDLEWOOD ROAD			TUCKER	GA	30084 4817
18 210 08 021	2180 NORTHLAKE PARKWAY			TUCKER	GA	30084 4114
18 189 02 103	150 CRESCENT CENTRE PARKWAY			TUCKER	GA	30084

1821417071	2183 DILLARD CROSSING			TUCKER	GA	30084	5939
18 190 03 021	2018 WEEMS ROAD			TUCKER	GA	30084	5227
18 214 05 007	4281 HUGH HOWELL ROAD			TUCKER	GA	30084	4827
18 209 06 007	4053 LAVISTA ROAD			TUCKER	GA	30084	5206
18 213 12 009	2370 MAIN STREET			TUCKER	GA	30084	4456
18 213 06 009	2255 BROCKETT ROAD			TUCKER	GA	30084	4400
18 213 11 008	4213 FELLOWSHIP ROAD			TUCKER	GA	30084	4626
18 214 01 014	2144 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	5020
18 184 03 001	1940 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6252
18 214 02 013	2111 ROSSER TERRACE			TUCKER	GA	30084	4908
1819005021	3825 LAVISTA ROAD	UNIT	F4	TUCKER	GA	30084	5114
18 212 11 026	4013 CHELSEA COMMON			TUCKER	GA	30084	4314
18 214 17 079	2199 DILLARD CROSSING			TUCKER	GA	30084	5939
18 224 09 001	2402 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 190 03 023	1985 MONTREAL ROAD W		REAR	TUCKER	GA	30084	
18 21211 022	4018 CHELSEA COMMON			TUCKER	GA	30084	4306
18 187 07 005	3597 WOODBRIAR CIRCLE	UNIT	E	TUCKER	GA	30084	6403
18 213 04 067	4053 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4615
18 226 06 003	4882 LAVISTA ROAD			TUCKER	GA	30084	4460
18 189 04 002	3434 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084	7021
18 214 01 021	4487 HUGH HOWELL ROAD			TUCKER	GA	30084	4911
18 138 02 012	1549 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
18 184 01 019	1849 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6600
18 139 03 010	1525 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083	
18 223 06 019	5005 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3006
1818707091	3609 WOODBRIAR CIRCLE	UNIT	G	TUCKER	GA	30084	5840
18 214 17 040	2138 DILLARD CROSSING			TUCKER	GA	30084	5878
18 184 07 021	4942 HAMMERMILL ROAD			TUCKER	GA	30084	6637
18 213 04 018	4021 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	2834
18 144 12 022	1459 MONTREAL ROAD E	UNIT	503	TUCKER	GA	30084	6928
1821312011	4220 1ST AVENUE			TUCKER	GA	30084	
18 214 04 072	2110 ROSSER TERRACE			TUCKER	GA	30084	4907
18 21415 004	2293 MAIN STREET			TUCKER	GA	30084	1740
18 210 02 005	4145 LAVISTA ROAD			TUCKER	GA	30084	5308
18 187 07 051	3599 WOODBRIAR CIRCLE	UNIT	A	TUCKER	GA	30084	5810
18 188 01 019	3556 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5803
18 212 11 050	4004 CHELSEA COMMON			TUCKER	GA	30084	
18 213 16 017	2319 MAIN STREET			TUCKER	GA	30084	4471
18 214 04 083	2200 ROSSER TERRACE			TUCKER	GA	30084	4909
18 225 08 018	4335 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3708
18 21417112	2247 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 065	2171 DILLARD CROSSING			TUCKER	GA	30084	5937
18 185 01 078	2003 SOUTH BIBB DRIVE			TUCKER	GA	30084	6246

1821417161	2093 DILLARD CROSSING			TUCKER	GA	30084	5943
18 212 .11 085	3963 CHELSEA COMMON			TUCKER	GA	30084	4323
18 214 17 150	2279 DILLARD CROSSING			TUCKER	GA	30084	5943
18 222 01 009	5060 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	1214
18 145 04 044	1651 MONTREAL CIRCLE			TUCKER	GA	30084	6933
18 210 11 015	3574 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084	4009
18 213 12 026	4228 1ST AVENUE	STE	6	TUCKER	GA	30084	
18 144 12 021	1459 MONTREAL ROAD E	UNIT	502	TUCKER	GA	30084	6928
18 212 11 082	3946 CHELSEA COMMON			TUCKER	GA	30084	4321
18 188 05 022	3469 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	7135
18 189 05 010	2077 NORTHLAKE PARKWAY			TUCKER	GA	30084	5320
18 213 06 001	2303 BROCKETT ROAD			TUCKER	GA	30084	4505
18 214 04 094	2217 DILLARD STREET			TUCKER	GA	30084	4906
18 214 02 009	4461 FLORENCE STREET			TUCKER	GA	30084	4902
18 170 02 020	4607 GREER CIRCLE			STONE MOUNTAIN	GA	30083	1009
18 170 01 003	4748 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1019
18 190 05 086	3825 LAVISTA ROAD	UNIT	V4	TUCKER	GA	30084	5129
18 187 07 073	3607 WOODBRIAR CIRCLE	UNIT	E	TUCKER	GA	30084	5838
18 212 03 112	3891 STEPHENS COURT	STE	200	TUCKER	GA	30084	4311
1818908021	1824 MONTREAL COURT			TUCKER	GA	30084	5211
18 213 04 014	4065 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	2834
18 212 06 019	3761 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4504
1818801025	3386 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	7138
18 214 08 012	4412 HUGH HOWELL ROAD			TUCKER	GA	30084	8518
1821502019	2106 FLINTSTONE DRIVE			TUCKER	GA	30084	6303
18 171 02 017	1667 LEWIS WAY			STONE MOUNTAIN	GA	30083	1104
18 212 11 054	3981 CHELSEA COMMON			TUCKER	GA	30084	4323
18 214 17 131	2253 DILLARD CROSSING			TUCKER	GA	30084	5943
18 225 05 003	5165 LAVISTA ROAD			TUCKER	GA	30084	3602
18 186 02 017	2088 IDLEWOOD ROAD			TUCKER	GA	30084	6108
18 184 01 002	4690 HAMMERMILL ROAD			TUCKER	GA	30084	6600
18 210 03 047	2163 NORTHLAKE PARKWAY			TUCKER	GA	30084	3921
1821417090	2219 DILLARD CROSSING			TUCKER	GA	30084	5941
18 138 02 027	5684 EAST PONCE DE LEON AVENUE.			STONE MOUNTAIN	GA	30083	
18 214 04 097	2203 DILLARD STREET			TUCKER	GA	30084	4906
18 214 02 003	4505 FLORENCE STREET			TUCKER	GA	30084	4904
18 210 03 056	2251 NORTHLAKE PARKWAY			TUCKER	GA	30084	
18 138 01 005	5560 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	1325
18 213 08 006	4060 ADRIAN STREET			TUCKER	GA	30084	
18 212 11 036	4001 CHELSEA COMMON			TUCKER	GA	30084	4314
18 226 04 001	5029 LAVISTA ROAD			TUCKER	GA	30084	3536
18 226 02 006	5072 LAVISTA ROAD			TUCKER	GA	30084	3500
1818801039	3566 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5862

18 184 05 002	1870 FORGE STREET			TUCKER	GA	30084 6634
18 213 12 016	2376 MAIN STREET	UNIT	2	TUCKER	GA	30084
18 213 08 032	4879 LAVISTA ROAD	STE	300	TUCKER	GA	30084 4436
18 190 05 009	3825 LAVISTA ROAD	UNIT	C4	TUCKER	GA	30084 5111
18 190 02 015	3197 ALBERTA LANE			TUCKER	GA	30084 5702
18 190 05 078	3825 LAVISTA ROAD	UNIT	A1	TUCKER	GA	30084 5134
18 214 16 005	2214 DILLARD STREET			TUCKER	GA	30084 4829
18 225 05 019	4322 LYNBURN DRIVE			TUCKER	GA	30084 4440
18 225 08 020	4317 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
1821304017	4037 LAWRENCEVILLE H.IGHWAY			TUCKER	GA	30084 2834
18 225 02 001	5234 LAVISTA ROAD			TUCKER	GA	30084
18 213 08 005	4076 ADRIAN STREET			TUCKER	GA	30084 4404
18 212 11 040	4012 CHELSEA COMMON		COMM	TUCKER	GA	30084 4306
18 184 07 009	4675 GRANITE DRIVE			TUCKER	GA	30084 6306
1818707003	3597 WOODBRIAR CIRCLE	UNIT	C	TUCKER	GA	30084 6403
18 190 05 103	3825 LAVISTA ROAD	UNIT	Z3	TUCKER	GA	30084 5133
18 212 04 001	3816 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4503
18 144 07 008	2909 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
1821314001	4236 RAILROAD AVENUE			TUCKER	GA	30084 4426
1821305011	3984 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4505
18 214 17 024	2159 DILLARD CROSSING			TUCKER	GA	30084 5937
18 214 17 041	2140 DILLARD CROSSING			TUCKER	GA	30084 5934
1821315001	3990 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 8504
18 212 11 008	4033 CHELSEA COMMON			TUCKER	GA	30084 4314
18 214 04 060	4315 COWAN ROAD			TUCKER	GA	30084 4811
18 214 04 025	2113 HANFRED COURT			TUCKER	GA	30084 4807
18 145 04 030	1610 TALTON DRIVE			TUCKER	GA	30084 6913
18 184 07 032	4545 GRANITE DRIVE			TUCKER	GA	30084 6613
18 214 09 006	4121 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 2821
18 189 06 008	2064 NORTHLAKE PARKWAY			TUCKER	GA	30084 5334
18 189 06 013	2064 NORTHLAKE PARKWAY			TUCKER	GA	30084
18 213 11 006	4180 1ST AVENUE			TUCKER	GA	30084 4427
18 138 04 002	1481 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083 1325
18 184 05 013	1911 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6630
18 171 05 006	1699 LITTON DRIVE			STONE MOUNTAIN	GA	30083 1116
18 21211 009	4031 CHELSEA COMMON			TUCKER	GA	30084 4314
18 190 05 082	3825 LAVISTA ROAD	UNIT	U4	TUCKER	GA	30084 5128
18 190 05 092	3825 LAVISTA ROAD	UNIT	W3	TUCKER	GA	30084 5130
1821308018	4192 BANCROFT CIRCLE			TUCKER	GA	30084 4406
1821502010	4625 HUGH HOWELL ROAD			TUCKER	GA	30084 6303
18 225 05 010	5109 LAVISTA ROAD			TUCKER	GA	30084 3602
1813802001	1609 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083 1325
18 21411 031	2326 4TH STREET			TUCKER	GA	30084 4461

18 190 05 010	3825 LAVISTA ROAD	UNIT	D1	TUCKER	GA	30084	5112
18 164 07 046	3327 MONTREAL STATION			TUCKER	GA	30084	6807
1821312001	4983 LAVISTA ROAD			TUCKER	GA	30084	4626
18 225 03 009	5148 LAVISTA ROAD			TUCKER	GA	30084	3636
18 224 06 026	4635 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3802
18 214 01 033.	2203 ROSSER TERRACE			TUCKER	GA	30084	4910
18 214 17 056	2188 DILLARD CROSSING			TUCKER	GA	30084	5938
18 225 05 023	4315 CHURCH STREET			TUCKER	GA	30084	4421
1821415016	4192 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4716
18 184 03 002	1844 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6252
18 212 11 024	4024 CHELSEA COMMON			TUCKER	GA	30084	
18 225 08 021	4363 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	
18 222 03 002	5088 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	8611
18 190 05 054	3825 LAVISTA ROAD	UNIT	04	TUCKER	GA	30084	5141
18 187 07 024	3603 WOODBRIAR CIRCLE	UNIT	H	TUCKER	GA	30084	5863
18 224 07 025	2467 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3811
18 213 04 023	2187 FELLOWSHIP ROAD			TUCKER	GA	30084	4619
18 212 06 010	3863 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4501
18 225 08 022	4305 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	
1813801011	1526 LITTON DRIVE			STONE MOUNTAIN	GA	30083	1325
18 214 17 148	2283 DILLARD CROSSING			TUCKER	GA	30084	5943
18 188 04 008	3507 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5861
1821211072	3962 CHELSEA COMMON			TUCKER	GA	30084	4321
18 213 06 015	4096 BANCROFT CIRCLE			TUCKER	GA	30084	4408
18 214 17 088	2218 DILLARD CROSSING			TUCKER	GA	30084	5940
18 223 06 020	4997 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3006
18 214 17 104	2234 DILLARD CROSSING			TUCKER	GA	30084	5943
18 223 01 008	2693 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	
18 214 04 081	2182 ROSSER TERRACE			TUCKER	GA	30084	4907
18 190 02 010	2018 MONTREAL ROAD W			TUCKER	GA	30084	5701
1813804004	1599 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083	1325
18 210 08 036	4232 LAVISTA ROAD			TUCKER	GA	30084	4114
18 212 09 001	2290 MOON STREET			TUCKER	GA	30084	
1821211060	3971 CHELSEA COMMON			TUCKER	GA	30084	4323
18 214 17 095	2209 DILLARD CROSSING			TUCKER	GA	30084	5941
18 138 02 018	4889 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1325
18 164 03 042	1733 MONTREAL CIRCLE			TUCKER	GA	30084	6802
18 187 07 068	3605 WOODBRIAR CIRCLE	UNIT	J	TUCKER	GA	30084	5838
18 223 05 001	4824 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3805
18 190 05 070	3825 LAVISTA ROAD	UNIT	S1	TUCKER	GA	30084	
1818501077	4452 BIBB BOULEVARD			TUCKER	GA	30084	6246
18 21417 163	2097 DILLARD CROSSING			TUCKER	GA	30084	5943
18 209 06 006	3953 LAVISTA ROAD			TUCKER	GA	30084	2701

18 214 04 030	2144 HANFRED COURT			TUCKER	GA	30084 4806
18 210 01 025	4271 LAVISTA ROAD			TUCKER	GA	30084 5417
18 213 08 029	4893 LAVISTA ROAD			TUCKER	GA	30084 4436
18 222 01 011	5150 NORTH ROYAL ATLANTA DR.IVE			TUCKER	GA	30084 1214
18 214 17 129	2257 DILLARD CROSSING			TUCKER	GA	30084 5943
18 212 11 049	4012 CHELSEA COMMON			TUCKER	GA	30084 4306
18 225 04 015	5122 LAVISTA ROAD .			TUCKER	GA	30084 3637
18 190 05 036	3825 LAVISTA ROAD	UNIT	j 3	TUCKER	GA	30084 5118
18 213 12 010	2362 MAIN STREET			TUCKER	GA	30084
18 214 05 024	4403 HUGH HOWELL ROAD			TUCKER	GA	30084 4906
18 144 12 007	1459 MONTREAL ROAD E	UNIT	206	TUCKER	GA	30084
18 213 06 023	4079 COMANCHE DRIVE			TUCKER	GA	30084 4423
18 213 04 068	2230 IDLEWOOD ROAD			TUCKER	GA	30084
1821211038	4005 CHELSEA COMMON			TUCKER	GA	30084 4314
18 213 12 037	4228 1ST AVENUE	STE	14	TUCKER	GA	30084 4426
18 139 03 008	1595 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083 1915
18 215 04 005	2171 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084 5014
18 190 02 037	1846 MONTREAL ROAD W			TUCKER	GA	30084 5709
18 213 06 021	4120 BANCROFT CIRCLE			TUCKER	GA	30084 4425
18 215 05 002	2189 FLINTSTONE DRIVE			TUCKER	GA	30084 5014
18 214 17 072	2185 DILLARD CROSSING			TUCKER	GA	30084 5939
18 223 07 025	5002 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3035
18 214 01 007	4460 FLORENCE STREET			TUCKER	GA	30084 4901
18 214 04 035	4356 HANFRED LANE			TUCKER	GA	30084 4811
18 214 01 023	4465 HUGH HOWELL ROAD			TUCKER	GA	30084 4911
18 222 03 009	5116 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3034
18 184 02 004	2008 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6252
18 187 07 072	3607 WOODBRIAR CIRCLE	UNIT	D	TUCKER	GA	30084 5838
18 210 03 038	4274 LAVISTA ROAD			TUCKER	GA	30084 3921
1821003019	2245 NORTHLAKE PARKWAY			TUCKER	GA	30084 5308
18 226 05 001	4988 LAVISTA ROAD			TUCKER	GA	30084
18 226 06 013	4972 LAVISTA ROAD			TUCKER	GA	30084 4403
18 226 10 002	2380 MAIN STREET			TUCKER	GA	30084
18 214 09 024	2239 IDLEWOOD ROAD			TUCKER	GA	30084
18 188 01 040	3394 LAWRENCEVILLE HIGHWAY		REAR	TUCKER	GA	30084
18 187 07 093	3593 WOODBRIAR CIRCLE			TUCKER	GA	30084 5840
18 187 07 076	3607 WOODBRIAR CIRCLE	UNIT	H	TUCKER	GA	30084 5838
18 190 02 019	1980 MONTREAL ROAD W			TUCKER	GA	30084 5217
18 210 08 042	4246 LAVISTA ROAD			TUCKER	GA	30084 4114
1814411 001	1475 MONTREAL ROAD E			TUCKER	GA	30084 8001
18 190 05 073	3825 LAVISTA ROAD	UNIT	S4	TUCKER	GA	30084 5126
18 212 03 035	2196 STEPHENS STREET			TUCKER	GA	30084 4414
18 145 13 004	1596 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084

18 190 02 043	1872 MONTREAL ROAD W			TUCKER	GA	30084	5709
18 214 04 036	4364 HANFRED LANE			TUCKER	GA	30084	4811
1821417118	2235 DILLARD CROSSING			TUCKER	GA	30084	5943
18 187 07 012	3601 WOODBRIAR CIRCLE	UNIT	D	TUCKER	GA	30084	5841
18 214 17 139	2276 DILLARD CROSSING			TUCKER	GA	30084	5943
18 184 07 015	4747 GRANITE DRIVE			TUCKER	GA	30084	6306
18 187 07 066	3605 WOODBRIAR CIRCLE	UNIT	H	TUCKER	GA	30084	5838
18 212 11 084	3961 CHELSEA COMMON			TUCKER	GA	30084	4323
18 226 01 011	5084 LAVISTA ROAD			TUCKER	GA	30084	3511
18 189 02 104	1863 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	
18 138 02 005	5650 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	1325
18 187 07 039	3595 WOODBRIAR CIRCLE	UNIT	E	TUCKER	GA	30084	5810
18 214 16 009	4383 HANFRED LANE			TUCKER	GA	30084	4829
18 213 14 007	2340 MAIN STREET			TUCKER	GA	30084	4413
1822501013	4372 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	3714
18 21211 073	3960 CHELSEA COMMON			TUCKER	GA	30084	4321
1821001 015	2130 VISTA DALE COURT			TUCKER	GA	30084	5417
18 213 04 071	4095 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4615
18 185 01 083	2072 NORTH BIBB DRIVE			TUCKER	GA	30084	6238
18 214 04 100	2175 DILLARD STREET			TUCKER	GA	30084	4906
18 223 07 028	4916 NORTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3033
18 214 17 145	2289 DILLARD CROSSING			TUCKER	GA	30084	5943
18 188 01 045	3602 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	5862
18 212 11 052	3967 CHELSEA COMMON			TUCKER	GA	30084	
18 214 17 051	2158 DILLARD CROSSING			TUCKER	GA	30084	5934
18 210 01 016	2142 VISTA DALE COURT			TUCKER	GA	30084	5417
18 222 02 020	5111 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3053
18 225 05 015	4298 LYNBURN DRIVE			TUCKER	GA	30084	4438
18 226 06 011	4952 LAVISTA ROAD			TUCKER	GA	30084	4403
18 214 17 001	2117 DILLARD CROSSING			TUCKER	GA	30084	5854
18 223 06 002	4925 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084	3006
18 169 01 009	4401 SARR PARKWAY			TUCKER	GA	30084	7616
18 187 07 043	3595 WOODBRIAR CIRCLE	UNIT	I	TUCKER	GA	30084	5810
18 144 12 005	1459 MONTREAL ROAD E	UNIT	202	TUCKER	GA	30084	8130
18 214 16 003	2222 DILLARD STREET			TUCKER	GA	30084	4829.
1821001011	2096 VISTA DALE COURT			TUCKER	GA	30084	5424
18 165 01 055	1793 CEMETERY AVENUE			TUCKER	GA	30084	7025
1817002001	4680 LEWIS ROAD			STONE MOUNTAIN	GA	30083	1027
18 190 05 006	3825 LAVISTA ROAD	UNIT	C1	TUCKER	GA	30084	5111
18 213 06 003	2293 BROCKETT ROAD			TUCKER	GA	30084	4400
18 213 15 015	2262 TOWNSHIP LANE			TUCKER	GA	30084	4616
18 226 06 014	5121 CHAMBLEE TUCKER ROAD			TUCKER	GA	30084	3506
18 139 05 006	5356 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083	

18 256 06 038	2660 TUCKER VALLEY ROAD			TUCKER	GA	30084 3002
18 164 06 009	1612 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084 7031
18 214 17 007	2105 DILLARD CROSSING			TUCKER	GA	30084 5854
18 213 06 01.6	4102 BANCROFT CIRCLE			TUCKER	GA	30084 4410
18 212 11 083	3944 CHELSEA COMMON			TUCKER	GA	30084 4321
18 213 04 066	4085 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4615
1821211064	3976 CHELSEA COMMON			TUCKER	GA	30084 4321
18 223 07 018	2791 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 3031
18 225 03.011	5164 LAVISTA ROAD			TUCKER	GA	30084 3636
18 185 01 081	1979 SOUTH BIBB DRIVE			TUCKER.	GA	30084 6238
18 190 05 052	3825 LAVISTA ROAD	UNIT	N2	TUCKER	GA	30084 5122
18 144 12 013	1459 MONTREAL ROAD E	UNIT	302	TUCKER	GA	30084 6900
18 164 03 047	1763 MONTREAL CIRCLE			TUCKER	GA	30084 6802
18 190 05 094	3825 LAVISTA ROAD	UNIT	X4	TUCKER	GA	30084 5130
18 190 02 018	1986 MONTREAL ROAD W			TUCKER	GA	30084 5217
18 190 02 017	1992 MONTREAL ROAD W			TUCKER	GA	30084 5217
18 189 02 099	3551 OLD COOLEGE ROAD			TUCKER	GA	30084 7021
18 190 05 093	3825 LAVISTA ROAD	UNIT	W4	TUCKER	GA	30084 5130
1818801001	2100 EAST EXCHANGE PLACE			TUCKER	GA	30084 5840
18 214 01 002	2191 ROSSER TERRACE			TUCKER	GA	30084 4912
18 223 01 006	4900 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084
18 184 02 006	2033 TUCKER INDUSTRIAL ROAD			TU_CKER	GA	30084
18 190 05 047	3825 LAVISTA ROAD	UNIT	M3	TUCKER	GA	30084 5109
1821203117	2220 STEPHENS STREET			TUCKER	GA	30084 4312
18 190 02 032	1944 MONTREAL ROAD W			TUCKER	GA	30084 5201
1821308011	4100 ADRIAN STREET			TUCKER	GA	30084 4404
18 215 02 016	2156 FLINTSTONE DRIVE			TUCKER	GA	30084 6303
18 214 17 028	2151 DILLARD CROSSING			TUCKER	GA	30084 5937
18 210 03 043	4276 LAVISTA ROAD			TUCKER	GA	30084 3921
18 165 05 052	1653 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084
18 214 09 015	4141 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 2821
18 139 04 003	4669 LEWIS ROAD			STONE MOUNTAIN	GA	30083 1915
18 213 07 002	2323 BROCKETT ROAD			TUCKER	GA	30084 4412
18 213 05 014	3910 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4505
18 213 17 002	2355 MAIN STREET			TUCKER	GA	30084 4476.
18 213 09 003	4141 BANCROFT CIRCLE			TUCKER	GA	30084 4411
18 212 04 014	3738 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
18 190 05 095	3825 LAVISTA ROAD	UNIT	X3	TUCKER	GA	30084 5131
18 213 10 004	4180 RAILROAD AVENUE			TUCKER	GA	30084 4484
18 212 11 086	3965 CHELSEA COMMON			TUCKER	GA	30084 4323
18 164 07 043	3346 MONTREAL STATION			TUCKER	GA	30084 6807
1821316018	4296 RAILROAD AVENUE			TUCKER	GA	30084 4487
18 190 04 011	1823 MONTREAL ROAD W			TUCKER	GA	30084

18 190 02 005	1882 MONTREAL ROAD W			TUCKER	GA	30084
18 214 17 031	2120 DILLARD CROSSING			TUCKER	GA	30084 5878
18 214 17 082	2205 DILLARD CROSSING			TUCKER	GA	30084 5941
18 171 05 003	1750 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083 1104
18 184 07 033	4840 HAMMERMILL ROAD			TUCKER	GA	30084 6613
18 169 01 017	1724 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083
18 224 07 026	2457 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 3811
18 210 01 006	2113 VISTA DALE COURT			TUCKER	GA	30084 5418
18 213 14 019	4226 RAILROAD AVENUE			TUCKER	GA	30084 4446
1821211018	4026 CHELSEA COMMON			TUCKER	GA	30084 4306
18 213 06 012	4072 BANCROFT CIRCLE			TUCKER	GA	30084 4408
18 212 04 009	37,76 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
18 213 12 024	4228 1ST AVENUE	STE	4	TUCKER	GA	30084
18 213 08 047	4120 ADRIAN STREET			TUCKER	GA	30084
18 1.90 05 058	3825 LAVISTA ROAD	UNIT	P4	TUCKER	GA	30084 5123
18 225 05 004	5149 LAVISTA ROAD			TUCKER	GA	30084 3602
18 190 05 074	3825 LAVISTA ROAD	UNIT	T1	TUCKER	GA	30084- 5127
18 210 11 013	3562 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
1818801018	3548 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4104
18 190 05 064	3825 LAVISTA ROAD	UNIT	Q3	TUCKER	GA	30084. 5124
18 226 10 003	5001 LAVISTA ROAD			TUCKER	GA	30084 3512
18 214 17 061	2163 DILLARD CROSSING			TUCKER	GA	30084 5937
18 225 05 022	2397 4TH STREET			TUCKER	GA	30084 4467
18 214 17 107	2229 DILLARD CROSSING			TUCKER	GA	30084 5943
18 223 01 017	5044 SOUTH ROYAL ATLANTA DRIVE	STE	A	TUCKER	GA	30084 3032
1821411032	4302 RAILROAD AVENUE			TUCKER	GA	30084 4448
18 214 01 004	2159 ROSSER TERRACE			TUCKER	GA	30084 4912
18 118 04 002	1191 MONTREAL ROAD E			TUCKER	GA	30084 8213
1821312018	2370 MAIN STREET	UNIT	2	TUCKER	GA	30084
18 210 08 015	2166 NORTHLAKE PARKWAY			TUCKER	GA	30084 4114
18 164 06 004	1638 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084 6702
1821011012	3558 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
18 145 14 008	1300 MONTREAL ROAD E			TUCKER	GA	30084 8120
18 210 01 028	2101 NORTHLAKE PARKWAY			TUCKER	GA	30084 5417
18 226 06 009	4940 LAVISTA ROAD			TUCKER	GA	30084 4403
18 165 01 058	1731 CEMETERY AVENUE			TUCKER	GA	30084
18 21417 059	2194 DILLARD CROSSING			TUCKER	GA	30084 5938
18 184 07 027	4730 HAMMERMILL ROAD			TUCKER	GA	30084 6613
18 145 14 009	1350 MONTREAL ROAD E			TUCKER	GA	30084 8146
1821207008.	3717 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5508
18 124 02 005	5828 EAST PONCE DE LEON AVENUE			STONE MOUNTAIN	GA	30083
18 138 01 003	1565 LITTON DRIVE			STONE MOUNTAIN	GA	30083 1515
18 213 04 005	2196 IDLEWOOD ROAD			TUCKER	GA	30084 4815

18 213 04 034	2195 FELLOWSHIP ROAD			TUCKER	GA	30084	4619
18 210 01 029	2133 LAVISTA EXECUTIVE PARK			TUCKER	GA	30084	5417
18 214 17 124	2246 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 17 055	2186 DILLARD CROSSING			TUCKER	GA	30084	5938
18 214 17 109	2225 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 04 029	2136 HANFRED COURT			TUCKER	GA	30084	4806
18 190 05 053	3825 LAVISTA ROAD	UNIT	N 1	TUCKER	GA	30084	5122
18 222 02 021	5243 ROYAL WOODS PARKWAY			TUCKER	GA	30084	3053
18 190 02 007	3190 ALBERTALANE			TUCKER	GA	30084	5108
18 185 01 022	1986 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	6631
18 213 08 010	4096 ADRIAN STREET			TUCKER	GA	30084	4404
18 187 07 041	3595 WOODBRIAR CIRCLE	UNIT	G	TUCKER	GA	30084	5810
18 213 10 001	2307 FELLOWSHIP ROAD			TUCKER	GA	30084	4612
18 21415 011	4138 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084	4716
18 169 01 010	1694 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083	
18 170 02 021	1696 MOUNTAIN INDUSTRIAL BOULEVARD			STONE MOUNTAIN	GA	30083	
18 184 05 022	1861 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	6608
18 224 06 021	2480 TUCKERSTONE PARKWAY			TUCKER	GA	30084	
18 213 04 009	2220 IDLEWOOD ROAD			TUCKER	GA	30084	4817
18 213 14 028	4215 1ST AVENUE			TUCKER	GA	30084	
18 21417140	2278 DILLARD CROSSING			TUCKER	GA	30084	5943
18 214 04 075	2134 ROSSER TERRACE			TUCKER	GA	30084	4907
18 214 15 010	2294 4TH STREET			TUCKER	GA	30084	4716
18 215 03 007	2277 TUCKER INDUSTRIAL ROAD			TUCKER	GA	30084	5014
18 145 14 004	1400 MONTREAL ROAD E			TUCKER	GA	30084	6919
18 124 02 003	1327 ROCK MOUNTAIN BOULEVARD			STONE MOUNTAIN	GA	30083	
18 164 07 052	3340 MONTREAL STATION			TUCKER	GA	30084	
18 190 05 045	3825 LAVISTA ROAD	UNIT	L4	TUCKER	GA	30084	
18 210 03 053	2285 NORTHLAKE CENTER DRIVE			TUCKER	GA	30084	
18 138 02 002	1585 STONE RIDGE DRIVE			STONE MOUNTAIN	GA	30083	1325
18 213 15 012	2300 MAIN STREET			TUCKER	GA	30084	4442
18 164 06 005	1632 CRESCENT CENTRE BOULEVARD			TUCKER	GA	30084	6702
18 187 07 046	3595 WOODBRIAR CIRCLE	UNIT	L	TUCKER	GA	30084	5810
18 210 01 026	4279 LAVISTA ROAD			TUCKER	GA	30084	5417
18 226 01 013	5100 LAVISTA ROAD			TUCKER	GA	30084	3601
18 2.56 05 058	2918 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084	3012
18 225 05 008	5121 LAVISTA ROAD			TUCKER	GA	30084	3602
18 184 08 009	4713 HAMMERMILL ROAD			TUCKER	GA	30084	6611
18 144 12 004	1459 MONTREAL ROAD E	UNIT	201	TUCKER	GA	30084	8130
18 214 04 071	2102 ROSSER TERRACE			TUCKER	GA	30084	4907
18 214 17 034	2126 DILLARD CROSSING			TUCKER	GA	30084	5878
18 214 17 014	2123 DILLARD CROSSING			TUCKER	GA	30084	5854
18 170 02 017	1629 ROADHAVEN DRIVE			STONE MOUNTAIN	GA	30083	1009

18 214 07 022	4338 RAILROAD AVENUE			TUCKER	GA	30084 8518
18 214 09 020	2253 IDLEWOOD ROAD			TUCKER	GA	30084 4818
18 184 03 006	1856 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 6252
18 145 14 002	1406 MONTREAL ROAD E			TUCKER	GA	30084
18 188 04 046	3553 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084
18 184 07 041	4543 ROGER MARTEN WAY			TUCKER	GA	30084
18 213 08 013	4110 ADRIAN STREET			TUCKER	GA	300.84 4404
18 212 11 065	3974 CHELSEA COMMON			TUCKER	GA	30084 4321
18 170 04 005	4740 HAMMERMILL ROAD			TUCKER	GA	30084 1009
18 214 02 007	4475 FLORENCE STREET			TUCKER	GA	30084 4902
18 214 17 063	2167 DILLARD CROSSING			TUCKER	GA	30084 5937
18 223 02 001	2706 MOUNTAIN INDUSTRIAL BOULEVARD			TUCKER	GA	30084 3032
18 225 05 009	5115 LAVISTA ROAD			TUCKER	GA	30084 3602
1821011010	3550 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
18 188 01 009	3476 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 5801
18187 07 020	3603 WOODBRIAR CIRCLE	UNIT	D	TUCKER	GA	30084 5863
18 190 05 100	3825 LAVISTA ROAD	UNIT	Y3	TUCKER	GA	30084 5132
18144 12 024	1459 MONTREAL ROAD E	UNIT.	508	TUCKER	GA	30084 6928
18 223 06 010	4901 SOUTH ROYAL ATLANTA DRIVE			TUCKER	GA	30084 3006
18 210 11 023	3541 HABERSHAM AT NORTHLAKE			TUCKER	GA	30084 4009
18 213 15 010	4058 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4622
18 212 06 014	3807 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 4504
18 190 02 022	3202 MANITOBA TRAIL			TUCKER	GA	30084 5217
18 256 06 033	2710 TUCKER VALLEY ROAD			TUCKER	GA	30084 3003
18 187 07 056	3599 WOODBRIAR CIRCLE	UNIT	F	TUCKER	GA	30084 5838
18 224 06 020	2484 TUCKERSTONE PARKWAY			TUCKER	GA	30084 3708
18 214 15 006	4124 LAWRENCEVILLE HIGHWAY			TUCKER	GA	30084 1740
18 164 07 038	1750 MONTREAL CIRCLE			TUCKER	GA	30084 7031
18 190 03 010	3316 MONTREAL INDUSTRIAL WAY			TUCKER	GA	30084 5137

JANUARY 11, 2022. PROPOSED PARCEL ADDITIONS

18 209 02 028	4800 BRIARCLIFF ROAD			ATLANTA	GA	30345
18 209 02 029	2201 HENDERSON MILL ROAD			ATLANTA	GA	30345 2711
18 209 02 030	4840 BRIARCLIFF ROAD			ATLANTA	GA	30345 2702
18 209 02 031	4800 BRIARCLIFF ROAD	STE	B1	ATLANTA	GA	30345
18 209 02 042	2231 HENDERSON MILL ROAD			ATLANTA	GA	30345
18 209 02 043	4786 BRIARCLIFF ROAD			ATLANTA	GA	30345
18 209 02 044	4816 BRIARCLIFF ROAD			ATLANTA	GA.	30345
18 209 02 045	4832 BRIARCLIFF ROAD			ATLANTA	GA	30345
18 209 04 005	3220 EVELYN STREET			ATLANTA	GA	30345 2716

18 209 04 006	3972 LAVISTA ROAD	TUCKER	GA	30084 2713
18 209 04 007	2080 HENDERSON MILL ROAD	ATLANTA	GA	30345 3724
18 209 04 038	2102 HENDERSON MILL ROAD	ATLANTA	GA	30084 3762
18 209 04 040	2078 HENDERSON MILL ROAD	ATLANTA	GA	30084 3724
18 209 04 041	2068 HENDERSON MILL ROAD	ATLANTA	GA	30084 3758
18 209 05 001	4875 BRIARCLIFF ROAD	ATLANTA	GA	30084 2701
18 209 05 003	4855 BRIARCLIFF ROAD	ATLANTA	GA	30084 2701



MEMO

To: Honorable Mayor and City Council Members
From: Ken Hildebrandt
CC: Tami Hanlin, City Manager
Date: January 11, 2022
RE: Memo - Old Norcross Road Easement Acquisition

Issue:

Authorization for staff to proceed with the acquisition of easements for the Old Norcross Road Sidewalk project.

Recommendation:

Authorize staff to proceed with negotiations to acquire easements at a cost not to exceed \$100,000.

Background:

The City has identified the need for sidewalk on Old Norcross Road. Engineering plans have been completed to install sidewalk on the west side of Old Norcross Road from Lawrenceville Highway to Spring Glen Drive. AT&T has agreed to relocate the utility poles at no cost. Approximately 15 temporary construction easements and 6 permanent drainage easements are required for this project.

Summary:

Atlas Consulting Services has been contracted (TO# 2018-016 #31) to acquire these easements on the City's behalf. The approximate value of all of the easements is \$100,000. This authorization will allow the consultant and the City Engineer to negotiate with the property owners. Each easement acquisition will need to be approved by the City Manager.

Financial Impact:

Up to \$100,000 will be funded from the SPLOST Trail/Sidewalk account (320-4224-54.14000).

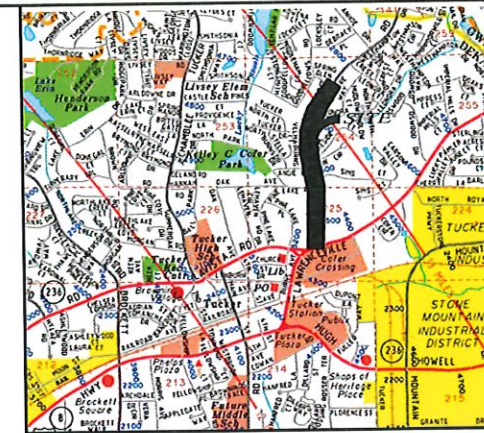
STORM DRAIN LEGEND	
HEADWALL	D
FLARED END SECTION	D
DROP INLET	□
SINGLE WING CATCH BASIN	Λ
DOUBLE WING CATCH BASIN	Λ
JUNCTION BOX	○
WELL-SQUARE STRUCTURE	□
WELL-CIRCULAR STRUCTURE	○

PROPOSED STRUCTURES ARE BOLD.
EXISTING STRUCTURES ARE LIGHT.

GENERAL NOTES

1. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR RELOCATION OF METERS AND APPURTENANCES IN CONFLICT
2. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO RELOCATE EXISTING POWER POLES. POLES TO BE RELOCATED TO BACK OF R/W.
3. DISTURBED MAILBOXES TO BE REINSTALLED WITH USPS COMPLIANT MAILBOXES AGREEABLE TO PROPERTY OWNER.

OWNER/DEVELOPER:
THE CITY OF TUCKER
1975 LAKESIDE PARKWAY
TUCKER, GA 30084



LOCATION MAP 1" = 2000'

Gaskins
ENGINEERING • SURVEYING • PLANNING • CONSTRUCTION
1800 Peachtree Industrial Blvd., Suite 204
Lawrenceville, GA 30046
Phone: 770-962-7148
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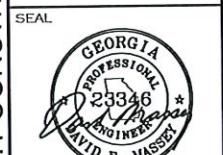
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OLD NORCROSS ROAD SIDEWALK IMPROVEMENTS

LAND LOTS 225 AND 254, 18TH DISTRICT,
CITY OF TUCKER, DEKALB COUNTY, GEORGIA
ZONED R3

REVISIONS		
REV.	DATE	REVISION REFERENCE

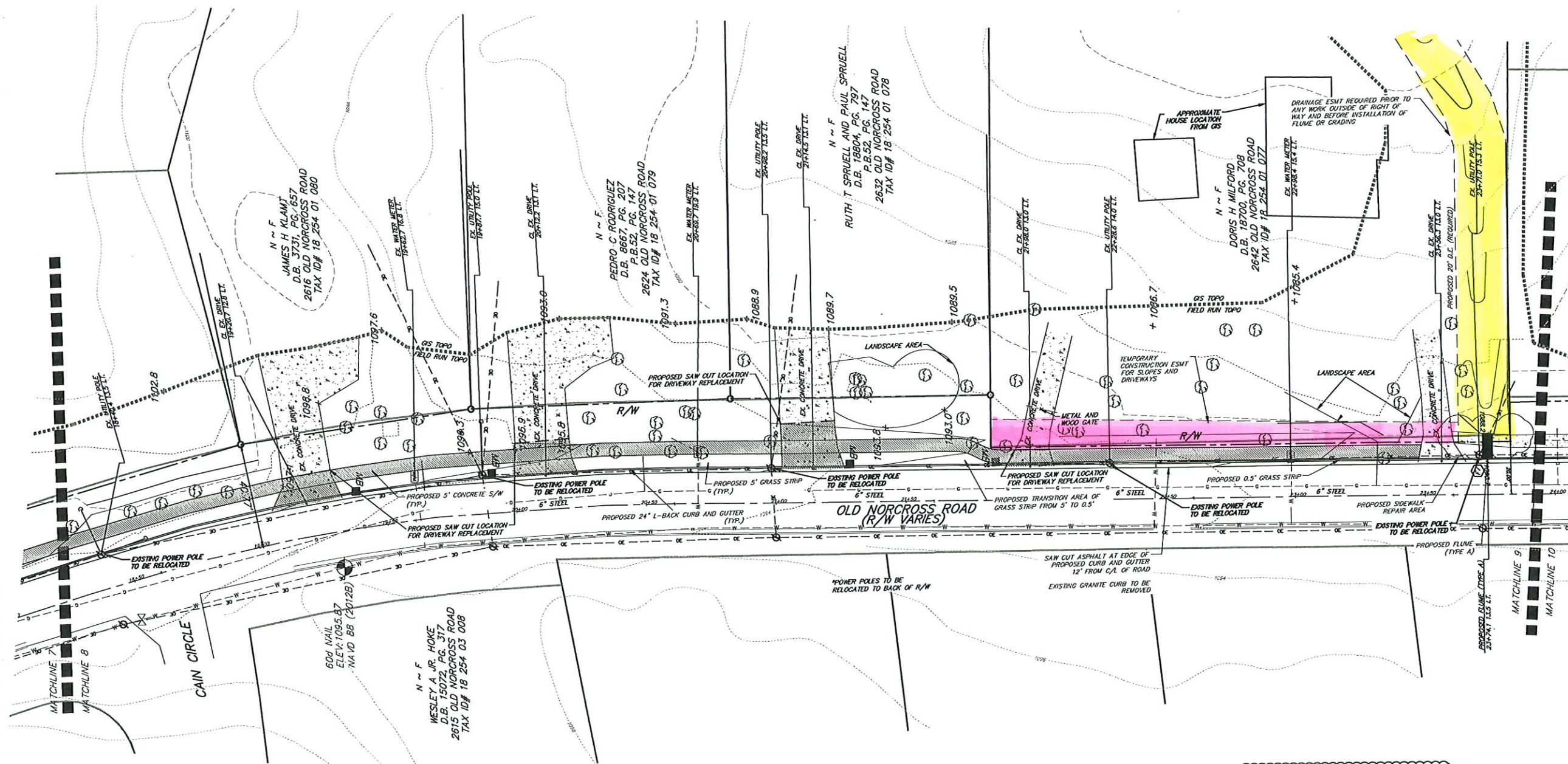
SHEET TITLE
SITE PLAN (5 OF 8)



PROJECT I.D.	FIELD BOOK
DRAWN BY DAW	CHECKED BY DFM
SCALE 1"=20'	ISSUE DATE 05.05.2021

SHEET NUMBER

14



THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD
PLAIN AND IS IN ZONE X-1, ACCORDING TO F.E.M.A. (F.I.A.)
COMMUNITY NUMBER 130681, MAP NUMBER
13089C0072, DATED AUGUST 15, 2019.

BENCHMARK: 600 NAIL
ELEV. = 1099.16
NAVD 88 (2012)
SOUTH SIDE OF OLD NORCROSS ROAD
ACROSS FROM 2512 OLD NORCROSS ROAD



GRID NORTH
GA WEST ZONE

24 HR. PHONE & EMERGENCY CONTACT:
KEN HILDEBRANDT
770-865-5645

NOT ISSUED FOR CONSTRUCTION

811 Know what's below. Call before you dig.

Plotted on: Aug 01, 2021 - 7:27pm
Drawing name: A:\City of Tucker\Old Norcross Road Sidewalk Improvement\ENGINEERING\Sumit\OLD NORCROSS - AREAS.dwg
Author: B. Archibald

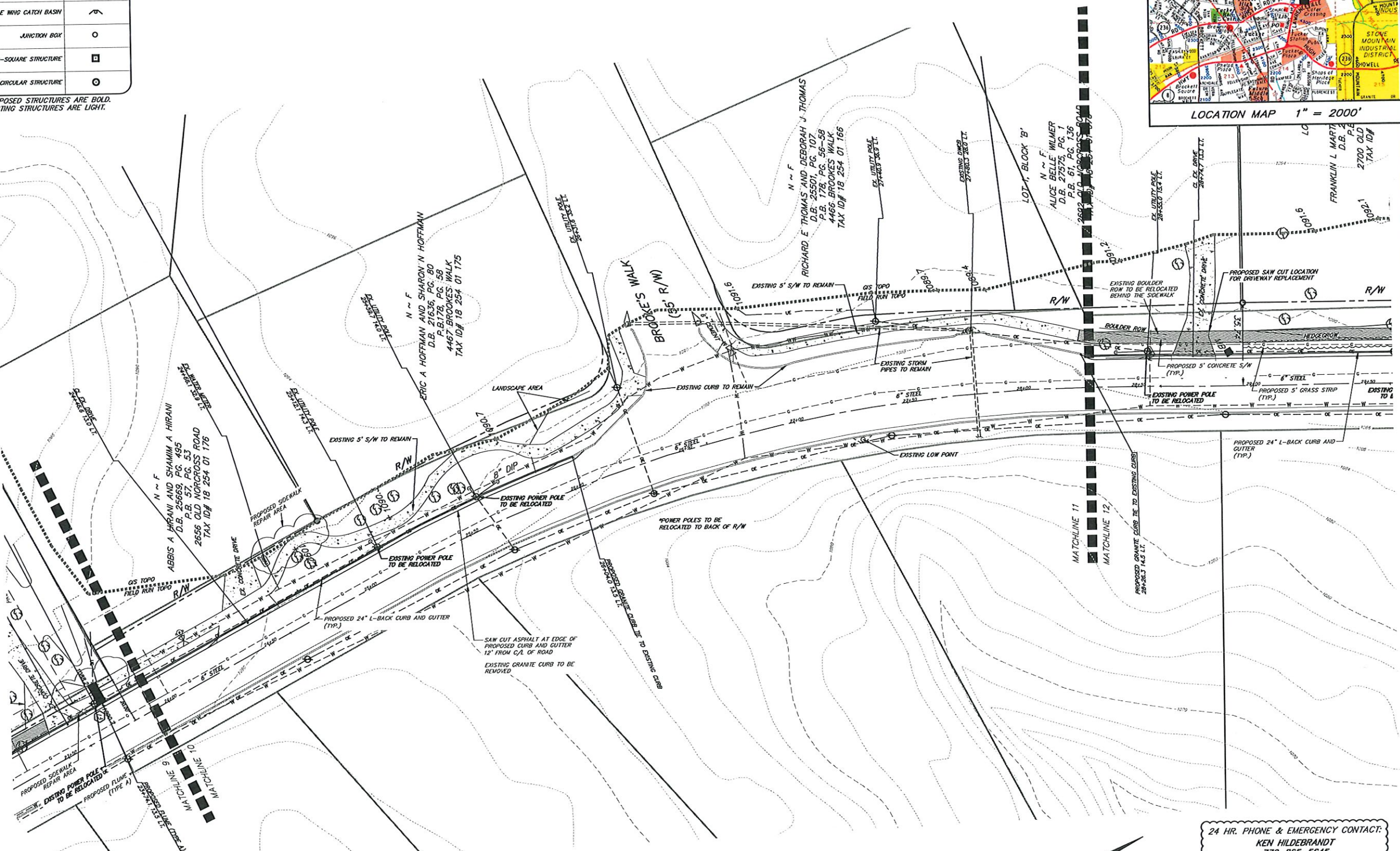
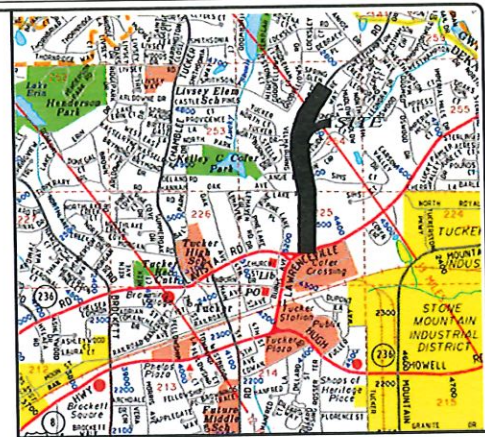
STORM DRAIN LEGEND	
HEADWALL	D
FLARED END SECTION	D
DROP INLET	□
SINGLE WING CATCH BASIN	∟
DOUBLE WING CATCH BASIN	∟
JUNCTION BOX	○
WELL-SQUARE STRUCTURE	□
WELL-CIRCULAR STRUCTURE	○

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OWNER/DEVELOPER:
THE CITY OF TUCKER
1975 LAKESIDE PARKWAY
TUCKER, GA 30084



24 HR. PHONE & EMERGENCY CONTACT:
KEN HILDEBRANDT
770-865-5645

THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X, ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER 130681, MAP NUMBER 13069C007R, DATED AUGUST 15, 2019.

BENCHMARK: 60D NAIL
ELEV. = 1099.16
NAVD 88 (2012)
SOUTH SIDE OF OLD NORCROSS ROAD
ACROSS FROM 2512 OLD NORCROSS ROAD



Gaskins
ENGINEERING & SURVEYING • PLANNING/CONSULTING • CONSTRUCTION MONITORING
1475 Peachtree College Drive, Suite 300
Atlanta, GA 30329
Phone: 770-424-7100
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OLD NORCROSS ROAD
SIDEWALK IMPROVEMENTS
LAND LOTS 225 AND 254, 18TH DISTRICT,
CITY OF TUCKER, DEKALB COUNTY, GEORGIA
ZONED R3

REVISIONS		
REV.	DATE	REVISION REFERENCE

SHEET TITLE
SITE PLAN (6 OF 8)



PROJECT ID.	FIELD BOOK
DRAWN BY DAW	CHECKED BY DFM
SCALE 1"=20'	ISSUE DATE 05.05.2021
SHEET NUMBER 15	

NOT ISSUED FOR CONSTRUCTION

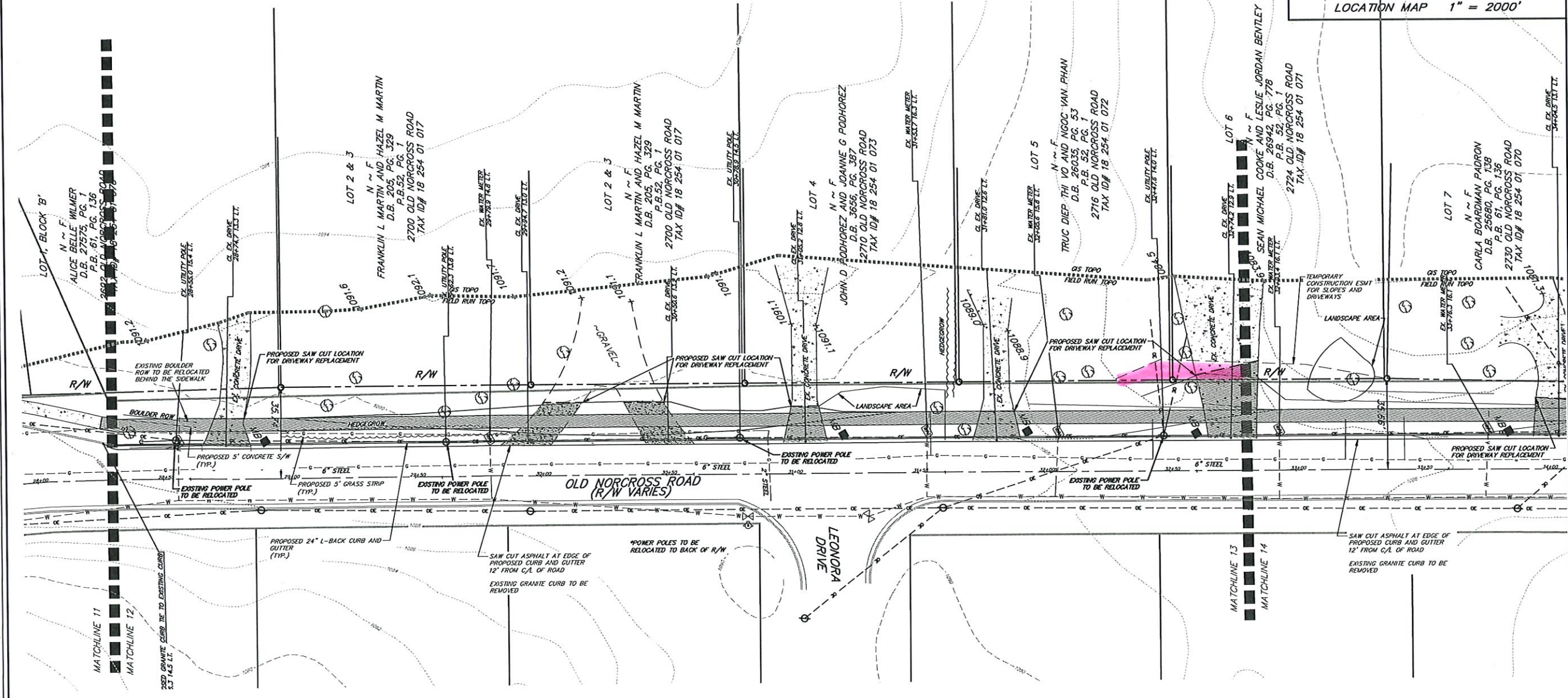
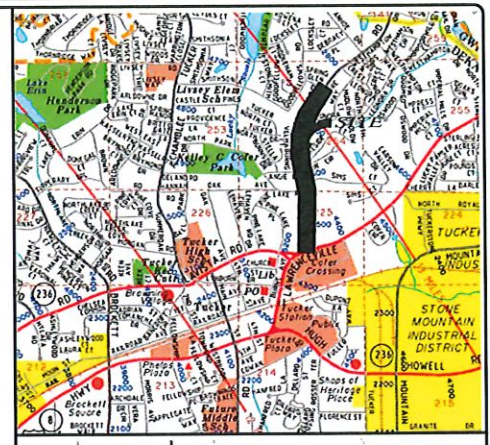
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Printed by: daniel

STORM DRAIN LEGEND	
HEADWALL	D
FLARED END SECTION	D
DROP INLET	□
SINGLE WING CATCH BASIN	∧
DOUBLE WING CATCH BASIN	∧
JUNCTION BOX	○
WELL-SQUARE STRUCTURE	□
WELL-CIRCULAR STRUCTURE	○

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THE CITY OF TUCKER
1975 LAKESIDE PARKWAY
TUCKER, GA 30084



THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X-1, ACCORDING TO F.E.M.A. (F.I.A.) COMMUNITY NUMBER 130681, MAP NUMBER 130680007L DATED AUGUST 15, 2019.

BENCHMARK: 60D NAIL
ELEV. = 1099.18
NAVD 88 (2012B)
SOUTH SIDE OF OLD NORCROSS ROAD
ACROSS FROM 2512 OLD NORCROSS ROAD



24 HR. PHONE & EMERGENCY CONTACT:
KEN HILDEBRANDT
770-865-5645

REVISIONS		
REV.	DATE	REVISION REFERENCE

SHEET TITLE
SITE PLAN (7 OF 8)



PROJECT I.D.	FIELD BOOK
DRAWN BY DAW	CHECKED BY DFM
SCALE 1"=20'	ISSUE DATE 05.05.2021

SHEET NUMBER
16

NOT ISSUED FOR CONSTRUCTION

OLD NORCROSS ROAD
SIDEWALK IMPROVEMENTS
LAND LOTS 225 AND 254, 18TH DISTRICT,
CITY OF TUCKER, DEKALB COUNTY, GEORGIA
ZONED R3

Gaskins
ENGINEERING • SURVEYING • PLANNING/CONSULTING • CONSTRUCTION MONITORING
1220 Peachtree Dunwoody Road, Suite 204
Dunwoody, GA 30328
Phone: 770-424-1168
Fax: 770-424-1168
www.gaskinsinc.com

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Drawn by: P. City of Tucker (Old Norcross Road Sidewalk Improvements) [ENGINEERING] (SHEET) (OLD NORCROSS - PROCLAM) (REVISED ON: MAY 07, 2021 - 7:27PM)

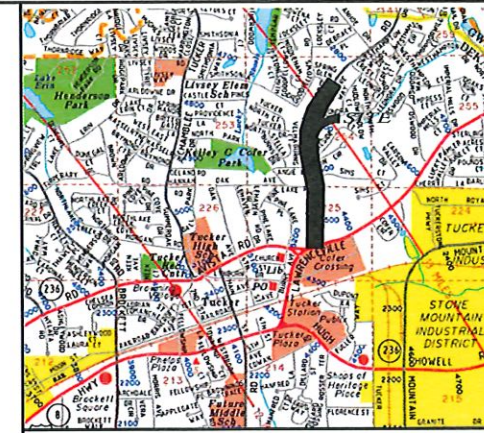
STORM DRAIN LEGEND	
HEADWALL	D
FLARED END SECTION	D
DROP INLET	□
SINGLE WING CATCH BASIN	⌒
DOUBLE WING CATCH BASIN	⌒
JUNCTION BOX	○
WELL-SQUARE STRUCTURE	□
WELL-CIRCULAR STRUCTURE	○

PROPOSED STRUCTURES ARE BOLD.
EXISTING STRUCTURES ARE LIGHT.

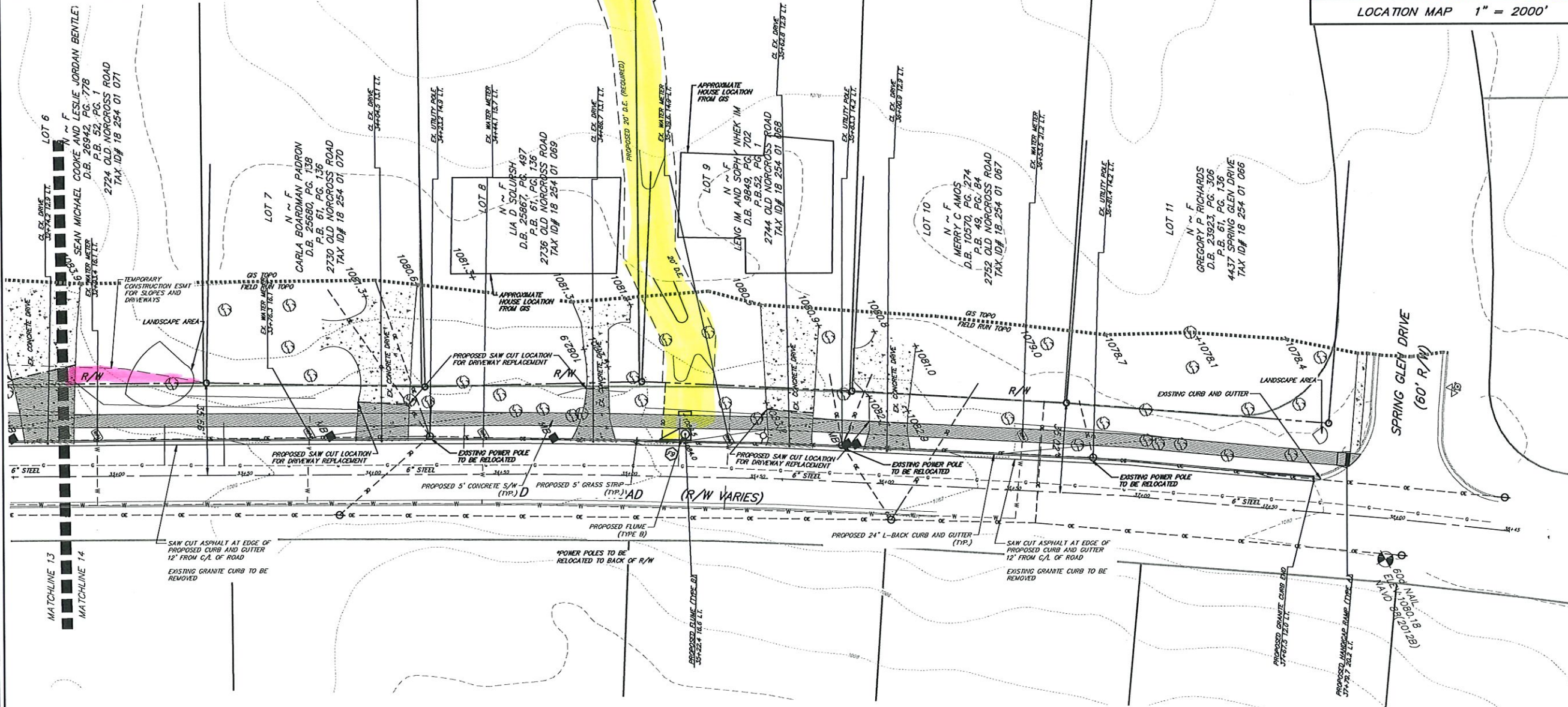
GENERAL NOTES

1. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR RELOCATION OF METERS AND APPURTENANCES IN CONFLICT.
2. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY TO RELOCATE EXISTING POWER POLES. POLES TO BE RELOCATED TO BACK OF R/W.
3. DISTURBED MAILBOXES TO BE REINSTALLED WITH USPS COMPLIANT MAILBOXES AGREEABLE TO PROPERTY OWNER.

OWNER/DEVELOPER:
THE CITY OF TUCKER
1975 LAKESIDE PARKWAY
TUCKER, GA 30084



LOCATION MAP 1" = 2000'

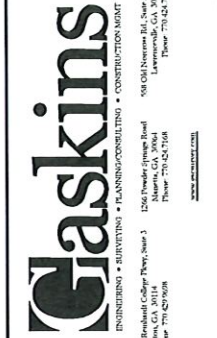


24 HR. PHONE & EMERGENCY CONTACT:
KEN HILDEBRANDT
770-865-5645



THIS PARCEL OF LAND IS NOT IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE X, ACCORDING TO F.E.M.A. (F.L.A.) COMMUNITY NUMBER 130691. MAP NUMBER 130690077L. DATED AUGUST 15, 2019.

BENCHMARK: 60D NAIL
ELEV. = 1099.16
NAVD 88 (2018)
SOUTH SIDE OF OLD NORCROSS ROAD
ACROSS FROM 2512 OLD NORCROSS ROAD

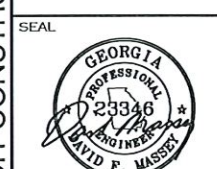


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OLD NORCROSS ROAD
SIDEWALK IMPROVEMENTS
LAND LOTS 225 AND 254, 18TH DISTRICT,
CITY OF TUCKER, DEKALB COUNTY, GEORGIA
ZONED R3

REVISIONS		
REV.	DATE	REVISION REFERENCE

SHEET TITLE
SITE PLAN (8 OF 8)



PROJECT I.D.	FIELD BOOK
DRAWN BY DAW	CHECKED BY DFM
SCALE 1"=20'	ISSUE DATE 05.05.2021
SHEET NUMBER	

17

NOT ISSUED FOR CONSTRUCTION



MEMO

To: Honorable Mayor and City Council Members
From: Ken Hildebrandt
CC: Tami Hanlin, City Manager
Date: January 11, 2022
RE: Memo on Contract Award for MARTA Bus Pads – Phase 2

Issue:

Award of a contract for the installation of bus pads, benches, and simme seats.

Recommendation:

Staff recommends awarding the contract to Ligniappe Development Company, Inc. in the amount of \$33,324.75.

Background:

This phase of MARTA bus stop improvements was done separately because GDOT permits were required.

Improvements will be done at the following locations:

- Lawrenceville Hwy @ Hugh Howell Rd – pad and bench
- Hugh Howell Rd @ Fuller Way – pad and bench
- Lawrenceville Hwy @ Lee Way – pad and bench
- 4375 Lawrenceville Hwy – pad and bench
- Lawrenceville Hwy @ Woodbriar Cir – Simme seat
- Lawrenceville Hwy @ N Royal Atlanta Dr – Simme seat
- E Ponce de Leon Ave @ Orchard Park Dr – install bench on existing pad

Summary:

Two quotes were received:

Ligniappe Development Co - \$33,324.75

Greenheart Enterprises - \$38,870.00

Financial Impact:

\$33,324.75 will be funded from the FY2022 capital account for MARTA Bus Pads (GL #300.4100-54.14000).



QUOTES

Department:	Engineering	Department Head:	Ken Hildebrandt
Project Manager:	Ken Hildebrandt	Estimated Start Date:	1/24/22

Project Name:	<u>MARTA Bus Pads – Phase 2</u>
Scope:	Install MARTA bus pads, benched, and simme seats


QUOTE #1	<input type="checkbox"/> New Vendor <input checked="" type="checkbox"/> Established Vendor	Quote Amount:	\$33,324.75
		(attach quote)	
Company Name	Lignaipe Development Company, Inc	Contact Person:	Jessica Avra
Contact Phone:	770-634-8088	Contact Email:	j.avra@ligniappedev.com

QUOTE #2	<input type="checkbox"/> New Vendor <input checked="" type="checkbox"/> Established Vendor	Quote Amount:	\$38,870.00
		(attach quote)	
Company Name	Greenheart Enterprises	Contact Person:	Evan Williams
Contact Phone:	404-669-0250	Contact Email:	evan@greenheartenterprises.net

QUOTE #3	<input checked="" type="checkbox"/> New Vendor <input type="checkbox"/> Established Vendor	Quote Amount:	\$NO RESPONSE
		(attach quote)	
Company Name	BE Guthrie Construction	Contact Person:	Adrian Guthrie
Contact Phone:	404-286-2277	Contact Email:	beguthrie@bellsouth.net

QUOTE #4	<input checked="" type="checkbox"/> New Vendor <input type="checkbox"/> Established Vendor	Quote Amount:	\$NO RESPONSE
		(attach quote)	
Company Name	Zaveri Enterprises Inc	Contact Person:	Shirish Gandhi
Contact Phone:	678-978-9887	Contact Email:	Zaveri1@gmail.com

W-9, Certificate of Insurance, and Contractor Affidavit Form must be submitted to Procurement for processing and before a Notice to Proceed will be issued.

GL Fund Name:	MARTA Bus Pads	GL Account #:	ACCOUNT #300.4100-54.14000
Recommend Award to:	Lignaippe Development Company \$33,324.75		
Department Head Signature	Sign here 		
Finance Signature:	PO# _____ Date: _____		
Approved at City Council (>\$30K): OR City Manager Signature (< \$30K):	_____ (date) _____		

The City of Tucker, Georgia is seeking quotes for the renovation of seven existing MARTA Bus Stops. Included in this project is the installation of four new MARTA Stop bench pads following all required GDOT standards. In addition to this, the installation of five benches and two simme-seats will be required at the selected locations. Attached to this document is a list of the estimated quantities for the project, as well as the MARTA Stop construction plans and detail installation drawings. Please reach out to us for any questions regarding this project.

<u>Exhibit A</u>						
MARTA Shelters Cost Estimate						
LINE	ITEM	UNIT	DESCRIPTION	QUANTITY	UNIT PRICE	AMOUNT
1	150-1010	LS	TRAFFIC CONTROL	1		
2	210-0100	LS	GRADING COMPLETE	1		
3	310-1101	TN	GR AGGR BS, INCL MATL	9		
4	441-0104	SY	CONC PAD, 5 IN	25		
6	511-1000	LB	BAR REINF STEEL	350		
7		EA	BENCH INSTALL (VICTOR STANLEY OR EQUIVALENT)	5		
8		EA	SIMME-SEAT INSTALL (SEATS PROVIDED BY THE CITY)	2		
9		LS	EROSION CONTROL INSTALLATION & MAINTENANCE	1		
10		LS	GRASSING COMPLETE	1		
					TOTAL \$	

Company Name: _____

Address: _____

Phone Number: _____

Email Address: _____

Contact Person: _____

Signature: _____

LEGEND: PROPOSED CONCRETE PAD OBSTRUCTIONS/UTILITIES PROPERTY LINE EXISTING PAD/ SIDEWALK		REVISIONS		STATE	PROJECT
				GA	

VICINITY MAP (N.T.S.)

BENCH LAYOUT

+/- 10'-6" TO ROW LINE
 3'-0"
 10'
 RELOCATED MARTA SIGN
 SPECIFIED BENCH SEE D-03
 +/- 5'-6" +/- 4'-6"
 10'-0"
 CONCRETE CONNECTION
 GRASS BEAUTY STRIP
 +/- 2'-0"
 CONTROL JOINTS
 EXPANSION JOINT AT EXISTING SIDEWALK AND CURB
 CURB AND GUTTER
 NOT TO SCALE

MARTA STOP 213260
(LAWRENCEVILLE HWY. AND HUGH HOWELL)
LAND LOT: 214 DISTRICT: 18

INSTALL SPECIFIED BENCH ON MARTA BENCH PAD TYPE 8 PAGE D-00 DET. 2 CT102 DO NOT DISTURB EXISTING MARTA BUS STOP SIGN

968' TO CL OF LYNBURN DR.

REMOVE EXISTING SIMME-SEAT

EXISTING MARTA SIGN

EXISTING CROSSWALK SIGN

100' TO CL OF HUGH HOWELL RD.

INSTALL 10' X 2' CONCRETE CONNECTION

LAWRENCEVILLE HWY. US 29 SPEED LIMIT 45 MPH

OWNER: DEKALB COUNTY
OWNER ADDRESS: 1300 COMMERCE DR. DECATUR, GA 30030

N

REPLACE EXISTING BUS STOP WITH MARTA BENCH STOP

NOTES

(1) REFER TO MARTA D-00 FOR PAD CONSTRUCTION SPECIFICATIONS.
(2) EXACT LOCATION OF CONCRETE PAD MAY VARY SLIGHTLY BASED ON EXISTING TERRAIN AND UTILITIES






(3) TRASH RECEPTACLE TO BE INSTALLED AT A LATER DATE.
(4) USE EXISTING SIMME-SEAT AT STOP 900313

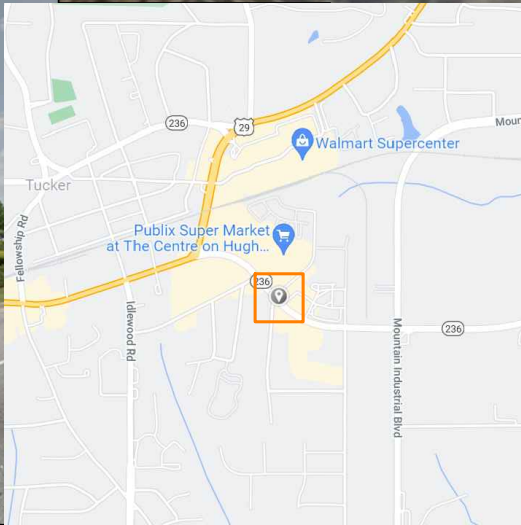
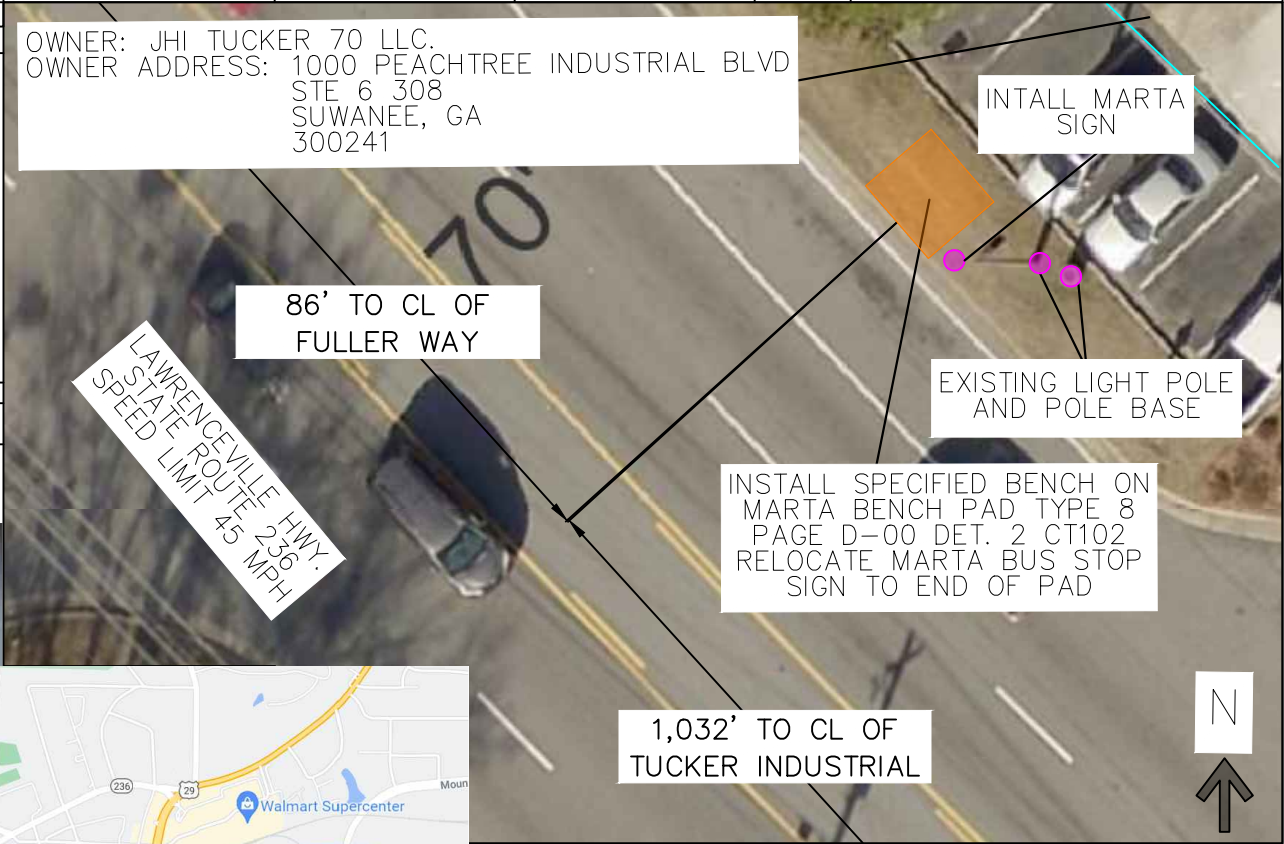
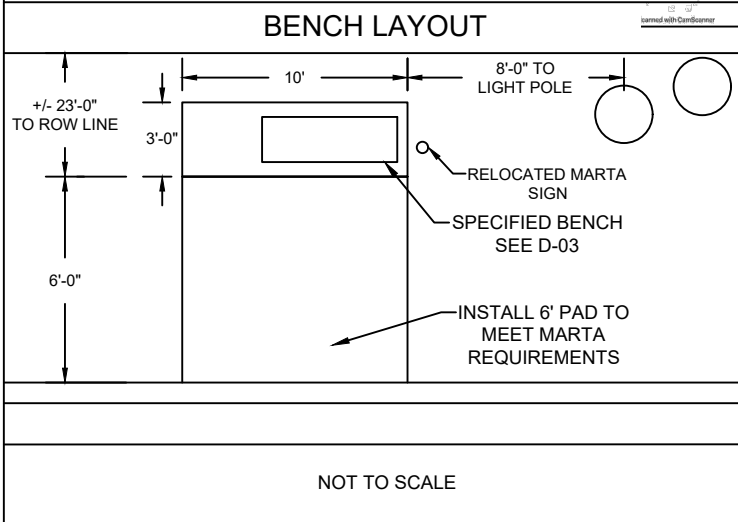
SCALE: 1" = 20'

CITY OF TUCKER

MARTA BUS STOP RENOVATIONS

C-01

LEGEND:  PROPOSED CONCRETE PAD  OBSTRUCTIONS/UTILITIES  PROPERTY LINE  EXISTING PAD/ SIDEWALK		REVISIONS		STATE	PROJECT
				GA	



<div>NOTES</div> <div><div>(1) REFER TO MARTA D-00 FOR PAD CONSTRUCTION SPECIFICATIONS.</div><div>(2) EXACT LOCATION OF CONCRETE PAD MAY VARY SLIGHTLY BASED ON EXISTING TERRAIN AND UTILITIES</div><div>(3) TRASH RECEPTACLE TO BE INSTALLED AT A LATER 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LEGEND:
PROPOSED CONCRETE PAD
OBSTRUCTIONS/UTILITIES
PROPERTY LINE
EXISTING PAD/ SIDEWALK



REVISIONS

STATE

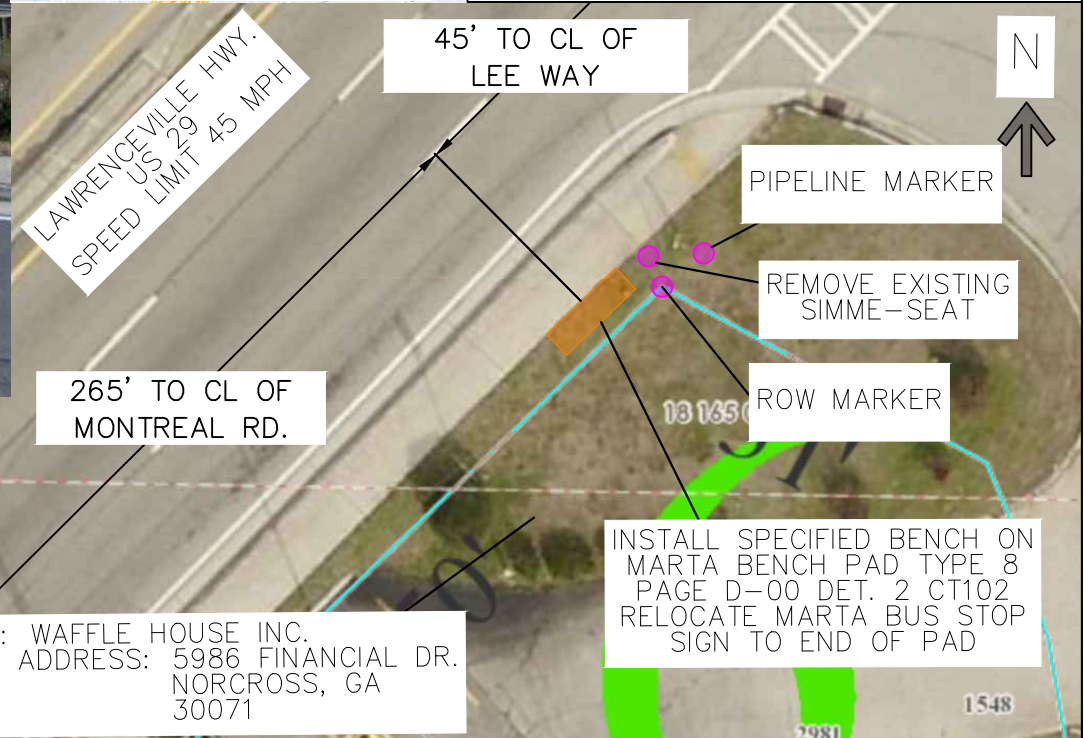
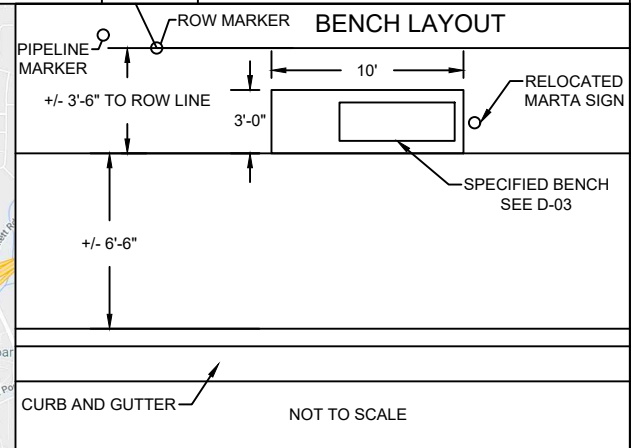
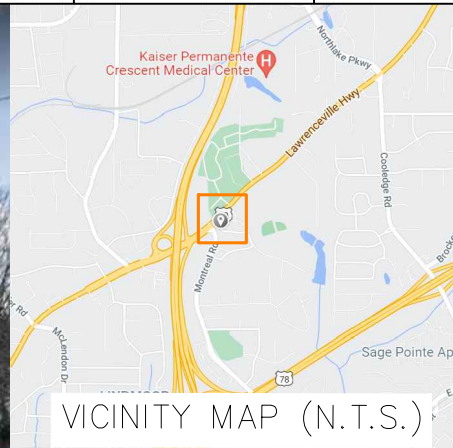
PROJECT

GA



REPLACE EXISTING SEMI-SEAT
WITH MARTA BENCH STOP

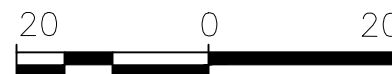
MARTA STOP 902194
(LAWRENCEVILLE HWY. AND LEE WAY)
LAND LOT:165 DISTRICT:18



OWNER: WAFFLE HOUSE INC.
OWNER ADDRESS: 5986 FINANCIAL DR.
NORCROSS, GA
30071

NOTES

- (1) REFER TO MARTA D-00 FOR PAD CONSTRUCTION SPECIFICATIONS.
- (2) EXACT LOCATION OF CONCRETE PAD MAY VARY SLIGHTLY BASED ON EXISTING TERRAIN AND UTILITIES
- (3) TRASH RECEPTACLE TO BE INSTALLED AT A LATER DATE
- (4) USE EXISTING SIMME-SEAT AT STOP 905275



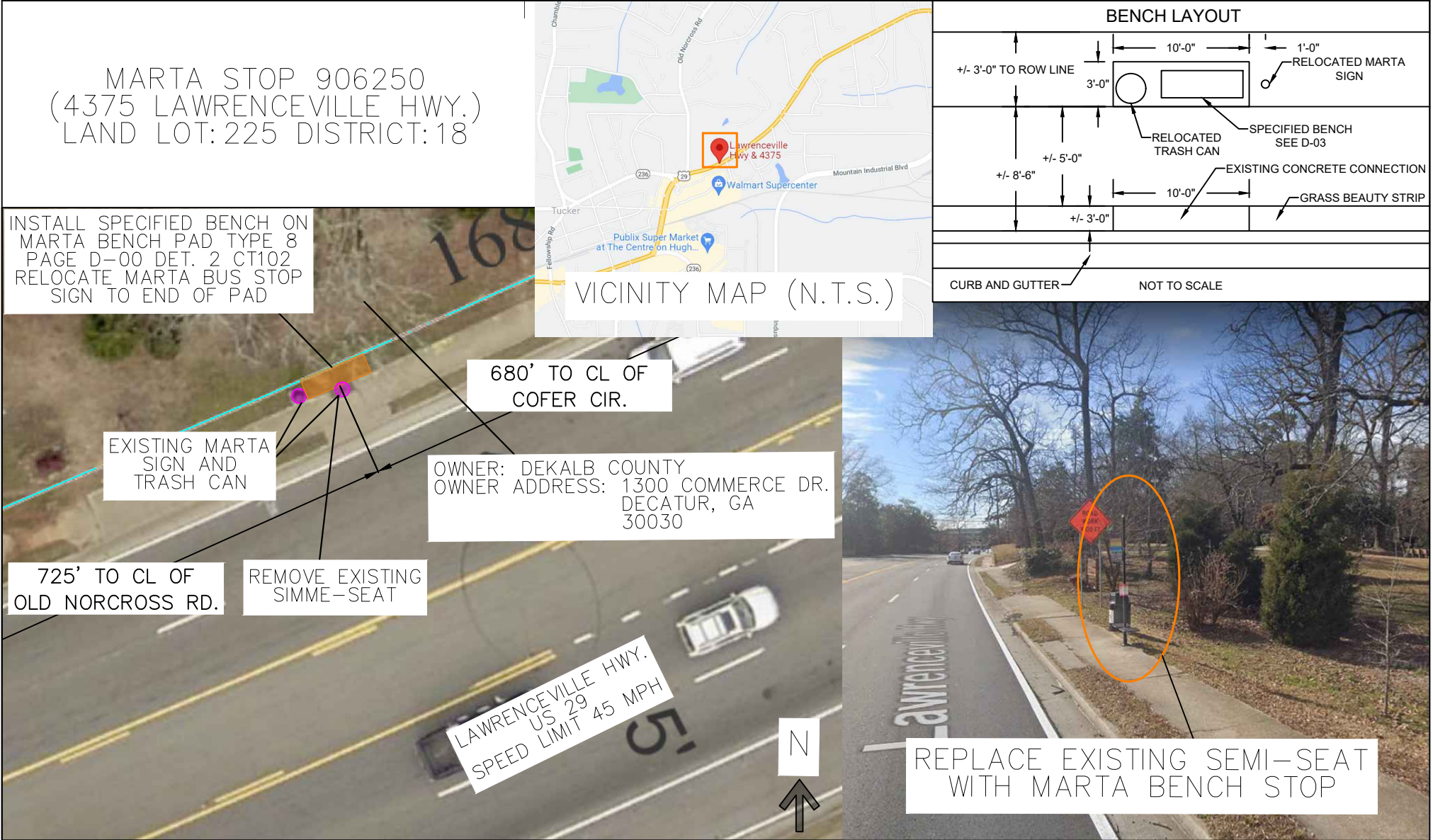
SCALE: 1" = 20'

CITY OF TUCKER

MARTA BUS STOP RENOVATIONS

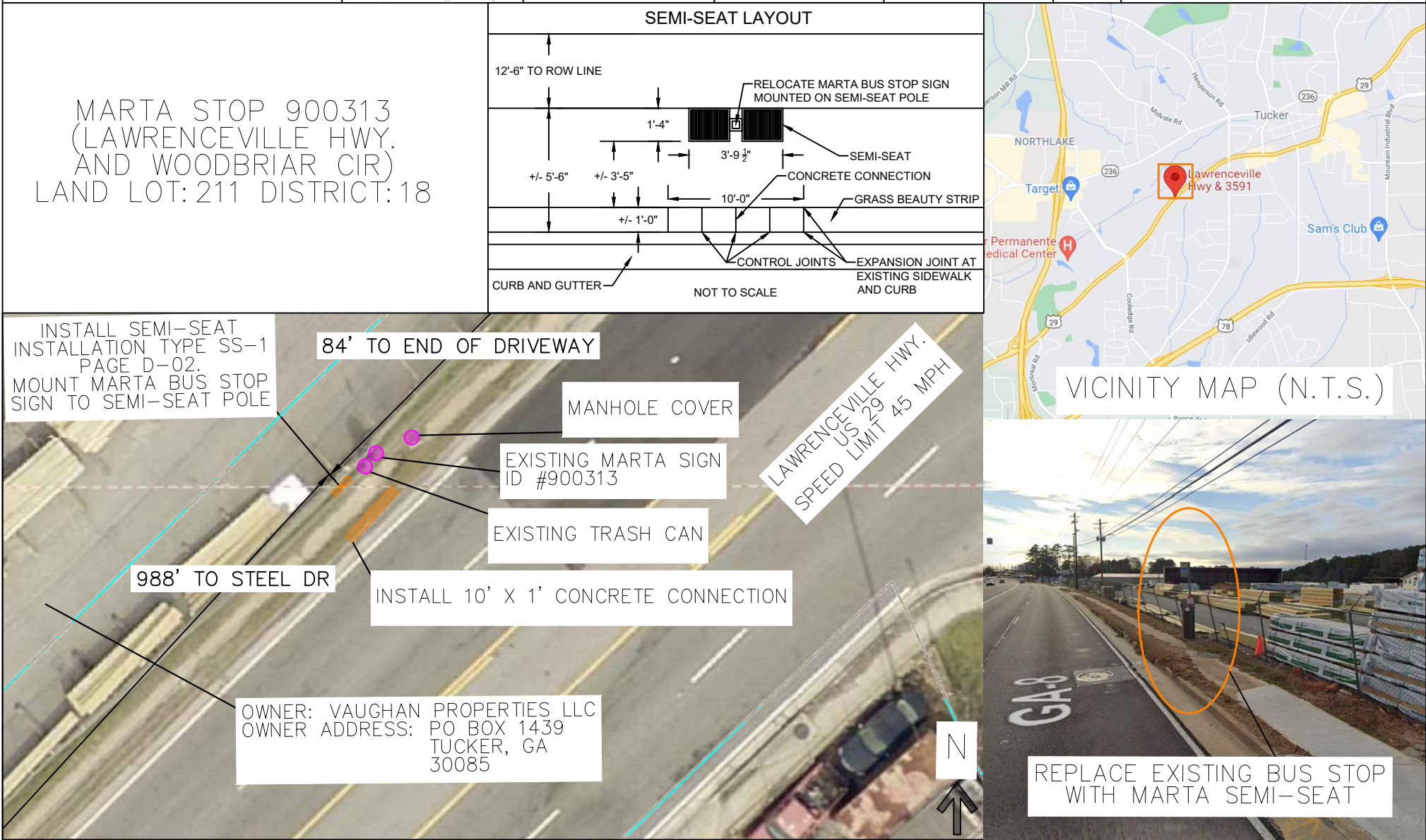
C-03

LEGEND: PROPOSED CONCRETE PAD OBSTRUCTIONS/UTILITIES PROPERTY LINE EXISTING PAD/ SIDEWALK			REVISIONS		STATE	PROJECT
					GA	



<div>NOTES</div> <div><div>(1) REFER TO MARTA D-00 FOR PAD CONSTRUCTION SPECIFICATIONS.</div><div>(2) EXACT LOCATION OF CONCRETE PAD MAY VARY SLIGHTLY BASED ON EXISTING TERRAIN AND UTILITIES</div><div>(3) LEAVE EXISTING TRASH CAN</div><div>(4) RETURN EXISTING SIMME-SEAT TO THE CITY OF TUCKER</div></div>		<div><div><div>20020</div><div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div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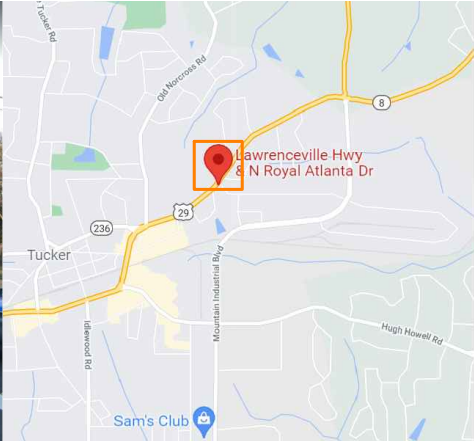
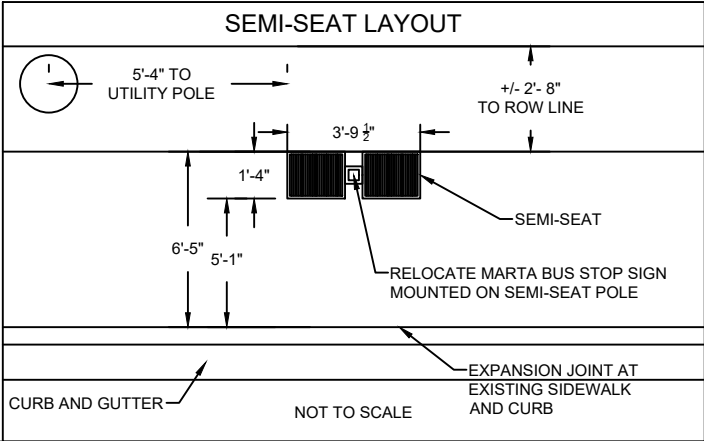
LEGEND: PROPOSED CONCRETE PAD OBSTRUCTIONS/UTILITIES PROPERTY LINE EXISTING PAD/ SIDEWALK		REVISIONS		STATE	PROJECT
				GA	



NOTES (1) REFER TO MARTA D-00 FOR PAD CONSTRUCTION SPECIFICATIONS. (2) EXACT LOCATION OF CONCRETE PAD MAY VARY SLIGHTLY BASED ON EXISTING TERRAIN AND UTILITIES (3) USE SIMME-SEAT FROM STOP 213260 (4) CONTRACTOR TO PROVIDE INSTALLATION HARDWARE FOR SIMME-SEAT		 SCALE: 1" = 20'	CITY OF TUCKER MARTA BUS STOP RENOVATIONS C-05
Page 81 of 427			

LEGEND: PROPOSED CONCRETE PAD OBSTRUCTIONS/UTILITIES PROPERTY LINE EXISTING PAD/ SIDEWALK		REVISIONS		STATE	PROJECT
				GA	

MARTA STOP 905275 (N ROYAL ATLANTA DR. AND LAWRENCEVILLE HWY.)
LAND LOT: 224 DISTRICT:18



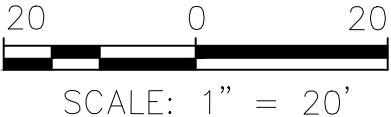
NOTES

- (1) REFER TO MARTA D-00 FOR PAD CONSTRUCTION SPECIFICATIONS.

(2) EXACT LOCATION OF CONCRETE PAD MAY VARY SLIGHTLY BASED ON EXISTING TERRAIN AND UTILITIES

(3) USE SIMME-SEAT FROM STOP 902194

(4) CONTRACTOR TO PROVIDE INSTALLATION HARDWARE FOR SIMME-SEAT



CITY OF TUCKER

MARTA BUS STOP RENOVATIONS

LEGEND:
 PROPOSED CONCRETE PAD
 OBSTRUCTIONS/UTILITIES
 PROPERTY LINE
 EXISTING PAD/ SIDEWALK

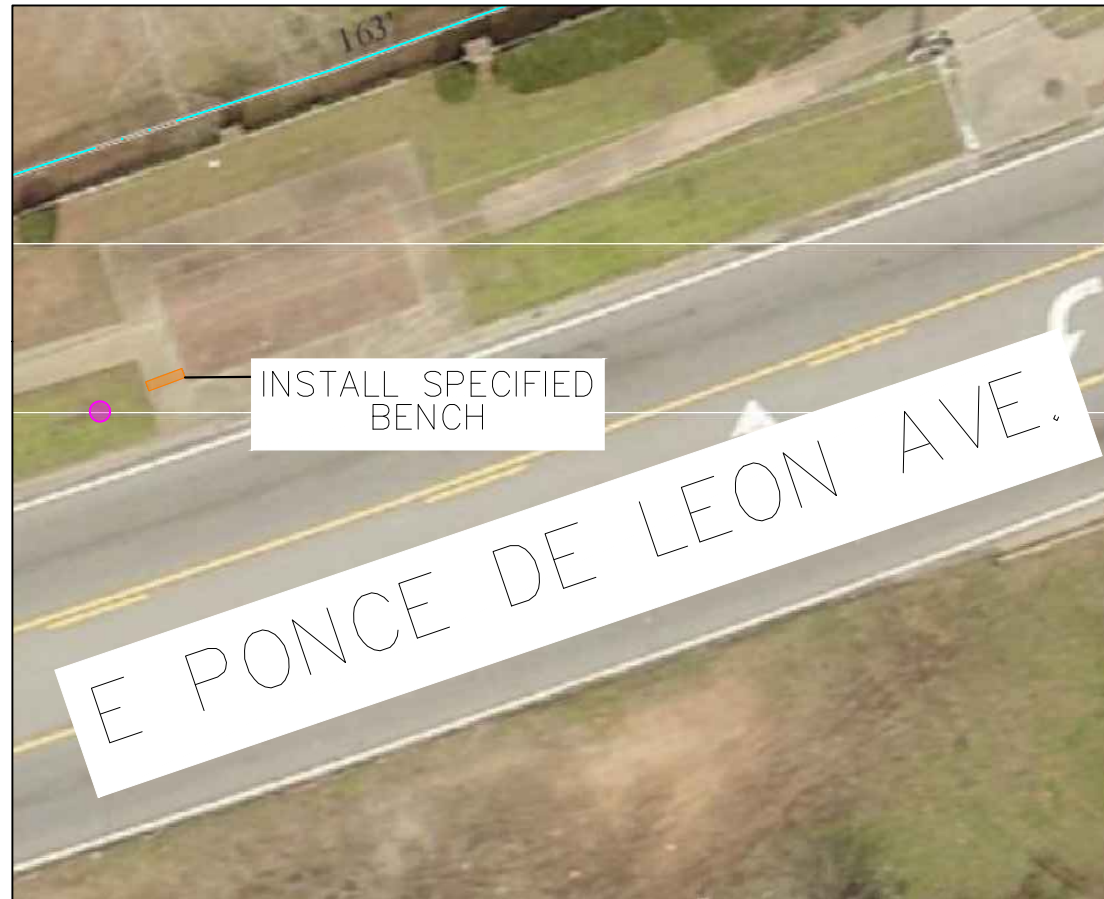
REVISIONS

STATE

PROJECT

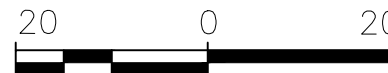
GA

MARTA STOP 901892
 (E PONCE DE LEON AVE. AND ORCHARD PARK DR.)



NOTES

- (1) SIDEWALK DIMENSIONS WILL BE BASED OFF EXISTING



SCALE: 1" = 20'

CITY OF TUCKER

MARTA BUS STOP RENOVATIONS

C-07

LEGEND:



REVISIONS

STATE

PROJECT

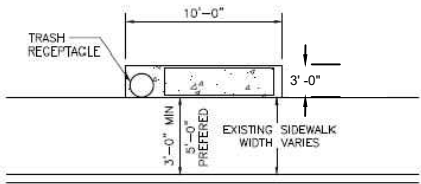
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NOTES:

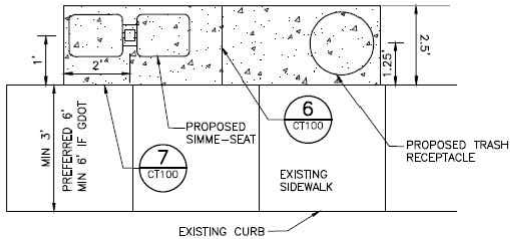
1. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN WORK AREA.
2. NO WORK SHALL BE PERFORMED IN THE RIGHT-OF-WAY WITHOUT A PERMIT.
3. INSTALLATION OF SHELTER, BENCH AND TRASH RECEPTACLE SHALL BE PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND SHOP DRAWINGS.
4. TRASH RECEPTACLE SHALL BE INSTALLED USING ANCHORS PROVIDED BY MANUFACTURER.
5. ELECTRICAL CONNECTIONS SHOWN ARE THE ENGINEERS BEST ESTIMATE. CONTRACTOR SHALL COORDINATE WITH GEORGIA POWER FOR ACTUAL LOCATIONS AND TYPE OF CONNECTIONS (OVERHEAD OR UNDERGROUND). CONTRACTOR SHALL INSTALL UNDERGROUND CONDUITS AND CONDUCTORS AS REQUIRED TO CONNECT TO GEORGIA POWER. UNDERGROUND CONDUITS SHALL BE COORDINATED WITH THE AUTHORITY PRIOR TO WORK BEING PERFORMED. ELECTRICAL CONNECTIONS SHALL BE PER SHELTER MANUFACTURER'S WRITTEN INSTRUCTIONS. SEE DRAWING EE100 FOR GROUNDING DETAILS.
6. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES THAT CONFORM TO THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION MANUAL (GREEN BOOK) FOR SITES THAT ARE DISTURBED AND PADS NOT COMPLETED.
7. WWF 4 X 4 - W2.9 / W2.9 MAY BE USED INSTEAD OF REBAR OVER ALL POURED CONCRETE. THE WWF SHALL BE PLACED THE MIDDLE OF THE SLAB USING SUPPORTS. THE SHELTER CAN BE INSTALLED WHEN THE CONCRETE ACHIEVES 60% DESIGN STRENGTH.
8. SHELTER AND DISTURBED AREA SHALL BE WITHIN THE RIGHT-OF-WAY UNLESS AN EASEMENT IS OBTAINED.
9. SHELTER SHALL BE LOCATED SO IT WILL NOT OBSTRUCT VEHICLE SIGHT DISTANCE.
10. PAD SLOPE SHALL BE 2.08% MAXIMUM PERPENDICULAR TO THE ROADWAY.
11. PLACE PREMOLDED EXPANSION JOINT MATERIAL BETWEEN BACK OF CURB OR SIDEWALK AND PAD, SEE EXPANSION JOINT DETAIL.
12. FORM ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" ROUND.
13. FOR EXISTING GRASS STRIP BETWEEN SIDEWALK & CURB PROVIDE CONCRETE PAD ACROSS GRASS STRIP. SEE DETAIL 2, THIS SHEET.
14. GRADING OF SLOPES SHALL NOT EXCEED 2H:1V.
15. THE PAD SHALL BE GRADED SO RUNOFF FLOWS AWAY FROM IT. RUNOFF SHALL NEVER POND ON OR NEAR THE PAD.
17. 2010 ADA GUIDELINES: PARALLEL TO THE ROADWAY, THE SLOPE OF THE BUS STOP BOARDING & ALIGHTING AREA SHALL BE THE SAME AS THE ROADWAY, TO THE MAXIMUM EXTENT PRACTICABLE. PERPENDICULAR TO THE ROADWAY, THE SLOPE OF THE BUS STOP BOARDING AND ALIGHTING AREA SHALL NOT BE STEEPER THAN 1:48.
18. THE SHELTER SHALL BE TOLAR BUS SHELTER OR EQUIVALENT.

MATERIALS:

- A. CONCRETE: 4000E PSI PORTLAND CEMENT CONCRETE (F'C=4000 PSI)
- B. EXPANSION JOINT FILLERS: PREFORMED TYPE, NON-BITUMINOUS; CLOSED CELL PLASTIC FOAM STRIPS, FLEXIBLE, RESILIENT, HAVING LOW WATER ABSORPTION, RESISTANT TO SOLVENTS AND CHEMICALS, NON-STAINING, AND EFFECTIVE AS A BACK-UP FOR COLD APPLIED SEALANTS.
- C. GRADED AGGREGATE BASE: REFER TO GDOT SSCS SECTION 815.
- D. STEEL BARS FOR CONCRETE REINFORCEMENT: REFER TO GDOT SSCS SECTION 853.2.01



7' BENCH PAD TYPE 8 (2)
NTS (SITES WITH SIDEWALK) CT102



SIMME-SEAT DETAIL (3)
1" = 2'-0" CT102

NOTE:
GDOT REQUIRES 6' OF DISTANCE BETWEEN SHELTER, BENCH, ETC. TO BACK OF CURB. FOR NON-GDOT MUNICIPALITIES, AN ABSOLUTE MINIMUM OF 3' FROM BUS AMENITY TO BACK OF CURB CAN BE USED ONLY TO AVOID RIGHT-OF-WAY ENCROACHMENT AND ACCEPTABLE BY LOCAL MUNICIPALITY. BUS AMENITIES MAY ALSO BE PLACED ON EXISTING SIDEWALKS WITHOUT BUILDING A PAD IF APPLICABLE.


NOTES

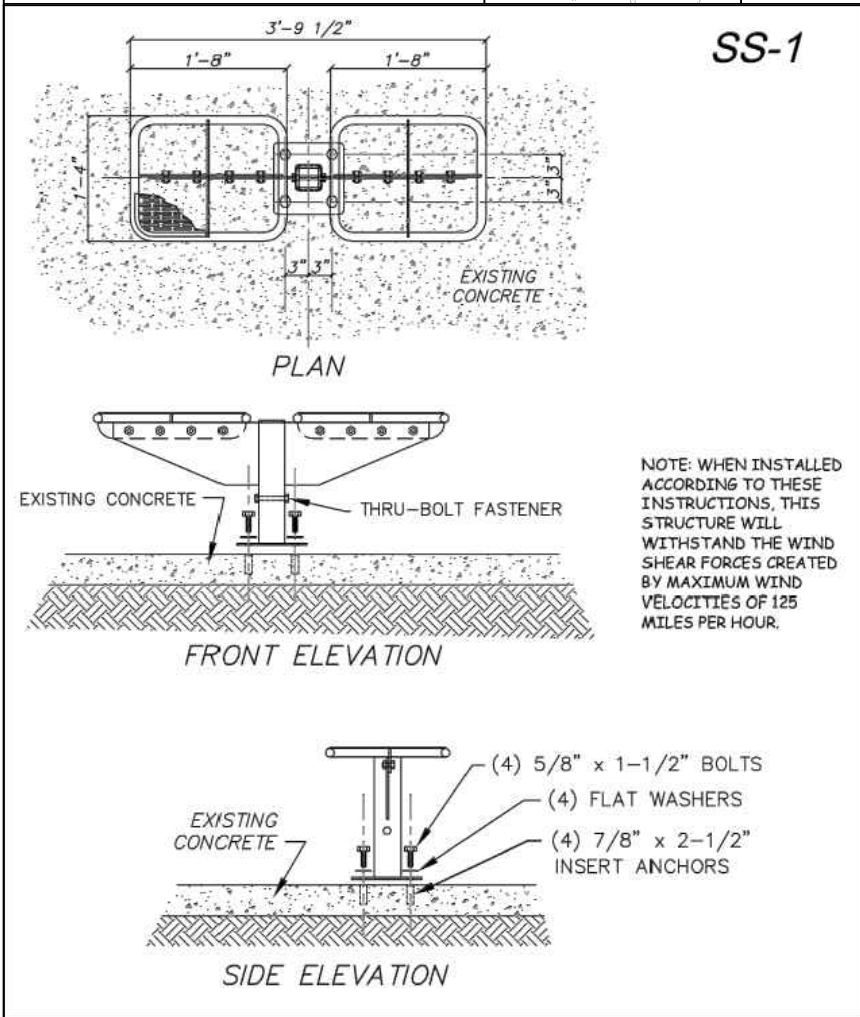
NTS

CITY OF TUCKER

MARTA BUS STOP RENOVATIONS

DETAIL CT102 D-00

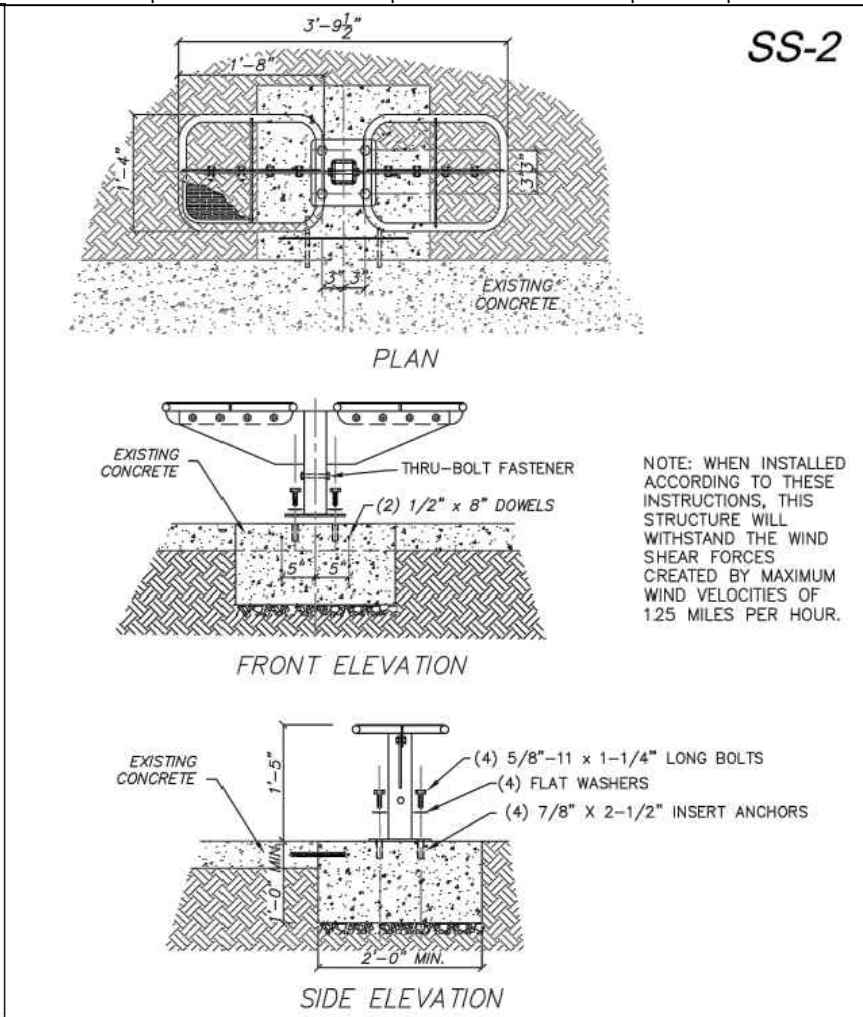
LEGEND:		REVISIONS		STATE	PROJECT
				GA	



INSTALLATION ON EXISTING CONCRETE

SIMME L.L.C.
555 CHERRY DRIVE
EUGENE, OR 97401

TEL. (541)338-7993
WWW.SIMMESEAT.COM
SIMME-SEAT@COMCAST.NET





INSTALLATION ADJACENT TO EXISTING CONCRETE

SIMME L.L.C.
555 CHERRY DRIVE
EUGENE, OR 97401

TEL. (541)338-7993
WWW.SIMMESEAT.COM
SIMME-SEAT@COMCAST.NET

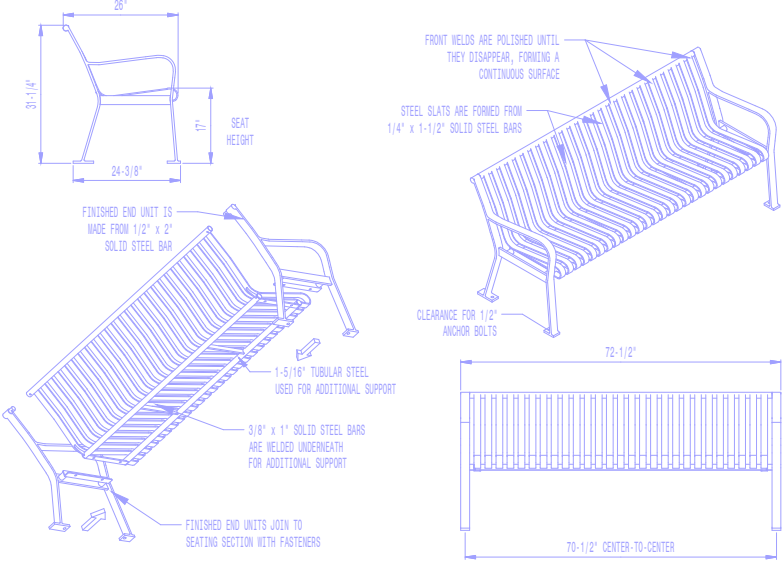
NOTES	NTS	CITY OF TUCKER	
		MARTA BUS STOP RENOVATIONS	
		DETAIL CT105	D-02
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				D-03



MEMO

To: Honorable Mayor and City Council Members
From: Courtney Smith, Planning and Zoning Director
CC: Tami Hanlin, City Manager
Date: Dec. 7, 2021
RE: Memo for SLUP-21-0008 and SLUP-21-0009

Issue and Background:

The subject property is approximately a one-acre parcel and the site is currently developed with three buildings. A one-story, approximately 2,050 sq.ft. oil change facility with two bays is located on the western portion of the property, a 5,000 sq.ft. convenience store with fuel pumps and canopy is located near the center of the site, and a car wash facility, adjacent to the northern property line, is approximately 1,000 sq.ft. The subject site currently has two points of access, from Parklake Drive and Lavista Road. As the site is currently developed, alcohol sales and fuel pumps currently exist on the property.

The applicant is requesting to redevelop the site to make necessary upgrades to the existing services provided. The redevelopment of the property would be considered a major redevelopment, as the redevelopment of the site will exceed the estimated cost of 60 percent of the site's fair market value prior to the expansion. In order to redevelop the site and continue to have alcohol sales and fuel pumps, a Special Land Use Permit for each use is required per Section 46-1743.

4114 Lavista Road was annexed into the city in December 2016.

Recommendation:

Staff recommends approval with conditions of SLUP-21-0008 and SLUP-21-0009.

Planning Commission recommended approval with staff conditions of both SLUP-21-0008 and SLUP-21-0009 at their Nov. 18, 2021 meeting.

Summary:

The proposed Special Land Use Permit application to allow for redeveloped fuel pumps is consistent with the purpose and intent of the Regional Activity Center Character Area. The location is less than 500 feet from the interchange to Interstate 285 and the use has been on the site for several decades. The proposed redevelopment of the site would more a more attractive gateway and would be less intensive as the applicant is proposing to demolish the existing car wash on the property.

The proposed Special Land Use Permit to allow for continued alcohol sales would be complementary to the

convenience store and other existing uses along Lavista. Alcohol sales within the establishment shall be limited to ensure compatibility with the surrounding area and to ensure it remains as an accessory use.



Land Use Petitions: SLUP-21-0008 & SLUP-21-0009

Date of Staff Recommendation Preparation: November 1, 2021

Planning Commission: November 18, 2021

Mayor and City Council, 1st Read: December 13, 2021

Mayor and City Council, 2nd Read: January 11, 2022

PROJECT LOCATION:	4114 Lavista Road, Tucker, GA
DISTRICT/LANDLOT(S):	Land District 18, Land Lot 210
ACREAGE:	1.0 acre
EXISTING ZONING	NL-1 (Northlake High Intensity Commercial)
EXISTING LAND USE	Convenience store with fuel pumps and alcohol sales; car wash; Castrol Premium Lube Express
FUTURE LAND USE MAP DESIGNATION:	Regional Activity Center (RAC)
OVERLAY DISTRICT:	NA
APPLICANT:	Blackwater Construction Group and Ingenium Enterprises, Inc., c/o Erik Houston
OWNER:	Global Impex, Inc.
PROPOSED DEVELOPMENT:	Redevelopment of the site with a 5,000 sq.ft. convenience store and 2,160 sq.ft. fueling station canopy. A SLUP is required for both the proposed fuel pumps (SLUP-21-0008) and alcohol sales (SLUP-21-0009) due to the project being considered a major redevelopment.
STAFF RECOMMENDATION:	Approval with conditions of SLUP-21-0008 (Fuel Pumps) Approval with condition of SLUP-21-0009 (Alcohol Sales)

BACKGROUND

The subject property is approximately a one-acre parcel and the site is currently developed with three buildings. A one-story, approximately 2,050 sq.ft. oil change facility with two bays is located on the western portion of the property, a 5,000 sq.ft. convenience store with fuel pumps and canopy is located near the center of the site, and a car wash facility, adjacent to the northern property line, is approximately 1,000 sq.ft. The subject site currently has two points of access, from Parklake Drive and Lavista Road. As the site is currently developed, alcohol sales and fuel pumps currently exist on the property.

The applicant is requesting to redevelop the site to make necessary upgrades to the existing services provided. The redevelopment of the property would be considered a major redevelopment, as the redevelopment of the site will exceed the estimated cost of 60 percent of the site's fair market value prior to the expansion. In order to redevelop the site and continue to have alcohol sales and fuel pumps, a Special Land Use Permit for each use is required per Section 46-1743.

4114 Lavista Road was annexed into the city in December 2016.

PROJECT DATA

The applicant has submitted two applications for Special Land Use Permits (SLUP) for the 1.0+/- acre subject property located at 4114 Lavista Road (located at the northwestern intersection of Lavista Road and Parklake Drive NE). The subject site is approximately 500 feet from Interstate 285. The request is to redevelop the site to include fuel pumps (SLUP-21-0008) and alcohol sales (SLUP-21-0009).

The subject property is currently developed with several buildings, including a car wash facility, convenience store with eight fuel pumps, and an oil change establishment. The applicant has stated they intend to demolish the existing car wash facility with the redevelopment of the site. The oil change establishment would remain unchanged. It should be noted the existing oil change facility has an Occupational Tax Certificate (OTC) with the City of Tucker. Additionally, the convenience store and car wash have an active Alcohol License and OTC with the City of Tucker.

The submitted site plan depicts a proposed 5,000 sq.ft., air-conditioned convenience store along Parklake Drive (western property line) and an approximately 2,160 sq.ft. fuel canopy that will have eight fuel pumps from four dispenser aisles, the same as currently exists on the site. The fuel canopy is located near the center portion of the parcel. A 5' landscape strip is proposed along the northern and western property lines and streetscape zones are shown along Lavista and Parklake in 20' and 15' widths, respectively. The applicant has proposed that the hours of operation for the new convenience store will follow those of the existing convenience store. Staff has reached out to the applicant for the existing convenience store hours; however the applicant has not confirmed the hours.

The applicant submitted a trip generation letter which depicted the following:

	Existing	Proposed
AM Peak total trips	47	43
PM Peak Total Trips	39	35

The proposed redevelopment of the site would cause a decrease in traffic as the existing car wash would be demolished and not reconstructed. Cars will primarily enter via a right-in/right-out drive via Lavista Road. Secondary vehicular access for cars would be provided via a full access drive from Parklake Drive.

USE ANALYSIS AND DEVELOPMENT PERMISSIONS

The subject property is located within the NL-1 (Northlake High Intensity Commercial) zoning district. The intent of the Northlake Zoning Districts is to encourage development and redevelopment of properties in order to achieve a mixed-use community; the development of sidewalks and walkways in order to promote safe and convenient pedestrian access and to reduce dependence on automobile travel; to encourage mixed-use developments containing commercial and residential uses in order to create a pedestrian-oriented community where people can live, work, and play; to improve the visual appearance and increase property values; promote uniform and visually aesthetic architectural features which serve to unify the distinctive visual quality of the Northlake area; to ensure a stable and healthy tax base. Taken together these items serve to unify the distinctive visual quality of the Northlake area.

The purpose and intent section of the NL-1 (Northlake High-Intensity Commercial) is to allow for the most intense mixed-use development in Tucker. It encourages the redevelopment of parking lots into a mix of retail, office, and residential uses in the same development. Convenience stores are allowed in the NL-1 zoning district “by-right”. However, fuel pumps (accessory to convenience store) and alcohol sales are only allowed by approval of a Special Land Use Permit in the NL-1 zoning district. The intent of the City of Tucker Zoning Ordinance is that the proposed uses be determined on a case-by-case specific basis to ensure compatibility with the surrounding area including environmental impacts, visual and infrastructure impacts.

CHARACTER AREA

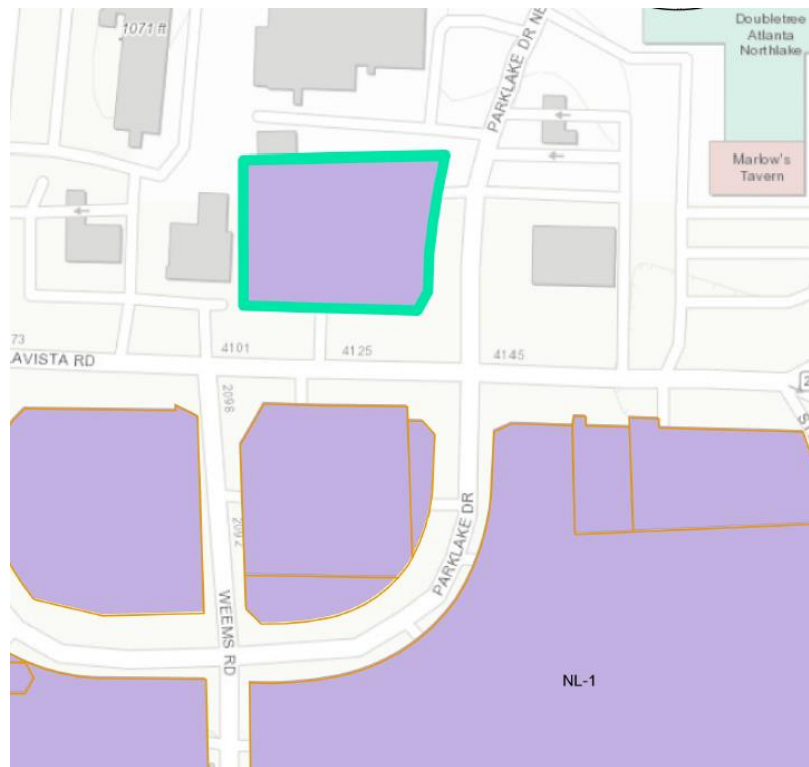
The subject property is in the Regional Activity Center Character Area on the Future Land Use Map. Recommendations of the Regional Activity Center designation include a higher-density mix of retail, office, housing, and services, and employment to serve a regional market area. Because the Northlake area is readily accessible from the highway and is already more developed, future development in this portion of the city is considered both desirable and appropriate.

PUBLIC PARTICIPATION PLAN REPORT

The applicant hosted a thirty-minute virtual community meeting on October 7, 2021 after mailing a letter and site plan explaining the proposed project to all property owners within 500 feet of the subject parcel. Seven people were in attendance including the applicant, developers, and engineer. The site plan and elevations for the project were shown and the only suggestion from those attending was to include elevations in the application packet to the City of Tucker. The applicant has submitted elevations, as suggested.

NEARBY/SURROUNDING LAND ANALYSIS

Adjacent & Surrounding Properties	Zoning (Petition Number)	Overlay District	Existing Land Use
Adjacent: North	C-1 Unincorporated DeKalb	Northlake Overlay Unincorporated DeKalb	Quantum Park Offices
Adjacent: East (across Parklake Drive NE)	C-1 Unincorporated DeKalb	Northlake Overlay Unincorporated DeKalb	Bank of America Financial Institution
Adjacent: South (South across Lavista Road)	NL-1 (Northlake High Intensity Commercial)	NA	BP Gas Station
Adjacent: West	C-1 Unincorporated DeKalb	Northlake Overlay Unincorporated DeKalb	Liquor store, eye doctor, bank, etc

**Zoning Map**

Note: Zoning only showed for properties within the city of Tucker boundary.



Aerial Photo

SLUP-21-0008 FUEL PUMPS

CRITERIA TO BE APPLIED – SPECIAL LAND USE PERMIT

Criteria (standards and factors) for special land use decisions are provided in Section 46-1594 of the City of Tucker Zoning Ordinance. The applicant is required to address these criteria (see application); below are staff's findings which are independent of the applicant's responses to these criteria.

- Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.**

The subject property is approximately 1.0 acre and consists of approximately 7,500 sq.ft. of buildings between the existing car wash facility, oil change establishment, and convenience store with fuel pumps.

The site is relatively small for the scope of the proposed 5,000 sq.ft. convenience store, 2,160 sq.ft. fuel pumps and canopy, and existing 2,000 sq.ft. oil change facility; however, it meets the development standards for the zoning district and the developer will be removing the existing car wash along the northern property line, with the redevelopment of the site. The proposed lot

coverage of the property is 80%. While this is the maximum allowed in the NL-1 zoning district, this is substantially lower than the existing impervious area. The site plan also shows adequate parking that meets the standards in Article 6, *Parking*, of the Zoning Ordinance. 22 spaces are shown on the site plan, including two ADA spaces, while the minimum required is 15 spaces. The site plan also shows substantial landscaping around the exterior of the property, as well as a much larger streetscape along Lavista Road and Parklake Drive.

2. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.

From a land use standpoint, the proposed convenience store, which will include fuel pumps, is compatible with the land uses and development of adjacent properties, as it is located on a minor arterial road near restaurants and other commercial uses. It should be noted that Interstate 285 is located approximately 500 feet to the east of the subject property. Additionally, the proposed project is a redevelopment of the site and would be less intensive as the applicant is proposing to demolish the existing car wash on the property.

3. Adequacy of public services, public facilities, and utilities to serve the proposed use.

Schools. There will be no impact on public school facilities.

Stormwater management. Owner/developer shall provide stormwater management in compliance with Tucker's Post Construction Stormwater Management Ordinance.

Water and sewer. Water and sewer approval is required by the DeKalb County Department of Watershed Management. Approval of the SLUP shall be conditional to Watershed approval.

4. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.

The subject property has two existing curb cuts, one full-access drive along Parklake Drive and one right-in/right-out aisle along Lavista Road. The applicant is requesting that both curb cuts remain. The City Engineer did not have any comments regarding access to the site. Traffic can adequately move about the site and with the demolition of the existing car wash, the applicant expects less traffic to frequent the property.

5. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.

Existing commercial type land uses would not be adversely affected by the proposed fuel pumps because fuel pumps currently exist on the site. The proposed fuel pumps will not affect the character of vehicles or the volume of traffic generated by the proposed development.

- 6. Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.**

The proposed development meets this standard. The ingress and egress to the site will not change with the redevelopment of the property. Sufficient access is currently provided for emergency vehicles.

- 7. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.**

The proposed development will not generate more excessive noise, nor will it emit smoke, odor, dust or vibration greater than that which currently exists. During redevelopment the applicant will be required to meet State of Georgia and federal requirements pertaining to the existing fuel storage tanks and all applicable standards for fuel pumps. Therefore, no adverse impacts on adjoining land uses are anticipated due to the environmental standards with which the applicant must comply.

- 8. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.**

The applicant is requesting the same hours of operation that currently exist on the property.

- 9. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.**

If the site is redeveloped in accordance with recommended conditions, land uses along Lavista Road will not be adversely affected by the manner or operation of the development.

- 10. Whether or not the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.**

The proposed use is consistent with the zoning district requirements, and the development will require further review regarding landscaping, exterior building materials, crosswalks, etc., at the time of Site & Land Development Review. During site/development review, the applicant will need to provide material specifications to determine compliance. The site plan shows a dumpster enclosure along the northern property line. Details regarding the enclosure will be required and vetted during the site/development review process.

- 11. Whether or not the proposed use is consistent with the policies of the comprehensive plan.**

The subject property and the surrounding immediate area are located in the Regional Activity Center on the Future Land Use Map. Uses typically include a higher-density mix of retail, office, housing, and services, and employment to serve a regional market area. Because the location is readily accessible from the highway, future development in the Northlake area is considered both desirable and appropriate. Primary land uses include townhomes, higher density multi-family

including apartments and condominiums, retail and service commercial, office, entertainment and cultural facilities, and public and private recreational uses.

The proposed redevelopment of the site will provide a more attractive gateway into the City and allow the property to better comply with the Northlake Design standards.

12. Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.

Not applicable.

13. Whether or not there is adequate provision of refuse and service areas.

The site plan shows space for a trash receptacle towards the northwest portion of the subject site to serve the facility.

14. Whether the length of time for which the special land use permit is granted should be limited in duration.

No limits on the length of time on the special land use permit are recommended, if granted.

15. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.

The proposed development would result in a building set close to the road activating a more pedestrian oriented streetscape. Additionally, the car wash would be removed, and the convenience store and fuel pump canopy would be constructed perpendicular to Lavista Road, creating a much more efficient flow of the site. The applicant submitted renderings of the proposed convenience store and the building will be constructed of a mixture of brick veneer and insulated glass with a height of approximately 20'. The proposed fuel canopy would be approximately 18'3½". The existing oil change facility will remain untouched on the site. It is staff's opinion that the building size, mass, and scale will be appropriate in relation to surrounding land uses.

16. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.

There are no known historic buildings, sites, districts or archaeological resources on the subject properties. Therefore, no adverse effects are anticipated (meets standard).

17. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.

The following supplemental use regulations are applicable: Sec. 46-1171 (Fuel Pumps, accessory). The applicant's letter of intent provides a detailed analysis of conformance to the fuel pumps

regulations in the Tucker zoning ordinance. There are additional criteria that must be considered when fuel pumps are proposed, as enumerated below:

1. **The primary building (i.e., convenience store or automobile service station) shall conform to all primary building setbacks.** The proposed development meets the development standards for the NL-1 zoning district pertaining to setback requirements.
 2. **Canopies covering gasoline dispensers shall be set back not less than fifteen (15) feet from all street rights-of-way.** The proposed development shows the canopies setback over 15 feet from the street right-of-way. The proposed development meets this criteria.
 3. **The canopy shall not exceed the height of the principal building, but in no case shall exceed twenty (20) feet in height.** The proposed canopy is 18'3½". The proposed development meets this criteria.
 4. **The canopy and its columns shall be complementary to the overall color scheme and building materials scheme of the building façade to which the canopy is accessory.** The overall color scheme and building materials will be required to be compliant with the zoning ordinance at the time of Site & Development, prior to the issuance of a building permit.
 5. **Canopy lighting shall not extend beyond the area beneath the canopy and all fixtures shall be recessed, including any fixture or lens. Lighting shall project inward and downward, shall not have any spillover to adjacent properties, and shall cut off no later than thirty (30) minutes after closure of the facility.** The proposed development does not show the lighting scheme; however, this will be a recommended condition of approval.
 6. **Automobile service stations with gas sales shall have a capacity to store one (1) car per bay (car area in front of a pump), so as not to interfere with driveway ingress and egress traffic flow.** The proposed development has the capacity to store one (1) car per bay in front of the pump. The proposed development meets this criteria.
 7. **A minimum of thirty (30) feet is required between a property line and the nearest gasoline pump.** The proposed development shows the gas pumps setback over 30 feet from the street right-of-way. The proposed development meets this criteria.
- 18. Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.**

The height of the proposed convenience store is one story, with the submitted renderings showing a building height of approximately 19'5". The proposed canopy over the fuel pumps is

18'3½". Neither the convenience store nor the gas canopy will not create a shadow impact on any adjoining lot or building.

19. Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area.

Although there is an existing gas station across the street, staff would not consider the redevelopment of the site to be a proliferation of this use in the area. Rather, the gas stations opposite each other both have one point of access along Lavista Road and may cater to travelers going in opposite directions.

20. Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.

Retail and service commercial are supported land uses within the Regional Activity Center. Redevelopment will also help to improve aesthetics in this important gateway.

CONCLUSION

The proposed Special Land Use Permit application, to allow for redeveloped fuel pumps, is consistent with the purpose and intent of the Regional Activity Center Character Area. The location is less than 500 feet from the interchange to Interstate 285 and the use has been on the site for several decades. The proposed redevelopment of the site would more a more attractive gateway and would be less intensive as the applicant is proposing to demolish the existing car wash on the property.

STAFF RECOMMENDATION SLUP-21-0008

Based upon the findings and conclusions herein, Staff recommends **APPROVAL WITH CONDITIONS** of **SLUP-21-0008**.

1. The property shall be developed in general conformance with the site plan submitted on October 18, 2021, to the Community Development Department, with revisions to meet these conditions.
2. The use of the property shall be limited to a 5,000 square-foot convenience store with alcohol sales and fuel pumps and an oil change establishment.
3. Lighting shall be energy efficient LED lighting with downward facing cut-off light fixtures to reduce glare.
4. The exterior building materials shall comply with the NL-1 (Northlake High Intensity Commercial) architectural regulations.
5. The dumpster enclosure shall be constructed out of the same materials and design as the convenience store.
6. There shall be no overnight truck or car parking.

7. There shall be no collection bins or outdoor display of merchandise, with the exception of propane tanks.
8. Vape and CBD sales shall be limited per the definitions in Chapter 46, Article 9.
9. A sign permit shall be submitted to the City of Tucker Community Development Department and must be in compliance with the sign code. All non-conforming signs on the property are required to be removed during the land development stage.
10. Owner/Developer shall comply with Section 22-34 of the City of Tucker Code of Ordinances concerning tree protection and replacement. A minimum tree density of 30 units/acre shall be required. Any specimen trees removed during the redevelopment shall require additional tree replacement units as required in the ordinance. If the required tree density cannot be obtained on site, compensation to the City's tree bank will be considered.
11. Owner/Developer shall provide stormwater management in compliance with Tucker's Post Construction Stormwater Management Ordinance.
12. Owner/Developer shall design the release of stormwater runoff from the site such that concentrated flow is not released onto Parklake Drive. Plans shall be approved by the City Engineer.
13. The development of this project is contingent upon the approval of the DeKalb County Department of Watershed Management.

PLANNING COMMISSION RECOMMENDATION SLUP-21-0008

Based upon the findings and conclusions herein, at its November 18, 2021 public hearing, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of **SLUP-21-0008** subject to the following staff conditions:

1. The property shall be developed in general conformance with the site plan submitted on October 18, 2021, to the Community Development Department, with revisions to meet these conditions.
2. The use of the property shall be limited to a 5,000 square-foot convenience store with alcohol sales and fuel pumps and an oil change establishment.
3. Lighting shall be energy efficient LED lighting with downward facing cut-off light fixtures to reduce glare.

4. The exterior building materials shall comply with the NL-1 (Northlake High Intensity Commercial) architectural regulations.
5. The dumpster enclosure shall be constructed out of the same materials and design as the convenience store.
6. There shall be no overnight truck or car parking.
7. There shall be no collection bins or outdoor display of merchandise, with the exception of propane tanks.
8. Vape and CBD sales shall be limited per the definitions in Chapter 46, Article 9.
9. A sign permit shall be submitted to the City of Tucker Community Development Department and must be in compliance with the sign code. All non-conforming signs on the property are required to be removed during the land development stage.
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11. Owner/Developer shall provide stormwater management in compliance with Tucker's Post Construction Stormwater Management Ordinance.
12. Owner/Developer shall design the release of stormwater runoff from the site such that concentrated flow is not released onto Parklake Drive. Plans shall be approved by the City Engineer.
13. The development of this project is contingent upon the approval of the DeKalb County Department of Watershed Management.

SLUP-21-0009 ALCOHOL SALES

CRITERIA TO BE APPLIED – SPECIAL LAND USE PERMIT

Criteria (standards and factors) for special land use decisions are provided in Section 46-1594 of the City of Tucker Zoning Ordinance. The applicant is required to address these criteria (see application); below are staff's findings which are independent of the applicant's responses to these criteria.

- 1. Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.**

The subject property is approximately 1.0 acre and consists of approximately 7,500 sq.ft. of buildings between the existing car wash facility, oil change establishment, and convenience store with fuel pumps.

The site is relatively small for the scope of the proposed 5,000 sq.ft. convenience store, 2,160 sq.ft. fuel pumps and canopy, and existing 2,000 sq.ft. oil change facility; however, it meets the development standards for the zoning district and the developer will be removing the existing car wash along the northern property line, with the redevelopment of the site. The proposed lot coverage of the property is 80%. While this is the maximum allowed in the NL-1 zoning district, this is substantially lower than the existing impervious area. The site plan also shows adequate parking that meets the standards in Article 6, *Parking*, of the Zoning Ordinance. 22 spaces are shown on the site plan, including two ADA spaces, while the minimum required is 15 spaces. The site plan also shows substantial landscaping around the exterior of the property, as well as a much larger streetscape along Lavista Road and Parklake Drive.

- 2. Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.**

From a land use standpoint, the proposal for alcohol sales is compatible with the land uses and development of adjacent properties as it is located on a minor arterial road near commercial uses and Interstate 285.

- 3. Adequacy of public services, public facilities, and utilities to serve the proposed use.**

Schools. There will be no impact on public school facilities.

Stormwater management. Owner/developer shall provide stormwater management in compliance with Tucker's Post Construction Stormwater Management Ordinance.

Water and sewer. Water and sewer approval is required by the DeKalb County Department of Watershed Management. Approval of the SLUP shall be conditional to Watershed approval.

4. **Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.**

The subject property has two existing curb cuts, one full-access drive along Parklake Drive and one right-in/right-out aisle along Lavista Road. The applicant is requesting that both curb cuts remain. The City Engineer did not have any comments regarding access to the site. Traffic can adequately move about the site and with the demolition of the existing car wash, the applicant expects less traffic to frequent the property.

5. **Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.**

Existing land uses would not be adversely affected by the proposed alcohol sales, as the request is for a redevelopment of the existing convenience store. Alcohol sales currently exist on the site so it will not change the character of vehicles or the volume of traffic generated by the proposed development.

6. **Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.**

The proposed development meets this standard. The ingress and egress to the site will not change with the redevelopment of the property. Sufficient access is currently provided for emergency vehicles.

7. **Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.**

The proposed development will not generate more excessive noise, nor will it emit smoke, odor, dust or vibration greater than that which currently exists. Alcohol sales currently exist on the site. Staff also recommends a condition limiting the space for alcohol sales (beer and wine only) to 20% or less of the interior floor space of the convenience store. This same condition was included for the gas station redevelopment at 4246 Lavista Road (SLUP-19-0009).

8. **Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.**

The subject property is surrounded by other commercial uses and should not create adverse impacts for nearby/surrounding properties. Additionally, the subject property is located less than 500 feet of an Interstate 285 interchange.

9. **Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.**

Nearby land uses along Lavista Road will not be adversely affected by the manner or operation of the development. The subject property is completely surrounded by commercial uses.

10. Whether or not the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.

The proposed use is consistent with the zoning district requirements, but the development will require further review regarding landscaping, exterior building materials, crosswalks, etc., at the time of Site & Land Development Review. During Site and Development, the applicant will need to provide material specifications to determine compliance. While the site plan also shows the dumpster location within an enclosure, full dumpster enclosure details will need to be provided to determine compliance.

11. Whether or not the proposed use is consistent with the policies of the comprehensive plan.

The subject property and the surrounding immediate area are located in the Regional Activity Center on the Future Land Use Map. Uses typically include a higher-density mix of retail, office, housing, and services, and employment to serve a regional market area. Because the location is readily accessible from the highway, future development in the Northlake area is considered both desirable and appropriate. Primary land uses include townhomes, higher density multi-family including apartments and condominiums, retail and service commercial, office, entertainment and cultural facilities, and public and private recreational uses.

12. Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.

Not applicable.

13. Whether or not there is adequate provision of refuse and service areas.

The site plan shows space for a dumpster and enclosure along the northern property line of the subject site to serve the facility.

14. Whether the length of time for which the special land use permit is granted should be limited in duration.

No limits on the length of time on the special land use permit are recommended, if granted.

15. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.

The proposed development would result in a building set closer to the street, activating this corner and creating a more pedestrian oriented streetscape. The applicant submitted elevations which show a mixture of insulated glass and brick veneer as exterior materials with an approximate building height of 20 feet.

It is staff's opinion that the building size, mass, and scale will be appropriate in relation to surrounding land uses.

16. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.

There are no known historic buildings, sites, districts or archaeological resources on the subject properties. Therefore, no adverse effects are anticipated (meets standard).

17. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.

The following supplemental use regulations are applicable: Sec. 46-1151 (Alcohol outlets, retail, package liquor store). The applicant's letter of intent provides a detailed analysis of conformance to the alcohol regulations in the Tucker zoning ordinance. There are additional criteria that must be considered when alcohol sales are proposed, as enumerated below:

A. Package stores and liquor stores, developed as a primary use in a freestanding building, must comply with City of Tucker ordinances pertaining to licensing requirements for a retail package liquor store.

The proposal is for accessory alcohol sales and will not be a primary use. However, staff has proposed a condition limiting the hours for alcohol sales.

B. Alcohol outlets in the NS (Neighborhood Shopping) District may only be permitted as an accessory use with a Special Land Use Permit (SLUP).

The subject site is zoned NL-1 (Northlake High Intensity Commercial). Regulation does not apply.

C. Alcohol outlets in the MU (Mixed-Use) districts shall be limited to beer and wine sales with a Special Land Use Permit (SLUP).

The subject site is zoned NL-1 (Northlake High Intensity Commercial). Regulation does not apply.

18. Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.

The height of the convenience store is proposed at approximately 20 feet, or one story, which will not create a shadow impact on any adjoining lot or building.

19. Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area.

There do not appear to be a proliferation of alcohol sales outlets in close proximity within the City of Tucker. While there is a liquor store immediately next door to the site, the proposed request is a redevelopment and would not add to the existing number of alcohol sales establishments.

20. Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.

Retail and service commercial are supported land uses within the Regional Activity Center. Redevelopment will also help to improve aesthetics in this important gateway.

CONCLUSION

The proposed Special Land Use Permit, to allow for continued alcohol sales, would be complementary to the convenience store and other existing uses along Lavista. Alcohol sales within the establishment shall be limited to ensure compatibility with the surrounding area and to ensure it remains as an accessory use.

STAFF RECOMMENDATION SLUP-21-0009

Based upon the findings and conclusions herein, Staff recommends **APPROVAL WITH CONDITIONS** of **SLUP-21-0009**.

1. The property shall be developed in general conformance with the site plan submitted on October 18, 2021, to the Community Development Department, with revisions to meet these conditions.
2. The use of the property shall be limited to a 5,000 square-foot convenience store with alcohol sales and fuel pumps and an oil change establishment.
3. The hours of alcohol sales shall cease daily at 12:30am Monday through Sunday.
4. Alcohol shall be limited to beer and wine. Alcohol sale display area shall not exceed twenty percent (20%) of the gross floor area.
5. Lighting shall be energy efficient LED lighting with downward facing cut-off light fixtures to reduce glare.
6. The exterior building materials shall comply with the NL-1 (Northlake High Intensity Commercial) architectural regulations.
7. The dumpster enclosure shall be constructed out of the same materials and design as the convenience store.
8. There shall be no overnight truck or car parking.
9. There shall be no collection bins or outdoor display of merchandise, with the exception of propane tanks.
10. Vape and CBD sales shall be limited per the definitions in Chapter 46, Article 9.

11. A sign permit shall be submitted to the City of Tucker Community Development Department and must be in compliance with the sign code. All non-conforming signs on the property are required to be removed during the land development stage.
12. Owner/Developer shall comply with Section 22-34 of the City of Tucker Code of Ordinances concerning tree protection and replacement. A minimum tree density of 30 units/acre shall be required. Any specimen trees removed during the redevelopment shall require additional tree replacement units as required in the ordinance. If the required tree density cannot be obtained on site, compensation to the City's tree bank will be considered.
13. Owner/Developer shall provide stormwater management in compliance with Tucker's Post Construction Stormwater Management Ordinance.
14. Owner/Developer shall design the release of stormwater runoff from the site such that concentrated flow is not released onto Parklake Drive. Plans shall be approved by the City Engineer.
15. The development of this project is contingent upon the approval of the DeKalb County Department of Watershed Management.

PLANNING COMMISSION RECOMMENDATION SLUP-21-0009

Based upon the findings and conclusions herein, at its November 18, 2021 public hearing, the Planning Commission recommends **APPROVAL WITH CONDITIONS** of **SLUP-21-0009** subject to the following staff conditions:

1. The property shall be developed in general conformance with the site plan submitted on October 18, 2021, to the Community Development Department, with revisions to meet these conditions.
2. The use of the property shall be limited to a 5,000 square-foot convenience store with alcohol sales and fuel pumps and an oil change establishment.
3. The hours of alcohol sales shall cease daily at 12:30am Monday through Sunday.
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14. Owner/Developer shall design the release of stormwater runoff from the site such that concentrated flow is not released onto Parklake Drive. Plans shall be approved by the City Engineer.
15. The development of this project is contingent upon the approval of the DeKalb County Department of Watershed Management.

DEPARTMENT COMMENTS

ARBORIST

Site must meet approval of the city of Tucker tree ordinance.

DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT

A sewer capacity request is required for the above address. Even though the proposed use for this site is unchanged the sewer capacity request is still required for any approval from Dekalb County Watershed Management.

DEKALB COUNTY FIRE MARSHAL OFFICE

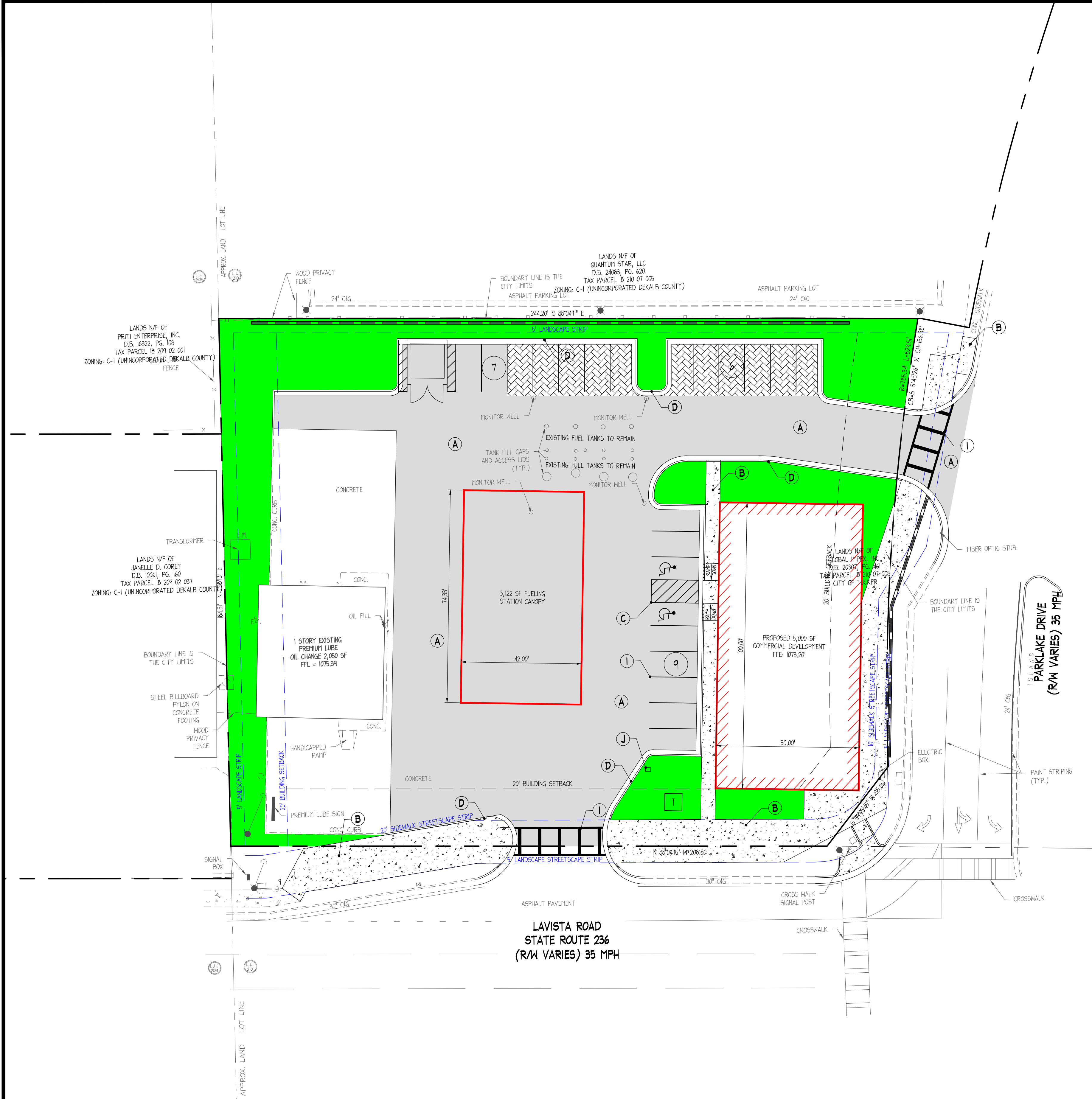
- New fire site and fire line plans for site approval will be required at LDP.
- Life Safety plan will be required for building(s).

DEKALB COUNTY SCHOOL SYSTEM

Not applicable; no comments.

LAND DEVELOPMENT

No comments.



SITE LEGEND	
(A)	CONCRETE SECTION: DETAIL 1, SHEET C03.3
(B)	CONCRETE SIDEWALK: DETAIL 6, SHEET C03.2
(C)	ACCESSIBLE AREA: DETAIL 1, SHEET C03.2
(D)	24" CURB & GUTTER: DETAIL 2, SHEET C03.2
(E)	CURB TRANSITION: DETAIL 4, SHEET C03.2
(F)	SITE SIGNAGE: DETAIL 7, SHEET C03.2
(G)	CONCRETE WHEELSTOPS: DETAIL 9, SHEET C03.2
(H)	SIDEWALK RAMP: DETAIL 10, SHEET C03.2
(I)	PAVEMENT STRIPING: DETAIL 3, SHEET C03.3
(J)	MAILBOX

SITE INFORMATION	
JURISDICTION:	TUCKER, GEORGIA DEKALB COUNTY
ZONING:	NL-1 (NORTHLAKE HIGH INTENSITY COMMERCIAL DISTRICT)
REQUIRED BUILDING SETBACKS:	FRONT: PARKLAKE DRIVE - BUILDING MUST BE WITHIN 20' OF RIGHT-OF-WAY EXTERIOR SIDE: LAVISTA ROAD - BUILDING MUST BE WITHIN 20' OF RIGHT-OF-WAY INTERIOR SIDE: (NORTH PROPERTY LINE-QUANTUM PARK) 0' REAR: (WEST PROPERTY LINE-FOR EYES) 20' BUILDING SETBACK
REQUIRED PARKING:	MINIMUM REQUIRED: 15 SPACES MAXIMUM ALLOWED: 45 SPACES
PROPOSED PARKING:	9' X 18' (REGULAR) = 25 8' X 18' (1K) = 2 TOTAL = 27
DRIVE AISLE:	24'
SITE AREA CALCULATIONS:	SITE: 10.98 AC. PERVIOUS AREA: 10.18 AC. IMPERVIOUS AREA: 10.00 AC. DISTURBED AREA: 10.00 AC.
FLOOD HAZARD:	NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.U.R.M. MAP NO. 1508C0057K, DATED 08/15/2014.
EXISTING INFORMATION:	PROVIDED BY: ROBINS LASER SCANNING LAND SURVEYING, DATED 02/16/2021 (SEE SHEET C02.0).

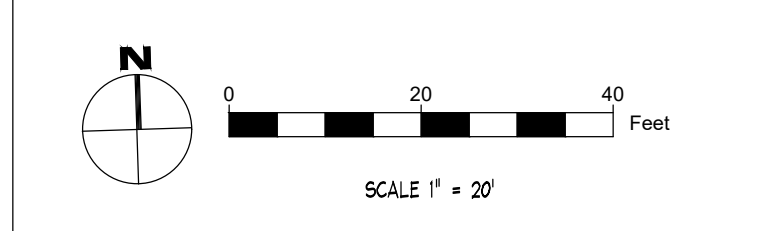
SITE NOTES	
1.	THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF THE WORK FROM THE SITE. ON SITE BURIAL OF TREES AND OTHER DEBRIS WILL NOT BE ALLOWED. THERE ARE NO KNOWN INERT BURY PITS ON THE SITE AND NONE WILL BE ALLOWED DURING CONSTRUCTION OF THE PROJECT.
2.	ALL WORK SHALL COMPLY WITH TUCKER/DEKALB COUNTY, STATE OF GEORGIA, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
3.	ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
4.	ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
5.	ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
6.	BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "STATE OF GEORGIA" TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION.
7.	ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8.	PHOTOMETRICS DESIGNED BY OTHERS: POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOMETRIC PLAN AND OWNER PRIOR TO CONSTRUCTION.
9.	SEE SHEET C01.1 FOR GENERAL NOTES.

BUILDING AREA NOTES	
1.	MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION, I.E. IN TIMES OF RAIN OR FLOOD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC... WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDPIPE SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA 1141 3-1).
2.	CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING. INSTALL FRENCH DRAIN IN LANDSCAPED AREAS ADJACENT TO BUILDING AND CONNECT TO DRAINAGE SYSTEM.
3.	SEE SHEET C01.1 FOR GENERAL NOTES.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
MR. IMRAN NIAZI
(678) 713-4453



CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

RECEIVED
CITY OF TUCKER

12/01/2021

PLANNING & ZONING
DEPARTMENT



ingenium
ENTERPRISES
PLANNING & ENGINEERING
221 ROSWELL ST.
SUITE 100
ALPHARETTA, GA 30009
770.437.8850
INGENIUM@GMAIL.COM

4118 LAVISTA ROAD
TUCKER, GEORGIA

CLIENT:
**BLACKWATER
CONSTRUCTION**
2180 SATELLITE BLVD, SUITE 400
DULUTH, GEORGIA 30097
PHONE: 678-713-4453

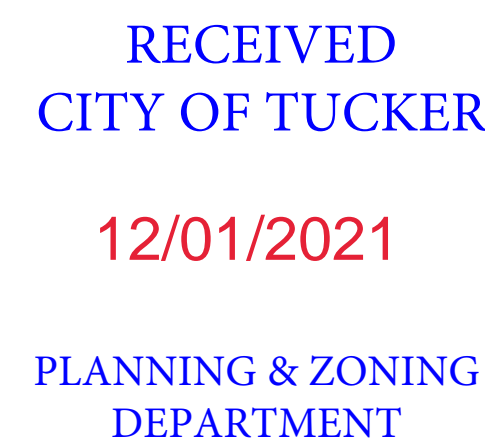
REVISION HISTORY	
1	1/1/2020
2	1/1/2020
3	1/1/2020
4	1/1/2020
5	1/1/2020
6	1/1/2020
7	1/1/2020
8	1/1/2020
9	1/1/2020
10	1/1/2020

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE, WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL DESIGN REPRESENTED HERE BY THIS INFORMATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS AND USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.

PROJ #	210040
DWG NAME	210040 C03.DWG
ISSUE DATE	1/1/2020
PROJ TGR	EH

SITE PLAN	
C03.0	
SHEET NUMBER	

ISSUE FOR PERMIT



CONTRACTOR SHALL INSTALL GENERAL UTILITY
CONDUITS TO PLANTERS AROUND BUILDING AND
PATIO. SEE ARCHITECTURAL/MEP PLANS FOR
CONTINUATION.

C03.1
SHEET NUMBER

ISSUE FOR PERMIT

PROJECT CONTACTS				
SELLER/OWNER BLACKWATER CONSTRUCTION GROUP 150 SHILOH PARK 3475 SATELLITE BLVD, SUITE 305 N DULUTH, GA 30097 PHONE: (678) 456-4462	DEVELOPER BLACKWATER CONSTRUCTION GROUP 150 SHILOH PARK 3475 SATELLITE BLVD, SUITE 305 N DULUTH, GA 30097 PHONE: (678) 456-4462	CIVIL ENGINEER INGENIUM ENTERPRISES, INC. 221 ROSKILL STREET, SUITE 100 ALPHARETTA, GA 30009 PHONE: (770) 437-8650	ARCHITECT TO BE DETERMINED	LAND SURVEYOR ROBBINS LASER SCANNING LAND SURVEYING P.O. BOX 192 LOGANVILLE, GEORGIA 30052 PHONE: (770) 954-5000 EMAIL: HENRY@ROBBINSLANDSURVEYING.COM
MEP TO BE DETERMINED	SITE LIGHTING TO BE DETERMINED	MUNICIPAL SEWER AGENCY DEKALB COUNTY WATER & SEWER 774 JORDAN LANE 200 DECATUR, GA 30033 PHONE: (404) 376-4475	MUNICIPAL WATER AGENCY DEKALB COUNTY WATER & SEWER 774 JORDAN LANE 200 DECATUR, GA 30033 PHONE: (404) 376-4475	ELECTRIC GEORGIA POWER 1000 PEACOCK DRIVE ATLANTA, GA 30308 PHONE: (770) 421-2253
GAS ATLANTA GAS LIGHT 150 SHILOH PARK 3475 SATELLITE BLVD, SUITE 305 N DULUTH, GA 30097 PHONE: (404) 376-4462	TRUCKING COMPANY ATLANTA 150 SHILOH PARK 3475 SATELLITE BLVD, SUITE 305 N DULUTH, GA 30097 PHONE: (678) 456-4462	LANDSCAPE ARCHITECT LDS DESIGN 150 E. CENTRAL ST. SUITE 500 JACKSON, MS 39201 PHONE: (601) 740-0081	SIGAGE TO BE DETERMINED	FIRE DEKALB COUNTY FIRE RESCUE DEPARTMENT CHIEF JOSEPH COX 160 N. EXCHANGE PLACE TUCKER, GA 30084 PHONE: (678) 456-7731

SITE DEVELOPMENT PLANS FOR:

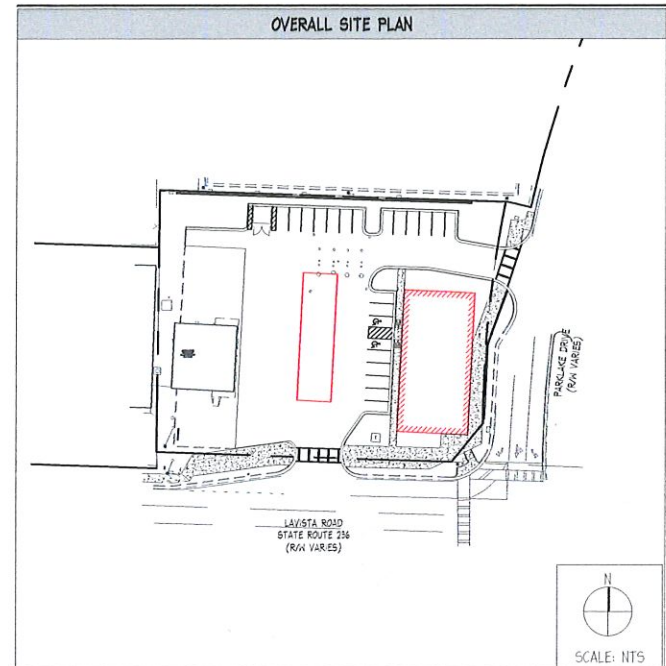
SHELL STATION
4118 LAVISTA ROAD
LAND LOT 210, DISTRICT 18,
DEKALB COUNTY, TUCKER, GEORGIA

PREPARED BY:



PREPARED FOR:

BLACKWATER CONSTRUCTION
2180 SATELLITE BLVD, SUITE 400
DULUTH, GEORGIA 30097
PHONE: 678-713-4453



CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL LOCAL, STATE, AND FEDERAL CERTIFICATION AND LICENSING REQUIREMENTS FOR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: LAND DISTURBANCE PERMITS, BUILDING PERMITS, DEMOLITION PERMITS, NPDES PERMITS, DOWATERING PERMITS, ETC.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

CONTRACTOR SHALL NOTIFY THE GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL WITHIN 24 HOURS UPON COMPLETE INSTALLATION OF INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs. THE GSWCC LEVEL II CERTIFIED DESIGN PROFESSIONAL MUST INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN SEVEN (7) DAYS AFTER INSTALLATION.

THE GEOTECHNICAL INVESTIGATION PREPARED BY NAME, DATED DATE AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DOWATERING, COMPACTION ETC.

NPDES BMP AND SITE VISIT CERTIFICATION

- I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAFETY OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE DESIGN REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 10000.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
David Tucker
GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION # 64091
EXPIRATION DATE 10/01/2021

DEKALB COUNTY WATER AND SEWER NOTES

- ALL DESIGN & CONSTRUCTION FOR WATER, SEWER, FIRE LINES, LIFT STATIONS & BACKFLOW PREVENTION SHALL COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATERSHED MANAGEMENT DESIGN STANDARDS 2004 EDITION, VERSION 10.0. ACTUAL FIELD CONDITIONS MAY DICTATE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.
- DEVELOPER SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" (IF APPLICABLE) IN HARD COPY AND ELECTRONIC FORMAT, AS WELL AS, RECORD ALL EXISTENTS THAT WILL BE DEDICATED TO DEKALB COUNTY IN THE COURT HOUSE, PRIOR TO APPROVAL OF AS-BUILT PLANS.
- PROJECTS INVOLVING CONSTRUCTION OF TRENCHES AND/OR CONDUITS ARE REQUIRED TO HAVE INDIVIDUAL PIERS FOR EACH UNIT. FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY WATER & SEWER ENGINEER BEFORE CHANGES ARE IMPLEMENTED.
- FOR PROJECTS WITHIN CITIES, DEVELOPER SHALL PROVIDE A MAINTENANCE ROAD TO DEKALB COUNTY FOR WATERSHED UTILITIES PRIOR TO APPROVAL OF AS-BUILT PLANS.
- CONTRACTOR MUST CLEAN AND T.V. SANITARY SEWER LINES AFTER CONNECTIONS ARE MADE TO THE EXISTING SEWER TIE-IN POINTS. TRACER WIRE TO BE INSTALLED FOR PVC PIPES.
- TRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHANGES DIRECTION (TEES, BENDS, ETC.).
- WATER & SEWER DEPT. PROVIDES THAT A BACKFLOW PREVENTER DEVICE BE INSTALLED (IF CURRENTLY EXISTING) ON EACH DOMESTIC OR FIRE SERVICE LINE, AND ANY OTHER TYPE OF WATER SERVICE CONNECTION.
- POTABLE WATER MAINS SHALL MAINTAIN A TEN (10) FOOT HORIZONTAL AND FOURTEEN (14) FOOT VERTICAL CLEARANCE FROM NON-POTABLE PRELINES.
- GRAVITY SEWER LINE MATERIAL SHALL BE PVC (5000) OR DIP (CLASS 360).
- PROVIDE EASEMENT PLAT & DEED FOR REVIEW FOR ALL SANITARY SEWER AND WATER EASEMENTS (AFTER CONSTRUCTION AND WITH AS-BUILTS).
- WATER & SEWER ACCESS FEES NEED TO BE PAID UNDER THE FOLLOWING CIRCUMSTANCES: NEW CONSTRUCTION, RE-DEVELOPMENT, ADDITIONS, CHANGE OF USE, ETC. THESE FEES ARE TO BE PAID AT 100 N. FORCE DE LEAN AVE, 2ND FLOOR. FAILURE TO SETTLE THESE FEES WILL RESULT IN DELAYS FOR OBTAINING WATER & SEWER PLAN APPROVAL, AS WELL AS CERTIFICATE OF OCCUPANCY/COMPLETION.
- LOCATE WHETHER ON-SITE SEWER / WATER IS PUBLIC OR PRIVATE AND ASK BLOCK FOR TOTAL FOURTEEN WATER/SEWER/UTILITY GROUP INFRASTRUCTURE (ON UTILITY PLAN 4 COVER), 56 # 145 SUBWATERIAL OF 56 LF OF 56" WATER. # THIS SUBWATERIAL OF WATER. LF OF WATER. CONTRACTOR MUST NOTIFY THE DAY CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIOR TO CONSIDERING CONSTRUCTION ACTIVITIES.
- DAVEY TUCKER (404) 732-441
• EDWIN SIMPSON (770) 621-1246
• ERIC WATNER (678) 516-6677

NPDES ESPC PLAN CERTIFICATION

- I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAFETY OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE DESIGN REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 10000.
- I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT CERTIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY KNOWLEDGE OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER CERTIFICATION

CERTIFICATIONS (OWNER OR OPERATOR OR BOTH AS APPLICABLE)
I CERTIFY THAT THE RECEIVING WATER(S) OR THE OUTFALL(S) OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S) WILL BE MAINTAINED IN ACCORDANCE WITH THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

I CERTIFY THAT THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN (PCMP) HAS BEEN PREPARED IN ACCORDANCE WITH PART IV OF THE GENERAL NPDES PERMIT NO. GAR 10000, OR GAR 10000, THE PLAN WILL BE IMPLEMENTED, AND THAT SUCH PLAN WILL PROVIDE FOR COMPLIANCE WITH THIS PERMIT.

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT CERTIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED, BASED ON MY KNOWLEDGE OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER'S PRINTED NAME: _____ TITLE: _____
SIGNATURE: _____ DATE: _____
OPERATOR'S PRINTED NAME: _____ TITLE: _____
SIGNATURE: _____ DATE: _____

CONSTRUCTION ENTRANCE LOCATION
LATITUDE: _____
LONGITUDE: _____



Know what's below.
Call before you dig.

24-HOUR CONTACT:
MR. IMRAN NIAZI
(678) 713-4453

DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION

DATE OF INSPECTION: _____
I CERTIFY THIS SITE WAS IN COMPLIANCE WITH THE ESPC PLAN ON THE DATE OF INSPECTION.

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 64091
INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ESPC PLAN:

THESE DISCREPANCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

SITE INFORMATION

JURISDICTION: TUCKER, GEORGIA
DEKALB COUNTY

ZONING: NL-1 (NORTHLAKE HIGH INTENSITY COMMERCIAL DISTRICT)

REQUIRED BUILDING SETBACKS:
FRONT: PARALLEL DRIVE - BUILDING MUST BE WITHIN 30' OF RIGHT-OF-WAY
EXTERIOR SIDE: LAVISTA ROAD - BUILDING MUST BE WITHIN 20' OF RIGHT-OF-WAY
INTERIOR SIDE: (NORTH PROPERTY LINE-QUANTUM PARK) 0'
REAR: (WEST PROPERTY LINE-FOR EYES) 20' BUILDING SETBACK

REQUIRED PARKING:
TRUCKS REQUIRED: 15 SPACES
TRANSIT ALLOWED: 45 SPACES

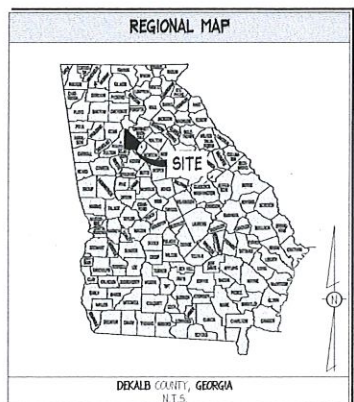
PROPOSED PARKING:
8' X 18' (REGULAR) = 20
6' X 12' (HIC) = 2
TOTAL = 22

DRIVE AISLES: 24'

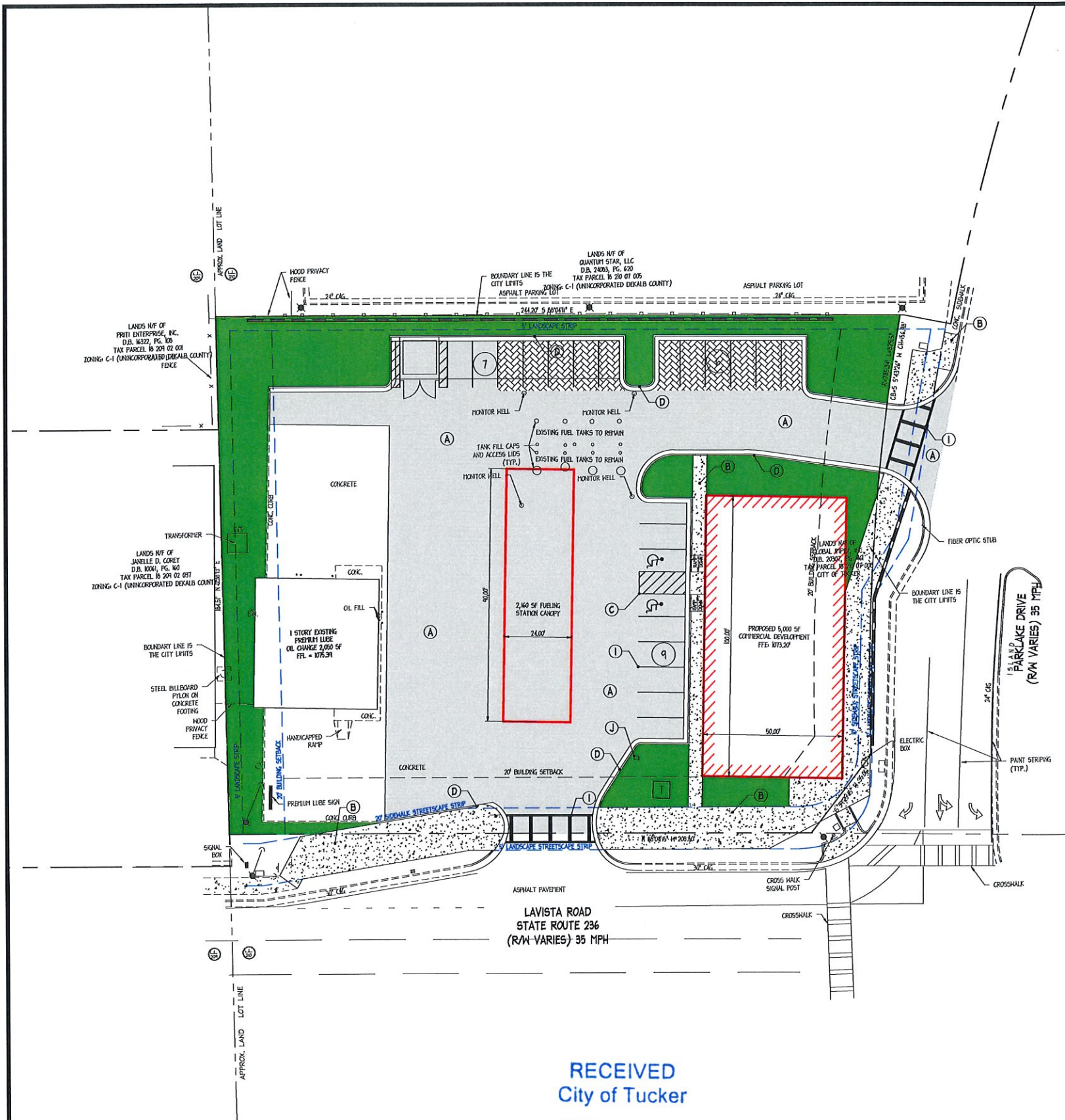
SITE AREA CALCULATIONS:
SITE: 10.50 AC.
PERVIOUS AREA: 4.00 AC.
IMPERVIOUS AREA: 10.50 AC.
DISTURBED AREA: 10.50 AC.

FLOOD HAZARD:
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.A.R.T. MAP NO. 130002007K, DATED 06/05/2011

EXISTING INFORMATION:
PROVIDED BY: ROBBINS LASER SCANNING LAND SURVEYING, DATED 02/04/2021 (SEE SHEET 02.0)



SHEET INDEX																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
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SITE LEGEND	
(A)	CONCRETE SECTION: DETAIL 1, SHEET C03.3
(B)	CONCRETE SIDEWALK: DETAIL 4, SHEET C03.2
(C)	ACCESSIBLE AREA: DETAIL 1, SHEET C03.2
(D)	24\"/>
(E)	CURB TRANSITION: DETAIL 4, SHEET C03.2
(F)	SITE SIGNAGE: DETAIL 1, SHEET C03.2
(G)	CONCRETE WHEELSTOPS: DETAIL 9, SHEET C03.2
(H)	SIDEWALK RAMP: DETAIL 10, SHEET C03.2
(I)	PAVEMENT STRIPING: DETAIL 3, SHEET C03.3
(J)	PAVEMENT

SITE INFORMATION	
JURISDICTION:	TUCKER, GEORGIA DEKALB COUNTY
ZONING:	HL-1 (NORTHLAKE HIGH INTENSITY COMMERCIAL DISTRICT)
REQUIRED BUILDING SETBACKS:	FRONT: PARKLAKE DRIVE - BUILDING MUST BE WITHIN 20' OF RIGHT-OF-WAY REAR: (WEST PROPERTY LINE-FOR EYES) 20' BUILDING SETBACK
REQUIRED PARKING:	MINIMUM REQUIRED: 15 SPACES MAXIMUM ALLOWED: 45 SPACES
PROPOSED PARKING:	9' X 10' (REGULAR) = 20 8' X 10' (TUCKER) = 2 TOTAL = 22
DRIVE ASLE:	24'
SITE AREA CALCULATIONS:	SITE: 11.0 AC. PERVIOUS AREA: 10.0 AC. PERVIOUS AREA: 10.0 AC. DISTURBED AREA: 10.0 AC.
FLOOD HAZARD:	NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.A.R.M. MAP NO. 100400000, DATED 06/15/2011.
EXISTING INFORMATION:	PROVIDED BY ROBINS LASER SCANNING LAND SURVEYING, DATED 03/16/2021 (SEE SHEET C02.0).

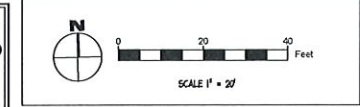
- ### SITE NOTES
1. THE CONTRACTOR SHALL REMOVE AND DEPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF THE WORK FROM THE SITE. ON SITE BURIAL OF TREES AND OTHER DEBRIS WILL NOT BE ALLOWED. THERE ARE NO KNOWN INERT BURIED PITS ON THE SITE AND NONE WILL BE ALLOWED DURING CONSTRUCTION OF THE PROJECT.
 2. ALL WORK SHALL COMPLY WITH TUCKER/DEKALB COUNTY, STATE OF GEORGIA, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
 3. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOMMENDED TRADE PRACTICES.
 4. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
 5. ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
 6. BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE OF GEORGIA TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION.
 7. ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 8. PHOTOPOINTS DESIGNED BY OTHERS, POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTOPOINT PLAN AND OWNER PRIOR TO CONSTRUCTION.
 9. SEE SHEET C01.1 FOR GENERAL NOTES.
- ### BUILDING AREA NOTES
1. MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION. I.E. IN TIMES OF RAIN OR FLOOD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC., WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRAWLER OR STANDING SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA 114 3-1).
 2. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING. INSTALL FRENCH DRAIN IN LANDSCAPED AREAS ADJACENT TO BUILDING AND CONNECT TO DRAINAGE SYSTEM.
 3. SEE SHEET C01.1 FOR GENERAL NOTES.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
MR. IMRAN NAZI
(678) 713-4453

GEORGIA811
Utilities Protection Center, Inc.
Know what's below.
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CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.



ingenium
ENTERPRISES
PLANNING & ENGINEERING
23 ROXBELL ST.
SUITE 100
ALPHARETTA, GA 30001
770.437.8850
H@INGENIUMENTERPRISES.COM

418 LAVISTA ROAD
TUCKER, GEORGIA

CLIENT:
BLACKWATER CONSTRUCTION
2800 SATELLITE BLVD, SUITE 400
DULUTH, GEORGIA 30097
PHONE: 678-713-4453

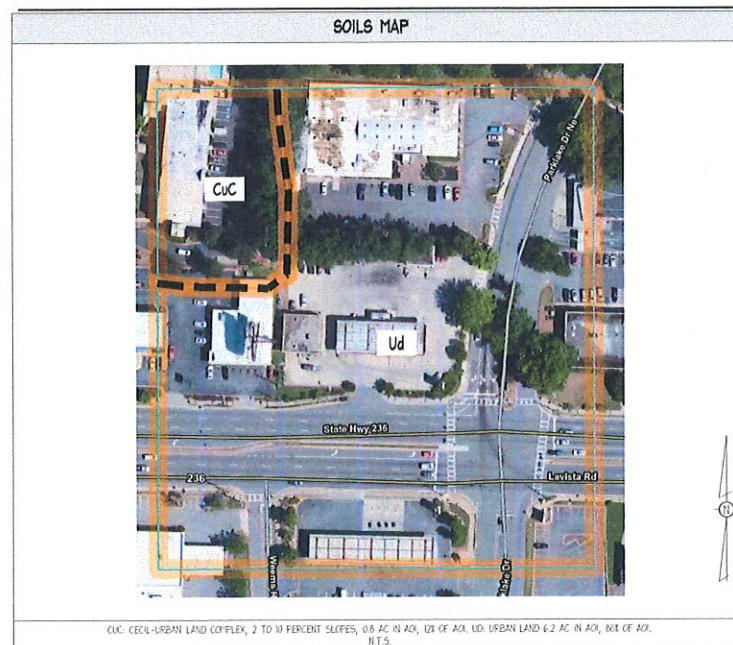
REVISION HISTORY	
1	ISSUED FOR PERMIT

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE (AND NOT NECESSARILY THE COMPLETE SCOPE OR CONTENT) AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE WORK IN PROGRESS, AND SUBJECT TO CHANGE. SUPERSEDES THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL IDEAS REPRESENTED HEREIN BY THIS REPRESENTATION SHALL NOT BE USED, ADAPTED, OR REPRODUCED IN ANY FORMER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.	
PROJ #	210040
ENGR NAME	210040 C03.0
ISSUE DATE	10/18/21
PROJ TMR	EN
SITE PLAN	
C03.0	
SHEET NUMBER	

ISSUE FOR PERMIT

RECEIVED
City of Tucker
OCT 18 2021
Community Development
Department

SLUP-21-0008, SLUP-21-0009



Community Development
Department

DEFINITIONS

'ISSUED FOR PERMITTING'
DRAWINGS ARE INTENDED FOR SUBMITTAL TO THE JURISDICTION(S) HAVING AUTHORITY FOR REVIEW, COMMENT, AND/OR APPROVAL. DRAWINGS ARE NOT INTENDED FOR PRICING, BID, OR CONSTRUCTION.

'NOT ISSUED FOR CONSTRUCTION'
DRAWINGS ARE INTENDED FOR SUBMITTAL TO THE JURISDICTION(S) HAVING AUTHORITY FOR REVIEW, COMMENT, AND/OR APPROVAL. DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION.












'ISSUED FOR CONSTRUCTION'
DRAWINGS ARE INTENDED FOR PRICING, BID, AND/OR CONSTRUCTION.








'NOT'

1. THROAT OR GRATE ELEVATION FOR CURB INLETS.
2. TOP OF STRUCTURE FOR JUNCTION BOXES/BOSS.
3. TOP OF STRUCTURE FOR SANITARY MANHOLES AND CLEAROUTS.

GENERAL NOTES

1. INQUIRY INTO FILES, (I) REGULARLY UTILIZES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN THESE FILES MAY BE INCOMPLETE OR MAY BE IN ERROR. THE USER MUST NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE USER IS ADVISED THAT ANY INFORMATION HEREIN IS NOT THE ORIGINAL DESIGN REPRESENTED BY THIS INFORMATION SHALL NOT BE USED AS AIDED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF EFC.
2. THE CONTRACTOR SHALL FROM THESE PLANS AND NOTES WITHOUT FURTHER CONSENT OF THE OWNER, HIS REPRESENTATIVE, OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
3. THE CONTRACTOR AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE, AND ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. THIS INCLUDES ALL SIZING AND SIZING.
4. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDUCTING OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS RESPONSIBILITY WILL APPLY TO ALL WORK AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INFLUENCE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES ON, OR IN NEAR THE CONSTRUCTION SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WORKING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL OSHA REGULATIONS AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS.
5. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PERSONS OR CONTRACTORS' EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

GRADING/DRAINAGE	LINE/TYPE/SYMBOL	REFERENCE
GRADE		SEE PLANS
SPOT ELEVATION		SEE PLANS
STORM DRAIN		SEE PLANS
HEADWALL (HW) / FLARED END SECTION (FES)		NOT APPLICABLE
DRAIN INLET (GRATE)		DETAIL 5, SHEET 4.3
DRAIN INLET (GRATE AND HOOD)		NOT APPLICABLE
JUNCTION BOX (JB) / OCS		DETAIL 1, SHEET ...
CATCH BASIN (SINGLE WING)		DETAIL 2, SHEET 4.3
CATCH BASIN (DOUBLE WING)		DETAIL 2, SHEET 4.3
PEDESTAL TOP		NOT APPLICABLE
STORM STRUCTURE NUMBER		SEE PLANS

	ESPC BMP	LINE TYPE/SYMBOL	REFERENCE
	Co CONSTRUCTION EXIT		SHEET C06.4
	SE-TYPE C SILT FENCE - TYPE C		SHEET C06.5
	SE-TYPE D SILT FENCE - TYPE C DOUBLE		NOT APPLICABLE
	Sd-P1 INLET SEDIMENT TRAP-FILTER		SHEET C06.6
	Sd-P2 INLET SEDIMENT TRAP-CURB		SHEET C06.6
	Dc DIST CONTROL-DISTURBED AREAS	Dc	SHEET C06.7
	Ds1 DISTURBED AREA STABILIZATION (WITH TROUSING ONLY)	Ds1	SHEET C06.7
	Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	Ds2	SHEET C06.8
	Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)	Ds3	SHEET C06.9
	Ds4 DISTURBED AREA STABILIZATION (WITH SEEDING)	Ds4	NOT APPLICABLE
	Ss SLOPE STABILIZATION		NOT APPLICABLE
	Ts TREE PROTECTION		NOT APPLICABLE

SEE LANDSCAPE/TREE PROTECTION PLANS FOR LEGEND SPECIFIC TO THOSE SHEETS

4118 LAVISTA ROAD
TUCKER, GEORGIA

CLIENT

**BLACKWATER
CONSTRUCTION**
2180 SATELLITE BLVD, SUITE
DULUTH, GEORGIA 30097
PHONE: 678-713-4453

REVISION HISTORY			
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10

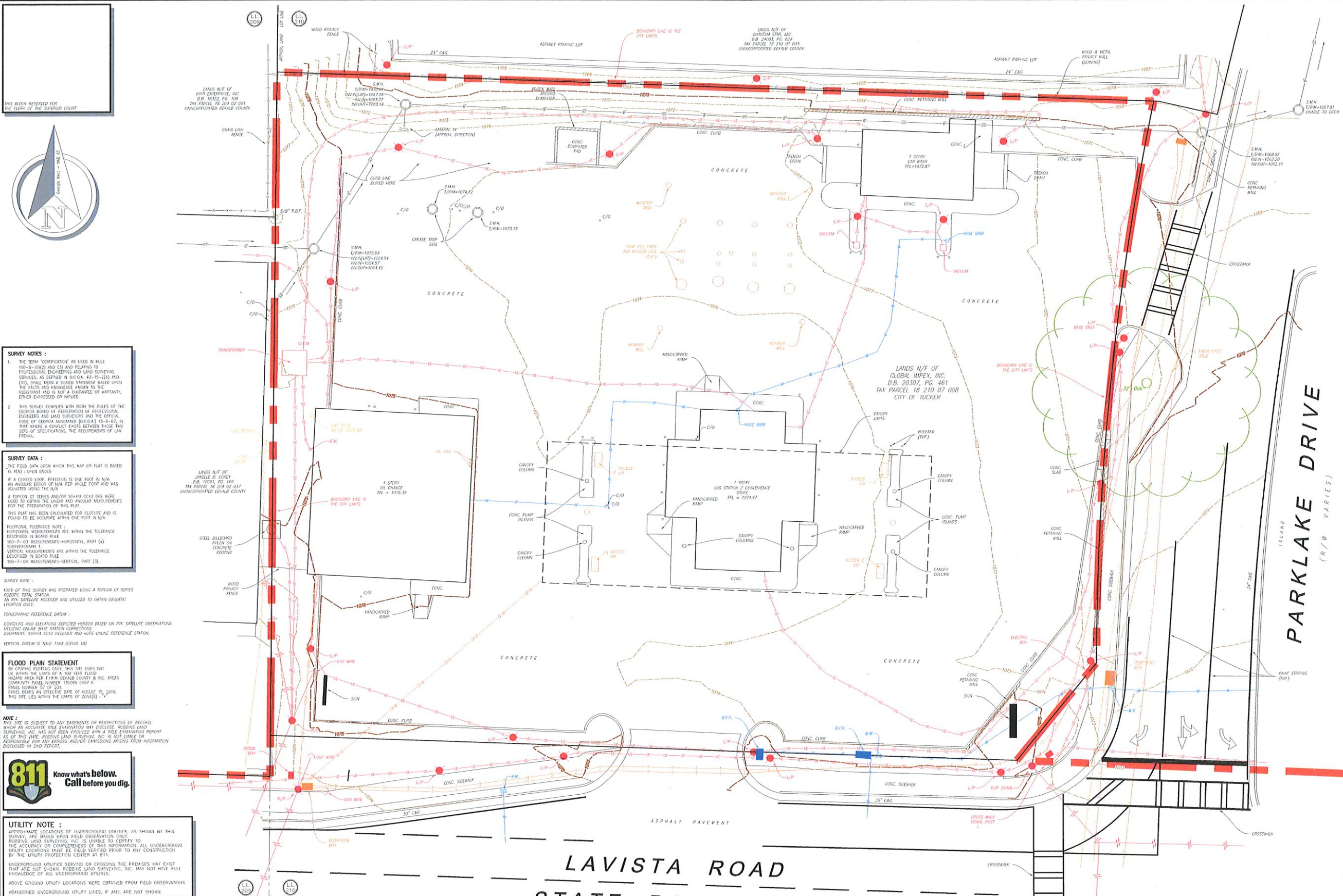
THE C.A. ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT AS A RESULT, THE INFORMATION INCLUDED IN ANY C.A. ENGINEER INFORMATION FILE IS HIS FINAL BELIEF. DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS OF THESE FILES MAY THEREFORE BE INCOMPLETE, INACCURATE OR IN PROGRESS, AND SUCH INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF THE C.A. ENGINEER. THE ORIGINAL RECORDS REPRESENTED HEREIN BY THIS INFORMATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE C.A. ENGINEER. NO PARTS ARE SUBJECT TO REPRODUCTION, REUSE, OR ANY USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE C.A. ENGINEER IS PROMISED.

PROJ #	20040
DWG NAME	20040 COL DWG
ISSUE DATE	--/------
PROJ MGR	BH

GENERAL NOTES

COL.1
SHEET NUMBER

ISSUE FOR PERMIT



SURVEY NOTES :

1. THE TERM "CERTIFICATION" AS USED IN RULE 100-6-(6)(2) AND (3) AND RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES, AS DEFINED IN O.C.G.A. 43-15-(6) AND (11), SHALL MEAN A SIGNED STATEMENT BASED UPON THE FACTS AND KNOWLEDGE KNOWN TO THE SURVEYOR AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

2. THIS SURVEY COMPLETES WITH BOTH THE RULES OF THE GEORGIA BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE OFFICIAL CODE OF GEORGIA ANNOTATED (O.C.G.A.) 15-6-62, IN THAT WHERE A CONFLICT EXISTS BETWEEN THOSE TWO SETS OF REQUIREMENTS, THE REQUIREMENTS OF LAW PREVAIL.

SURVEY DATA :

THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED IS: OPENED

IF A CLOSED LOOP, PRECISION IS ONE FOOT IN N/A. AN ANNUAL ERROR OF N/A PER ANGLE POINT AND WAS ADJUSTED USING THE N/A.

A TOPCON GT SERIES AND/OR SOUMA GCS2 GPS WERE USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS FOR THE PREPARATION OF THIS PLAN.

THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN N/A.

POSITIONAL TOLERANCE NOTE:

HORIZONTAL MEASUREMENTS ARE WITHIN THE TOLERANCE DESCRIBED IN BOARD RULE 100-7-3-3 MEASUREMENTS-HORIZONTAL, PART (4) SUBPARAGRAPH 1. VERTICAL MEASUREMENTS ARE WITHIN THE TOLERANCE DESCRIBED IN BOARD RULE 100-7-3-4 MEASUREMENTS-VERTICAL, PART (3).

SURVEY NOTE :

NOTE OF THIS SURVEY WAS PREPARED USING A TOPCON GT SERIES RECORDING TOTAL STATION. AN RTK SATELLITE RECEIVER WAS UTILIZED TO OBTAIN GEODETIC LOCATION DATA.

TOPOGRAPHIC REFERENCE DATA :

CONTOURS AND ELEVATIONS DEPICTED HEREON BASED ON RTK SATELLITE OBSERVATIONS UTILIZING ONLINE BASE STATION CORRECTIONS. EQUIPMENT: SOUMA GCS2 RECEIVER AND WFS ONLINE REFERENCE STATION.

VERTICAL DATUM IS NAVD 1983 (GEOID 18)

FLOOD PLAIN STATEMENT

BY CENSUS FLOODING DATA, THIS SITE DOES NOT LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD HAZARD AREA PER FIRM DEKALB COUNTY & INC. AREAS COMMUNITY FIRM NUMBER 30055 G057 & FIRM NUMBER 37101 G01.

FIRM BEARS AN EFFECTIVE DATE OF AUGUST 15, 2019. THIS SITE LIES WITHIN THE LIMITS OF 30055(3).

NOTE :

THIS SITE IS SUBJECT TO ANY EASEMENTS OR RESTRICTIONS OF RECORD, WHICH AN ACCURATE TITLE EXAMINATION MAY DISCLOSE. ROBBS LAND SURVEYING, INC. HAS NOT BEEN PROVIDED WITH A TITLE EXAMINATION REPORT AS OF THIS DATE. ROBBS LAND SURVEYING, INC. IS NOT LIABLE OR RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ARISING FROM INFORMATION DISCLOSED IN SAID REPORT.

UTILITY NOTE :

APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN BY THIS SURVEY, ARE BASED UPON FIELD OBSERVATION ONLY. ROBBS LAND SURVEYING, INC. IS UNABLE TO CERTIFY TO THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. ALL UNDERGROUND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION BY THE UTILITY PROTECTION CENTER AT 811.

UNDERGROUND UTILITIES SERVING OR CROSSING THE PREMISES MAY EXIST THAT ARE NOT SHOWN. ROBBS LAND SURVEYING, INC. MAY NOT HAVE FULL KNOWLEDGE OF ALL UNDERGROUND UTILITIES.

ABOVE GROUND UTILITY LOCATIONS WERE OBTAINED FROM FIELD OBSERVATIONS. ABANDONED UNDERGROUND UTILITY LINES, IF ANY, ARE NOT SHOWN.

LEGEND :

P.O.B.	POINT OF BEGINNING	D.P.	DUCTILE IRON PIPE	F.H.	FIRE HOUSING
L.L.	LAND LOT	P.V.	POLYVINYLENE CHLORIDE PIPE	M.C.V.	MISCELLANEOUS CONTROL VALVE
N/T	NOTED	C.B.	CATCH BASIN	W.E.	WATER EASE
N/F	NOW OR FORMERLY	C.I.	CURB INLET	W.M.	WATER METER
N.B.	NEED BOX	L.	LEAK	W.S.	WATER SERVICE
C.T.F.	CROWNED TOP FOUND	W.B.	WATER BOX	S.H.	SPRINKLER HEAD
P.B.T.	PEAK FOUND	J.B.	JUNCTION BOX	W.D.	WATER DRAIN
O.T.F.	OPEN TOP FOUND	F.E.S.	FLARED END SECTION	W.P.	WATER PUMP
A.F.	ASLE FOUND	H.W.	HEAD WALL	S.P.	SANITARY CONNECTION
A.W.	ASLE WASH FOUND	W.I.	WATER INLET	C.L.	CLEARANCE
R.F.	RAILROAD SPIKE FOUND	S.M.H.	SANITARY MANHOLE	S.P.	SANITARY PUMP
H.B.	HUB & BACK FOUND	C/O	CLEAN OUT	S.D.	SANITARY DRAIN
N.F.	NAIL FOUND	R.C.	RAILROAD CROSSING	S.V.	SANITARY VALVE
S.F.	SCHED. FOUND	E.M.H.	ELECTRIC MANHOLE	T.H.	TELEPHONE HOUSING
M.F.	MANHOLE FOUND	T.P.	TELEPHONE POWER LINE	C.L.	CABLE LINE
P.B.S.	PEAK SET	E.O.	ELECTRIC OUTLET	U.L.	UTILITY LINE
T.S.	TELEPHONE SET	P.	UNDERGROUND POWER LINE	B.L.	BUILDING LINE
M.S.	MILE SET	E.D.	ELECTRIC DRAIN	C.L.	CENTERLINE
M.M.	MILE MARK	P.P.	POWER POLE	E.P.	EDGE OF PAVEMENT
R.M.	REINFORCED	T.	TRANSFORMER	M.W.	MONITORING WELL
C.M.P.	CORRUGATED METAL PIPE	L.P.	LIGHT POLE		
P.C.P.	REINFORCED CONCRETE PIPE				

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City of Tucker
OCT 18 2021
Community Development
Department

SLUP-21-0008, SLUP-21-0009
Page 115 of 427

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THIS PLAN IS A RESTATEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS IS STATED HEREON. RECORDATION OF THIS PLAN DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

NO.	DATE	BY	PLAN	REVISION
1				
2				
3				
4				
5				
6				

LOCATED IN
LAND LOT 210
18th DISTRICT
CITY OF
TUCKER
COUNTY OF
DEKALB
STATE OF
GEORGIA

TOPOGRAPHIC SURVEY
OF THE LANDS OF
GLOBAL IMPEX, INC.
4114 LAVISTA ROAD
TUCKER GEORGIA 30084

PROJECT NO.
21-661
SCALE
1" = 10'
DRAWN BY
KSR/KSR
FIELD WORK DATED
1/26 & 2/4/2021
PLAN DATED
FEB. 16, 2021

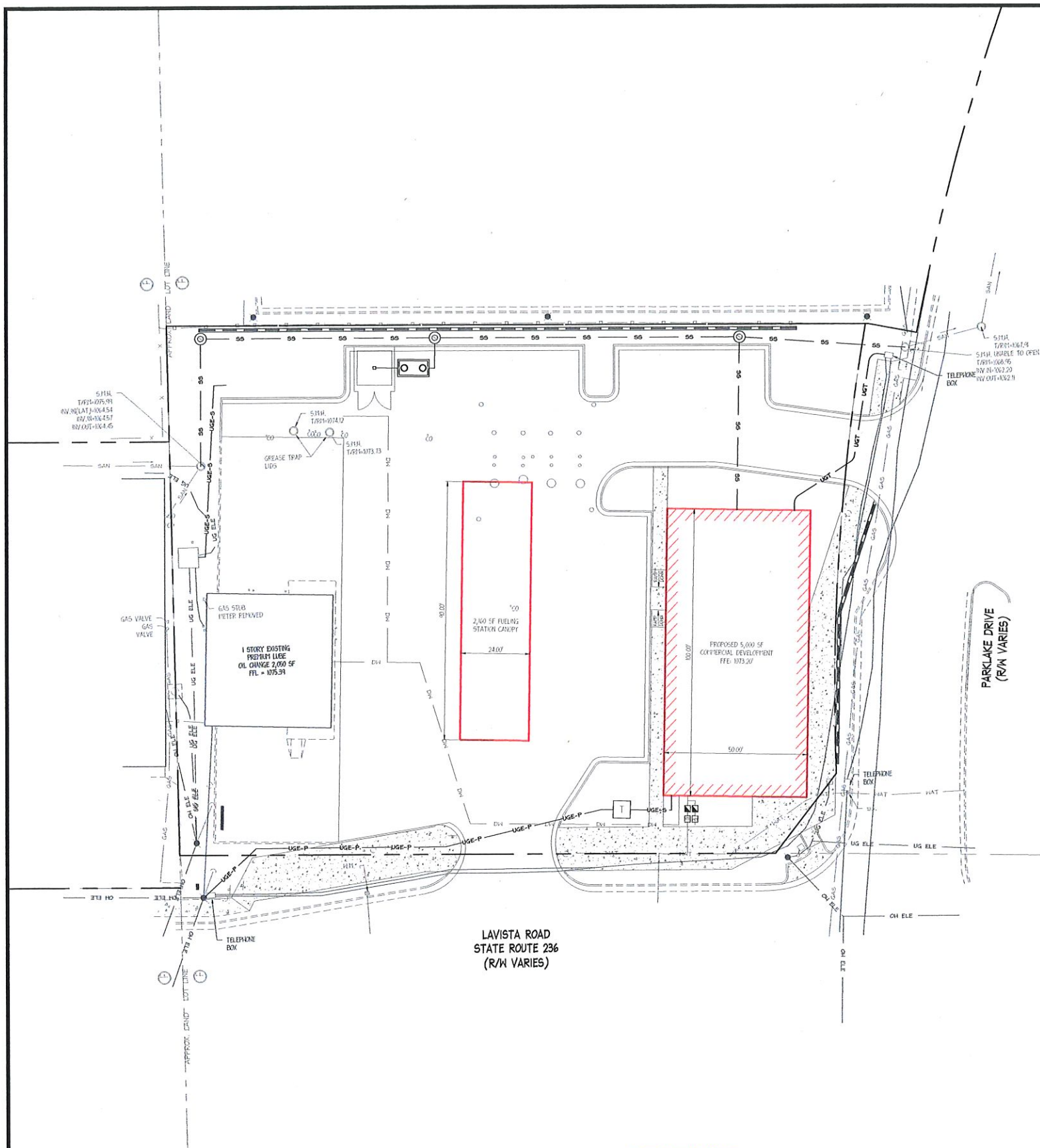
ROBBS LAND SURVEYING
P.O. BOX 1992
LAVISTA, GEORGIA 30052-5238
TEL 770-554-5810
FAX 770-554-5810
EMAIL - info@robbslandsurveying.com
State of Georgia Land Surveying Firm # LSP000085

SURVEYOR'S CERTIFICATION

This plan is a restatement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats or other instruments which created the parcel or parcels is stated herein. RECORDATION OF THIS PLAN DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAN COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Georgia Professional Engineer
No. 2778
Kenneth S. Robbins
Kenneth S. Robbins, President
for the FIRM, Robbs Land Surveying, Inc.
Georgia Professional Land Surveyor License No. 2778
FEBRUARY 16, 2021
Date

SHEET NO.
1 OF 1



UTILITY LEGEND		
UTILITY	LINE TYPE/SYMBOL	REFERENCE
DOMESTIC WATER LINE	— DW —	SEE PLANS
FIRE WATER LINE	— FW —	NOT APPLICABLE
BUILDING FIRE SPRINKLER LINE	— FWS —	NOT APPLICABLE
IRRIGATION WATER LINE	— IWL —	SEE IRRIGATION PLAN
DOMESTIC WATER METER (DW)	— DW —	SEE PLANS
IRRIGATION METER (IR)	— IR —	SEE PLANS
BACKFLOW PREVENTER (BFP)	— BFP —	NOT APPLICABLE
FIRE VALVE (FV)	— FV —	NOT APPLICABLE
DC BACKFLOW PREVENTER	— DCBFP —	NOT APPLICABLE
WATER TAP OR TEE	— WT —	SEE PLANS
GATE VALVE (GV)	— GV —	NOT APPLICABLE
THRUST BLOCK (TB)	— TB —	NOT APPLICABLE
FIRE HYDRANT (FH)	— FH —	NOT APPLICABLE
FIRE DEPARTMENT CONNECTION (FDC)	— FDC —	NOT APPLICABLE
SANITARY SEWER (SS)	— SS —	SEE PLANS
SANITARY MANHOLE (SMH)	— SMH —	DETAIL 3, SHEET C04
GENERAL CLEAN OUT (GO)	— GO —	DETAIL 1, SHEET C04
SAMPLING MANHOLE	— SM —	NOT APPLICABLE
SANITARY STRUCTURE NUMBER	— SSN —	SEE PLANS
UNDERGROUND ELECTRIC LINE-PRIMARY	— UEL-P —	SEE PLANS
UNDERGROUND ELECTRIC LINE-SECONDARY	— UEL-S —	SEE PLANS
POST INDICATOR VALVE	— PIV —	NOT APPLICABLE
SITE LIGHTING POLE	— SL —	NOT APPLICABLE
TRANSFORMER PAD	— TP —	NOT APPLICABLE
PIEDMONT PEDESTAL	— PP —	NOT APPLICABLE
UNDERGROUND TELEPHONE LINE	— UTL —	SEE PLANS
GENERAL UTILITY CONDUIT	— GU —	SEE PLANS
GAS LINE	— G —	SEE PLANS
GAS METERS	— GM —	SEE PLANS

ALL UTILITIES SHALL BE INSTALLED ACCORDING TO UTILITY PROVIDERS AND JURISDICTION STANDARDS AND SPECIFICATIONS.

GENERAL UTILITY NOTES

- SEE SHEET C01 FOR GENERAL NOTES.
- SEE PEP PLANS FOR CONTINUATION OF ALL UTILITIES INTO BUILDING.
- SANITARY LATERALS SHALL HAVE A MINIMUM FALL OF 1.00%.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION.
- THE FINAL LOCATION OF FIRE HYDRANTS, VALVES, WATER LINES, BACKFLOW PREVENTERS, ETC. SHALL BE DETERMINED DURING CONSTRUCTION. NOTIFY THE ENGINEER OF ANY CHANGES TO LOCATION OR CONFIGURATION. NFPA CODES SHALL BE ADHERED TO.
- THE CONTRACTOR SHALL CONTACT PUBLIC UTILITIES INSPECTIONS AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH LOCAL GOVERNING CODES.
- UTILITY CONDUIT MATERIAL FOR ELECTRIC, TELEPHONE, AND CABLE SHALL BE INSTALLED PER UTILITY PROVIDER SPECIFICATIONS.
- CONTRACTOR TO BUILD CONCRETE TRANSFORMER PAD AND INSTALL SCHEDULE 40 PVC CONDUIT AND FILL STRING WITH SHEEPING BODIES.

DEKALB COUNTY WATER AND SEWER NOTES

- ALL DESIGN & CONSTRUCTION FOR WATER, SEWER, FIRE LINES, LIFT STATIONS & BACKFLOW PREVENTION SHALL COMPLY WITH DEKALB COUNTY DEPARTMENT OF WATER-SHED MANAGEMENT DESIGN STANDARDS 2001 EDITION, VERSION 10. ACTUAL FIELD CONDITIONS MAY IMPOSE MORE STRINGENT REQUIREMENTS IF DEEMED NECESSARY BY THE CONSTRUCTION INSPECTOR.
- DEVELOPER SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" (IF APPLICABLE) IN HARD COPY AND ELECTRONIC FORMAT, AS WELL AS, RECORD ALL EASEMENTS THAT WILL BE DEDICATED TO DEKALB COUNTY IN THE COURT HOUSE, PRIOR TO APPROVAL OF AS-BUILT PLANS.
- PROJECTS INVOLVING CONSTRUCTION OF TOWNSHIPS AND/OR CONDOMINIUMS ARE REQUIRED TO HAVE INDIVIDUAL METERS FOR EACH UNIT.
- FIELD CHANGES DURING CONSTRUCTION MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY WATER & SEWER ENGINEER BEFORE CHANGES ARE IMPLEMENTED.
- FOR PROJECTS WITHIN CITIES, DEVELOPER SHALL PROVIDE A MAINTENANCE BUILD TO DEKALB COUNTY FOR WATERSHED UTILITIES PRIOR TO APPROVAL OF AS-BUILT PLANS.
- CONTRACTOR MUST JET CLEAN AND T.V. SANITARY SEWER LINES AFTER CONSTRUCTION IS MADE TO THE EXISTING SEWER TIE-IN POINTS. TRACER WIRE TO BE INSTALLED FOR PVC PIPES.
- THRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHANGES DIRECTION (TEES, BENDS, ETC.).
- WATER & SEWER DEPT. REQUIRES THAT A BACKFLOW PREVENTER DEVICE BE INSTALLED (IF CURRENTLY EXISTING) ON EACH DOMESTIC OR FIRE SERVICE LINE, AND ANY OTHER TYPE OF WATER SERVICE CONNECTION.
- POTABLE WATER MAINS SHALL MAINTAIN A TEN (10) FOOT HORIZONTAL AND EIGHTEN (18) FOOT VERTICAL CLEARANCE FROM NON-POTABLE PIPELINES.
- GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SCHED) OR DIP (CLASS 360).
- PROVIDE EASEMENT PLAT & DEED FOR EASEMENT FOR ALL SANITARY SEWER AND WATER EASEMENTS. (AFTER CONSTRUCTION AND WITH AS-BUILTS)
- WATER & SEWER ACCESS FEES NEED TO BE PAID UNDER THE FOLLOWING CIRCUMSTANCES: NEW CONSTRUCTION, RE-DEVELOPMENT, ADDITIONS, CHANGE OF USE, ETC. THESE FEES ARE TO BE PAID AT 300 W. PARKER DE LEON AVE., 2ND FLOOR. FAILURE TO SETTLE THESE FEES WILL RESULT IN DELAYS FOR OBTAINING WATER & SEWER PLAN APPROVAL, AS WELL AS CERTIFICATE OF OCCUPANCY/COMPLETION.
- INDICATE WHETHER EXISTING SEWER / WATER IS PUBLIC OR PRIVATE.
- ADD BLOCK FOR TOTAL PROVIDED WATER/SANITARY SEWER INFRASTRUCTURE (ON UTILITY PLAN & COVER). SS: # THIS SIZE/MATERIAL OF SS: 12" OF SS: WATER: # THIS SIZE/MATERIAL OF WATER: 12" OF WATER: CONSTRUCTION MUST NOTIFY THE DATA CONSTRUCTION INSPECTOR AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.

DANIEL TUCKER (404) 732-441
TODD SIMPSON (770) 323-7245
ERIK HANSEN (404) 551-4227

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

FOR UNDERGROUND STORAGE SEE GRADING & DRAINAGE PLANS C05.0 & C05.1

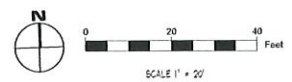
CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

UTILITY INFORMATION				
WATER				
LINE EXTENSION TO PROPERTY LINE	GC	SEWER/ WATERSHED	DEVELOPER	UTILITY
PIPING FROM PROPERTY LINE TO BUILDING				
TAPPING THE MAIN				
WATER VAULT				
WATER (METER) PIT				
DOMESTIC METER				
FIRE METER				
IRRIGATION METER				
DOMESTIC BFP				
FIRE BFP				
IRRIGATION BFP				
OBTAINING EASEMENTS				
OBTAINING R/W INRY PERMITS				
SANITARY SEWER				
TAPPING OF THE MAIN	GC	SEWER/ WATERSHED	DEVELOPER	UTILITY
LINE EXTENSION SERVICE LATERAL (INSIDE PROPERTY)				
OBTAINING EASEMENTS				
OBTAINING R/W INRY PERMITS				
ELECTRIC				
PRIMARY CONDUIT	GC	SEWER/ WATERSHED	DEVELOPER	UTILITY
PRIMARY CABLE				
PRIMARY FINAL CONNECTION				
TRANSFORMER				
TRANSFORMER PAD				
POLE				
SECONDARY CABLE				
SECONDARY CONDUIT				
SECONDARY FINAL CONNECTION				
METER				
CT CABINET				
CT METER CONDUIT				
SOCKET				
OBTAINING EASEMENTS				
R/W INRY PERMITS				
TELEPHONE				
CONDUIT	GC	SEWER/ WATERSHED	DEVELOPER	UTILITY
TELEPHONE BACKFILL				
CABLE & WIRE				
OBTAINING EASEMENTS				
OBTAINING R/W INRY PERMITS				
GAS				
TAP	GC	SEWER/ WATERSHED	DEVELOPER	UTILITY
PIPING				
TELEPHONE AND BACKFILL				
METER				
REGULATOR				
OBTAINING EASEMENTS				
OBTAINING R/W INRY PERMITS				

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.



24-HOUR CONTACT:
MR. IMRAN NIAZI
(678) 713-4453



221 POWELL ST.
SUITE 100
ALPHARETTA, GA 30009
770-437-6560
WWW.INGENIUMTEAM.COM

418 LAVISTA ROAD
TUCKER, GEORGIA

BLACKWATER
CONSTRUCTION
2900 SATELLITE BLVD., SUITE 400
DULUTH, GEORGIA 30097
PHONE: 678-713-4453

REVISION HISTORY	
1	ISSUED FOR PERMIT

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UTILITY PLAN
C04.0A
SHEET NUMBER

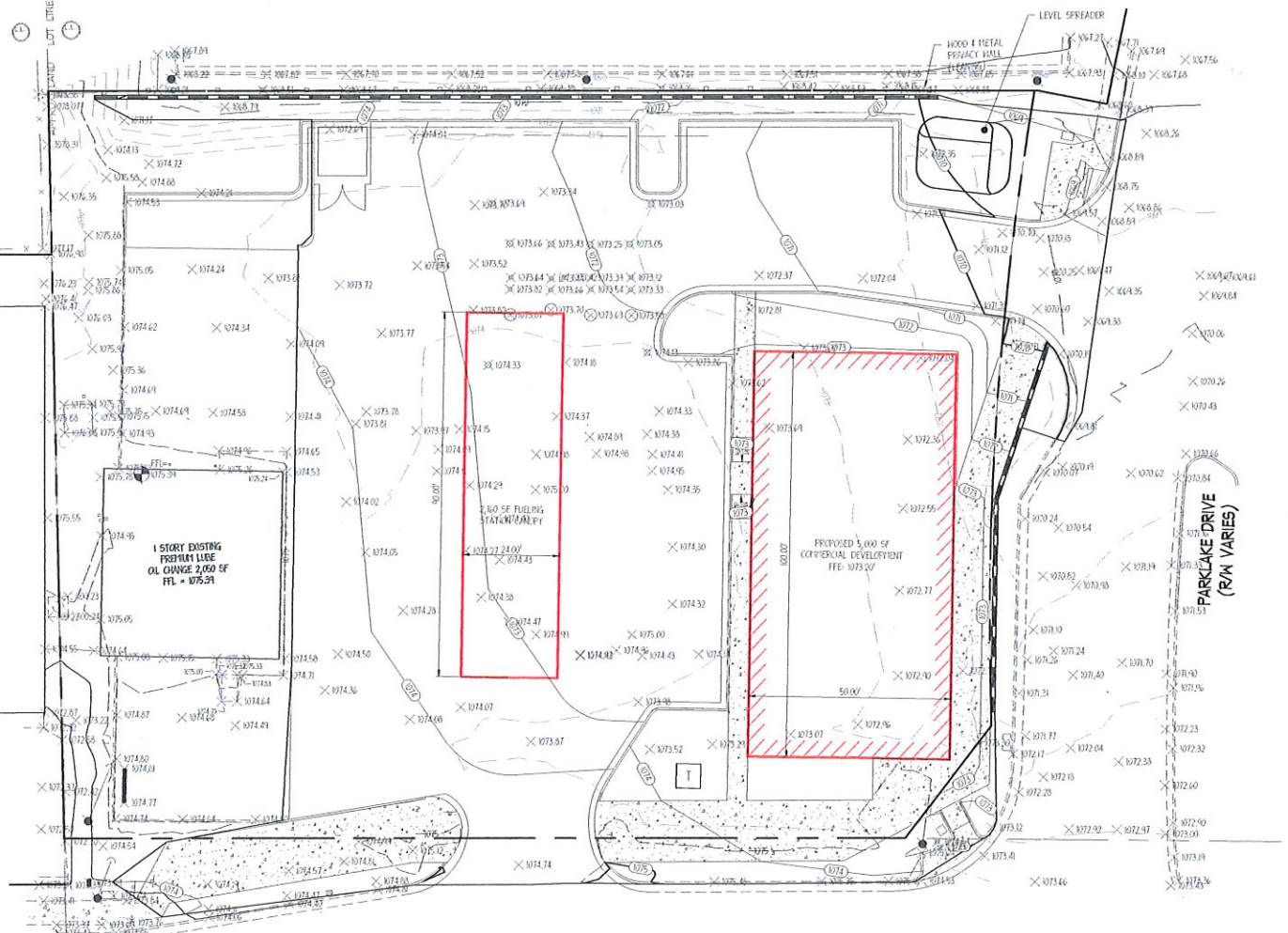
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SLUP-21-0008, SLUP-21-0009



LAVISTA ROAD
STATE ROUTE 236
(R/W VARIES)

PARKWAY DRIVE
(R/W VARIES)

GRADING & DRAINAGE LEGEND

GRADING/DRAINAGE	LINE/TYPES/SYMBOL	REFERENCE
GRADE	---	SEE PLANS
SPOT ELEVATION	X (300.00)	SEE PLANS
STORM DRAIN	---	SEE PLANS
HEADWALL (HW) / FLARED END SECTION (FES)	---	NOT APPLICABLE
DRIP INLET (GRATE)	---	DETAIL 5, SHEET 4.3
DRIP INLET (GRATE AND HOOD)	---	NOT APPLICABLE
JUNCTION BOX (JB) / COC	---	DETAIL 2, SHEET 4.3
CATCH BASIN (SINGLE WING)	---	DETAIL 2, SHEET 4.3
CATCH BASIN (DOUBLE WING)	---	DETAIL 2, SHEET 4.3
PEDESTAL TOP	---	NOT APPLICABLE
STORY STRUCTURE NUMBER	(A3)	SEE PLANS

GRADING & DRAINAGE NOTES

- SEE LANDSCAPE PLAN FOR REQUIRED TREES AND GROUND COVER.
- SLOPE OF SURFACE GRADE SHALL BE A MINIMUM OF 1.0%.
- MINIMUM CUT OF FULL SLOPES IS 2.0%.
- THE CONTRACTOR SHALL PROVIDE CLEAN, SUITABLE MATERIAL FOR REQUIRED FILL. SHOULD A SUFFICIENT QUANTITY OF SUITABLE MATERIAL NOT BE AVAILABLE FROM THE REQUIRED EXCAVATION ON THE SITE.
- ALL FILL SHALL BE PLACED IN 12" MAX. HORIZONTAL LAYER LIFTS (MAXIMUM 6" HIGH) AND COMPACTED TO AT LEAST 90 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557). THE UPPER 6" INCHES OF SOIL BENEATH PAVEMENTS AND SLAB-ON-GRADE SHOULD BE COMPACTED TO AT LEAST 90 PERCENT. CORROSION MUST BE CERTIFIED BY A GEORGIA REGISTERED PROFESSIONAL SOILS ENGINEER PRIOR TO THE INSTALLATION OF PAVEMENTS, CURBS, SIDEWALKS OR FOOTINGS OF ANY TYPE.
- DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE FULLY CONSTRUCTED AND OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
- LENGTH OF RIP-RAP PADS AT FIRE OUTLET STRUCTURES TO BE A MINIMUM LENGTH OF (6) SIX TIMES THE DIAMETER OF THE PIPE.
- JURISDICTIONAL LAND DISTURBANCE PERMIT MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A PUBLIC ROAD OR STREET.
- SEE SHEET C05.1 FOR GENERAL NOTES.

BUILDING AREA NOTES

- MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION. IN TIMES OF RAIN OR FLOOD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC., WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDPIPE SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (DPCA 401-3-1).
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING. INSTALL FRENCH DRAIN IN LANDSCAPED AREAS ADJACENT TO BUILDING AND CONNECT TO DRAINAGE SYSTEM.
- SEE SHEET C05.1 FOR GENERAL NOTES.

HYDROLOGY STATEMENT

SEE HYDROLOGY REPORT BY INGENIUM ENTERPRISES.

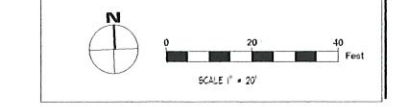
SEE SHEET C05.1 FOR GRADING AND DRAINAGE
DETAILS AND PROPOSED SPOTS.

CONTRACTOR SHALL PROTECT ALL ITEMS
OUTSIDE LIMITS OF CONSTRUCTION UNLESS
OTHERWISE NOTED IN THE CONSTRUCTION
PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL
EXISTING UTILITIES (LOCATIONS AND
ELEVATIONS) PRIOR TO STARTING
CONSTRUCTION AND ALERT ENGINEER TO
ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
MR. IMRAN NIAZI
(678) 713-4453

GEORGIA811
Utilities Protection Center, Inc.
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ingenium
ENTERPRISES
PLANNING & ENGINEERING
20 RUSSELL ST.
SUITE 100
ALPHARETTA, GA 30009
770-631-6053
WWW.INGENIUMENTERPRISES.COM

4118 LAVISTA ROAD
TUCKER, GEORGIA

CLIENT:
**BLACKWATER
CONSTRUCTION**
2150 SATELLITE BLVD., SUITE 400
DULUTH, GEORGIA 30097
PHONE: 678-713-4453

REVISION HISTORY	
1	ISSUED FOR PERMIT

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PROJECT #	20000
ENGINE NAME	20000 C05.DWG
ISSUE DATE	11/11/2021
PROJECT NAME	4118 LAVISTA RD

GRADING & DRAINAGE PLAN

C05.0
SHEET NUMBER

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SLUP-21-0008, SLUP-21-0009

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SLUP-21-0008, SLUP-21-0009

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4118 LAVISTA ROAD
TUCKER, GEORGIA

PLANS FOR:

CLIENT:

**BLACKWATER
CONSTRUCTION**
2160 SATELLITE BLVD, SUITE 400
DULUTH, GEORGIA 30097
PHONE: 678-713-4453

REVISION HISTORY

1	1	1	1	1	1	1	1	1	1
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3	3	3	3	3	3	3	3	3	3
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10	10	10	10	10	10	10	10	10	10

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PROJECT #	200401
ENGINE NAME	200401 COT.ENG
ISSUE DATE	10/18/2021
PROJECT LEAD	EN

SIGHT DISTANCE PLAN

COT.5
SHEET NUMBER

24-HOUR CONTACT:
MR. IMRAN NIAZI
(678) 713-4453

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PROJ # 200401
ENGINE NAME 200401 COT.ENG
ISSUE DATE 10/18/2021
PROJECT LEAD EN

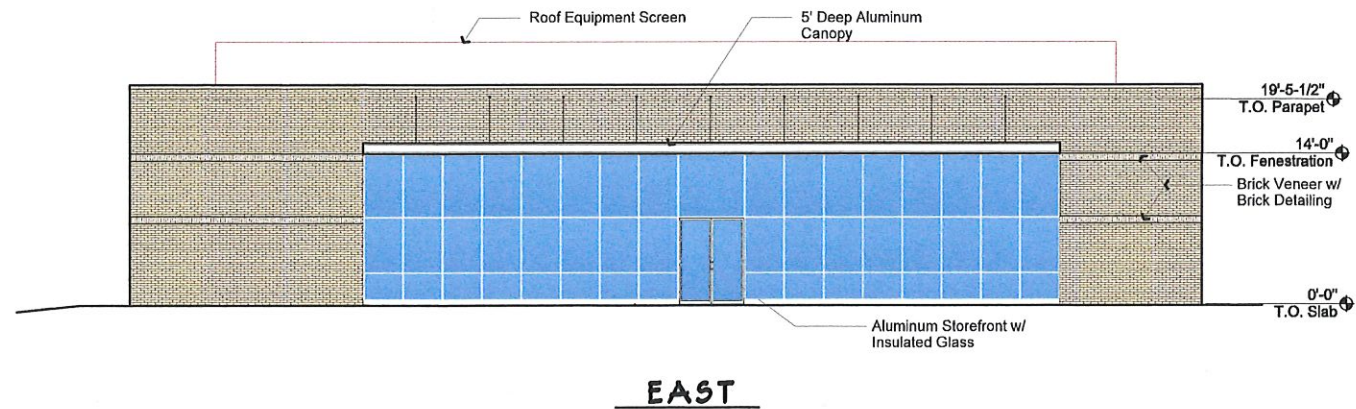
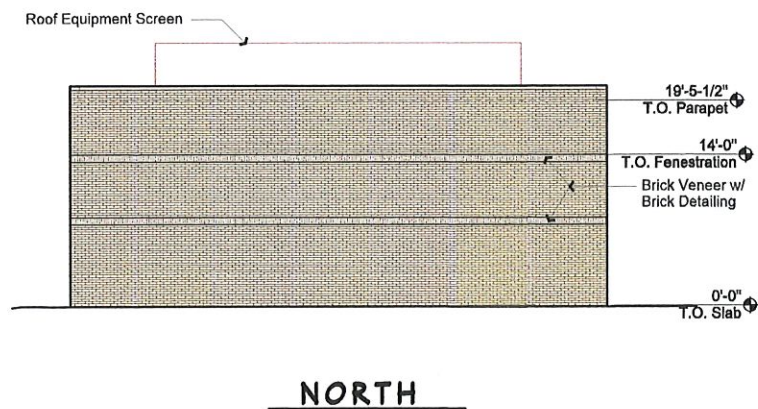
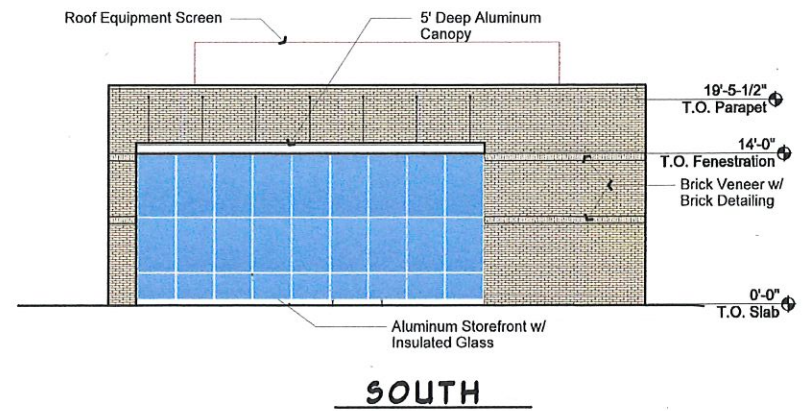
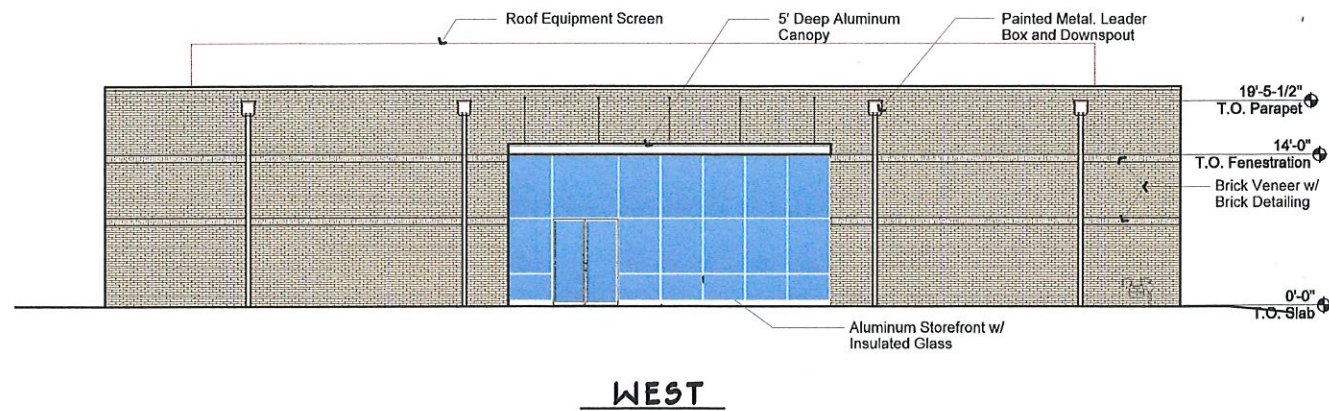
SIGHT DISTANCE PLAN

COT.5
SHEET NUMBER

0 40 80 Feet
SCALE 1" = 20'

N

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EXTERIOR ELEVATIONS
 1/8" = 1'-0"
 2 4 8 16
 SCALE IN FEET



DENNIS L. NORTON
 1121 Liberty Lane
 Bogart, Georgia 30622
 PHONE: (678) 462-5253
 dnorton@nortonarchitect.com
 24 HR. CONTACT:
 Mr. Imran Niazi
 (404) 964-3569

LIMITED SERVICES
 The Architect and Engineers have been commissioned to perform Limited Services which include the preparation of Permittable Documents only. NO CONSTRUCTION ADMINISTRATION SERVICES ARE INCLUDED.

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 Dennis L. Norton Architect
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EXTERIOR ELEVATIONS

SHELL C STORE
 4118 LaVista Road
 Tucker, GA 30084

NO.	DESCRIPTION	DATE
0	Prelim	10/06/2021

PROJECT NUMBER:
 21136

DESCRIPTION:
 EXT. ELEVATIONS

DRAWING NUMBER:
A-2



Planning and Zoning
1975 Lakeside Parkway, Suite 350
Tucker, GA 30084
Phone: 678-597-9040
Email: permits@tuckerga.gov
Website: www.tuckerga.gov

Land Use Petition Application

Type of Application: ☐ Rezoning ☐ Comprehensive Plan Amendment ☒ Special Land Use Permit
☐ Concurrent Variance ☐ Modification

APPLICANT INFORMATION

Applicant is the: ☐ Property Owner ☒ Owner's Agent ☐ Contract Purchaser

Name: Blackwater Construction Group & Ingenium Enterprises, Inc.

Address: Ingenium - 221 Roswell Street, Suite 100

City: Alpharetta

State: GA

Zip: 30009

Contact Name: Erik Houston - Ingenium

Phone: 770-437-8850 x107

Email: ehouston@ingeniumteam.com

OWNER INFORMATION

Name: Global Impex, Inc.

Address: 3473 Satellite Blvd, Suite 355N

City: Duluth

State: GA

Zip: 30096

Contact Name: Siraj Kazani

Phone: 404-513-7786

Email: siraj@globalimpex.net

PROPERTY INFORMATION

Property Address: 4118 Lavista Road, Tucker, GA 30084

Present Zoning District(s): NL-1

Requested Zoning District(s): No Change

Present Land Use Category: RAC

Requested Land Use Category: No Change

Land District: 18

Land Lot(s): 210

Acreage: 1.0

Proposed Development: SLUP for continued alcohol sales and SLUP for renovated fuel pumps. Convenience store redevelopment replaces the existing fuel pumps and convenience store building.

Concurrent Variance(s): No concurrent variances required.

RESIDENTIAL DEVELOPMENT

No. of Lots/Dwelling Units: N/A

Dwelling Unit Size (Sq. Ft.): N/A

Density: N/A

NON-RESIDENTIAL DEVELOPMENT

No. of Buildings/Lots: 3 Existing/
2 Proposed

7152 SF Existing/9202 SF Proposed
Total Building Sq. Ft.:

0.10 FAR Existing/
0.17 FAR Proposed

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Community Development
Department

LAND USE PETITION APPLICATION - REVISED JULY 15, 2020


APPLICANT'S CERTIFICATION

THE UNDERSIGNED BELOW STATES UNDER OATH THAT THEY ARE AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED IS AWARE THAT NO APPLICATION OR REAPPLICATION AFFECTING THE SAME LAND SHALL BE ACTED UPON WITHIN 24 MONTHS FROM THE DATE OF LAST ACTION BY THE MAYOR AND CITY COUNCIL.

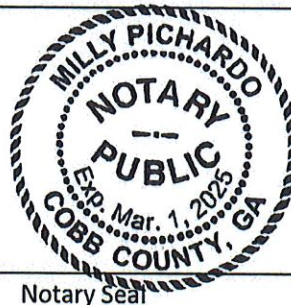

Signature of Applicant

10/15/2021
Date

Erik Houston
Type or Print Name and Title


Signature of Notary Public

10/15/2021
Date



Notary Seal

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LAND USE PETITION APPLICATION - REVISED JULY 15, 2020

SLUP-21-0008, SLUP-21-0009

PROPERTY OWNER'S CERTIFICATION

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of DeKalb County, Georgia, of the property identified below, which is the subject of the attached Land Use Petition before the City of Tucker, Georgia. As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Rezoning (RZ), Comprehensive Plan Amendment (CA), Special Land Use Permit (SLUP), Modification (M) & Concurrent Variance (CV) in request of the items indicated below.

I, SIRAS KAZANI, authorize, Blackwater Construction Group & Ingenium Enterprises, Inc.
(Property Owner) (Applicant)

to file for SLUP at 4118 LAVISTA RD, TUCKER, GA 30084
(RZ, CA, SLUP, M, CV) (Address)

on this date OCT 05, 2021
(Month) (Day)

- I understand that if a rezoning is denied or assigned a zoning classification other than the classification requested in the application, then no portion of the same property may again be considered for rezoning for a period of twenty-four (24) months from the date of the mayor and city councils' final decision.
- I understand that if an application for a special land use permit affecting all or a portion of the same property for which an application for the same special land use was denied shall not be submitted before twenty-four (24) months have passed from the date of final decision by the mayor and city council on the previous special land use permit.
- I understand that failure to supply all required information (per the relevant Applicant Checklists and requirements of the Tucker Zoning Ordinance) will result in REJECTION OF THE APPLICATION.
- I understand that preliminary approval of my design plan does not authorize final approval of my zoning or signage request. I agree to arrange additional permitting separately, after approval is obtained.
- I understand that representation associated with this application on behalf of the property owner, project coordinator, potential property owner, agent or such other representative shall be binding.

For GLOBAL IMPEX, INC.

[Signature]
AUTHORIZED SIGNATURE

Signature of Property Owner

Date

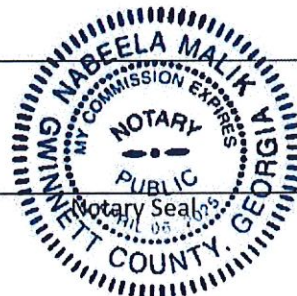
10/05/2021

SIRAS KAZANI - PRESIDENT
Type or Print Name and Title

Nabeela Malik
Signature of Notary Public

Date

10/5/21



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LAND USE PETITION APPLICATION - REVISED JULY 16, 2020

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SLUP-21-0008 SLUP-21-0009
Page 123 of 427

DISCLOSURE REPORT FORM

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.

CIRCLE ONE:

YES (if YES, complete points 1 through 4);

NO (if NO, complete only point 4)

1. CIRCLE ONE: Party to Petition (If party to petition, complete sections 2, 3 and 4 below)

In Opposition to Petition (If in opposition, proceed to sections 3 and 4 below)

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition:

1. _____	5. _____
2. _____	6. _____
3. _____	7. _____
4. _____	8. _____

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) ERIC Houston

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Signature: [Signature]

Date: 10/5/2021

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Community Development
Department

LAND USE PETITION APPLICATION - REVISED DECEMBER 9, 2020



October 12, 2021

City of Tucker Planning and Zoning
1975 Lakeside Parkway, Suite 350
Tucker, GA 30084

Re: Letter of Intent
SLUP For Fuel Pumps at 4118 Lavista Road

To Whom It May Concern,

Global Impex, Inc. owns the property at 4118 Lavista Road, Tucker, GA 30084. The site is approximately 1.0 acres and currently contains three buildings, a convenience store, a carwash, and an oil change establishment. The buildings comprise approximately 7,152 square feet. The convenience store is currently authorized to sell alcohol in the form of prepackaged beer and wine by having the necessary State and City licenses for the Year 2021. The establishment, currently branded as a "Shell" station, also operates as a gas station. There are (4) fuel pumps on site available for patron use, each having (2) fueling stations.

The owner seeks to renovate the site by tearing down the existing convenience store, canopy, and fuel pumps and replace them with all new amenities in hopes to attract new customers and serve the existing customers better. The existing oil change building will remain the same, however the renovated site will have a new 5,000 sf convenience store, a new canopy, and new fuel pumps to match the number of existing fuel pumps. The existing carwash will be removed during the project.

In order to continue selling alcoholic beverages and gas through fuel pumps, the City of Tucker Zoning Ordinances, Table 4.1 of Section 46-1124, provide that both the sale of packaged beer and wine and the operation of fuel pumps in the Northlake Overlay District are authorized only through the issuance of a Special Land Use Permit (SLUP).

The applicant is applying for a separate SLUP for each of the respective uses in order to continue selling alcoholic beverages and gas via fuel pumps once the convenience store reopens after being renovated. The applicant will still have to apply for the necessary City and State licenses every year.

Sincerely,

Erik Houston , P.E.
Senior Engineer
Ingenium Enterprises, Inc.

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ANALYSIS OF STANDARDS/CRITERIA – Fuel Pumps

ZONING MAP AMENDMENT CRITERIA

Section 46-1560 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant to the exercise of the city's zoning powers and shall govern the review of all proposed amendments to the Official Zoning Map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

No change in Zoning; N/A

COMPREHENSIVE PLAN MAP AMENDMENT CRITERIA

Section Sec. 46-1559 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant for evaluating applications for amendments to the comprehensive plan map and shall govern the review of all proposed amendments to the comprehensive plan map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

Site conforms to current comprehensive plan and will not require amendment; N/A

SPECIAL LAND USE PERMIT CRITERIA

Section 46-1594 and 46-1595 of the City of Tucker Zoning Ordinance lists specific criteria that shall be considered by the planning and zoning department, the planning commission, and the mayor and city council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the mayor and city council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and the application is in compliance with all applicable regulations in Article 4. The applicant shall write a detailed written analysis of criteria as it relates to their proposed project.

1. **Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.**

The property is approximately 1.0 acres, which is appropriate for the proposed use. One building is being removed from the property during this renovation and all setbacks, buffers, parking, drive aisle, and open space regulations set forth by the applicable zoning district will be met.

2. **Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.**

The subject site is located at the northwest corner of Lavista Road and Parklake Drive near Interstate 285, a heavily traveled area with many commercial uses all around including retail stores and drive-through restaurants. North of the property is a commercial development with various retail businesses, east of the property is a bank, south of the property is another gas station, and west of the property is a liquor store. The subject site contains an oil change establishment and a convenience store that sells gas via fuel pumps and prepackaged beer and wine. There is also an existing carwash on-site that will be removed. The site currently sell gas via fuel pumps and seeks to continue after the proposed renovations. Therefore, the existing uses as

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a gas station, convenience store, and oil change business will not change in the proposed condition and the proposed use is compatible with other uses area and nearby establishments.

3. Adequacy of public services, public facilities, and utilities to serve the proposed use.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. The current public services, public facilities, and utilities that have served the existing site for many years are adequate to serve the site in the proposed condition.

4. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. Removing the carwash will decrease the amount of traffic created by the proposed site, such that no significant increase in traffic is anticipated.

5. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.

The existing land uses located along the access routes to the site will not be adversely impacted by the character of the vehicles or the volume of traffic created by the proposed use. Personal and commercial vehicles comprise the traffic along Lavista Road and Parklake Drive. Because the proposed redevelopment will retain the same use already existing on the property, the impact to nearby existing land uses will not be adversely affected.

6. Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.

The ingress and egress to the site will not change in the proposed condition. The attached site plans show that they are adequate to access the property and provide safe and effective passageway by pedestrians and vehicles. This includes sufficient access for emergency vehicles.

7. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. Therefore, the proposed site will not create any adverse impacts upon any adjoining land use by generating noise, smoke, odor, dust, or vibration.

8. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.

The hours of operation for the proposed use, considering the existing use will not change, will not create any adverse impacts upon any adjoining land use.

9. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.

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The proposed site will retain the same use as the existing development, except for the carwash that is being removed. Therefore, the proposed site will not create any adverse impacts upon any adjoining land use by reason of the manner of operation.

10. Whether or not the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.

The proposed land uses are compatible with the uses authorized in NL-1, Northlake High Intensity Commercial District.

11. Whether or not the proposed use is consistent with the policies of the comprehensive plan.

The subject site is classified as RAC, Regional Activity Center, which prescribes a higher density mix of office, retail, housing, services, and employments to serve a regional market area. Most of the parcels in the area are also of the same classification. The proposed uses are consistent with these policies.

12. Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.

The subject site is surrounded by commercial uses such that all adjacent land uses are compatible. The proposed site remains in compliance with all required buffer zones and transitional buffer zones.

13. Whether or not there is adequate provision of refuse and service areas.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. Therefore, there is adequate provision of refuse and service areas.

14. Whether the length of time for which the special land use permit is granted should be limited in duration.

The owner intends to use the property as proposed for an extended period of time. Therefore, the length of time for which the special land use permit is granted should not be limited in duration.

15. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.

The proposed site remains in compliance with all land use regulations prescribed by NL-1, Northlake High Intensity Commercial District. Therefore, the size, scale and massing of the proposed site are appropriate with all nearby lots and buildings.

16. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.

The subject site is not located within a historic district, and there are no known historic sites or archaeological resources nearby that could be adversely impacted by the proposed use.

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17. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.

The proposed site will comply with the requirements within the supplemental regulations for the Special Land Use Permit for Fuel Pumps. Listed below, are the regulations found in the City of Tucker Code of Ordinances, Section 46-1171:

Fuel pumps as accessory uses shall comply with the following standards:

- (1) The primary building (i.e., convenience store or automobile service station) shall conform to all primary building setbacks.
- (2) Canopies covering gasoline dispensers shall be set back not less than 15 feet from all street rights-of-way.
- (3) The canopy shall not exceed the height of the principal building, but in no case shall exceed 20 feet in height.
- (4) The canopy and its columns shall be complementary to the overall color scheme and building materials scheme of the building facade to which the canopy is accessory.
- (5) Canopy lighting shall not extend beyond the area beneath the canopy and all fixtures shall be recessed, including any fixture or lens. Lighting shall project inward and downward, shall not have any spillover to adjacent properties, and shall cut off no later than 30 minutes after closure of the facility.
- (6) Automobile service stations with gas sales shall have a capacity to store one car per bay (car area in front of a pump), so as not to interfere with driveway ingress and egress traffic flow.
- (7) A minimum of 30 feet is required between a property line and the nearest gasoline pump.

18. Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.

The proposed site remains in compliance with all land use regulations prescribed by NL-1, Northlake High Intensity Commercial District. Therefore, no negative shadow impacts on any adjoining lot or building will be created.

19. Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area;

The proposed use is the same as the existing use, except for the carwash that is being removed. The site has operated as a convenience store, selling gas and prepackaged beer and wine for many years. Considering the land use will not be changing, the proposed use would not result in a disproportionate proliferation of that or similar uses in the subject character area.

20. Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.

The proposed use is the same as the existing use, except for the carwash that is being removed. The area already contains heavy development that is similar to the subject site, in the form of commercial establishment, drive-through restaurants, and other retail stores. Being near Interstate 285, the area is heavily travelled, and the products and services provided at the subject site are necessary and beneficial for the community. Therefore, the proposed uses are consistent

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SLUP-21-0008, SLUP-21-0009

with the overall objective of the City's comprehensive plan which classifies the subject site as RAC, Regional Activity Center.

CONCURRENT VARIANCE CRITERIA

Section 46-1633 of the City of Tucker Zoning Ordinance lists specific criteria the board shall use in determining whether or not to grant a variance. The applicant shall provide a written analysis of how the request complies with this criteria, if they are requesting a concurrent variance.

No concurrent variance required; N/A

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ANALYSIS OF STANDARDS/CRITERIA – Alcohol Sales

ZONING MAP AMENDMENT CRITERIA

Section 46-1560 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant to the exercise of the city's zoning powers and shall govern the review of all proposed amendments to the Official Zoning Map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

No change in Zoning; N/A

COMPREHENSIVE PLAN MAP AMENDMENT CRITERIA

Section Sec. 46-1559 of the City of Tucker Zoning Ordinance lists standards and factors that are found to be relevant for evaluating applications for amendments to the comprehensive plan map and shall govern the review of all proposed amendments to the comprehensive plan map. The applicant shall write a detailed written analysis of each standard and factor as it relates to their proposed project.

Site conforms to current comprehensive plan and will not require amendment; N/A

SPECIAL LAND USE PERMIT CRITERIA

Section 46-1594 and 46-1595 of the City of Tucker Zoning Ordinance lists specific criteria that shall be considered by the planning and zoning department, the planning commission, and the mayor and city council in evaluating and deciding any application for a special land use permit. No application for a special land use permit shall be granted by the mayor and city council unless satisfactory provisions and arrangements have been made concerning each of the following factors, all of which are applicable to each application, and the application is in compliance with all applicable regulations in Article 4. The applicant shall write a detailed written analysis of criteria as it relates to their proposed project.

1. **Adequacy of the size of the site for the use contemplated and whether or not adequate land area is available for the proposed use including provision of all required yards, open space, off-street parking, and all other applicable requirements of the zoning district in which the use is proposed to be located.**

The property is approximately 1.0 acres, which is appropriate for the proposed use. One building is being removed from the property during this renovation and all setbacks, buffers, parking, drive aisle, and open space regulations set forth by the applicable zoning district will be met.

2. **Compatibility of the proposed use with adjacent properties and land uses and with other properties and land uses in the district.**

The subject site is located at the northwest corner of Lavista Road and Parklake Drive near Interstate 285, a heavily traveled area with many commercial uses all around including retail stores and drive-through restaurants. North of the property is a commercial development with various retail businesses, east of the property is a bank, south of the property is another gas station, and west of the property is a liquor store. The subject site contains an oil change establishment and a convenience store that sells gas via fuel pumps and prepackaged beer and wine. There is also an existing carwash on-site that will be removed. The site has an active license to sell prepackaged alcoholic beverages including beer and wine and seeks to continue after the

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proposed renovations. Therefore, the existing uses as a gas station, convenience store, and oil change business will not change in the proposed condition and the proposed use is compatible with other uses area and nearby establishments.

3. Adequacy of public services, public facilities, and utilities to serve the proposed use.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. The current public services, public facilities, and utilities that have served the existing site for many years are adequate to serve the site in the proposed condition.

4. Adequacy of the public street on which the use is proposed to be located and whether or not there is sufficient traffic-carrying capacity for the use proposed so as not to unduly increase traffic and create congestion in the area.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. Removing the carwash will decrease the amount of traffic created by the proposed site, such that no significant increase in traffic is anticipated.

5. Whether or not existing land uses located along access routes to the site will be adversely affected by the character of the vehicles or the volume of traffic generated by the proposed use.

The existing land uses located along the access routes to the site will not be adversely impacted by the character of the vehicles or the volume of traffic created by the proposed use. Personal and commercial vehicles comprise the traffic along Lavista Road and Parklake Drive. Because the proposed redevelopment will retain the same use already existing on the property, the impact to nearby existing land uses will not be adversely affected.

6. Adequacy of ingress and egress to the subject property and to all proposed buildings, structures, and uses thereon, with particular reference to pedestrian and automotive safety and convenience, traffic flow and control, and access in the event of fire or other emergency.

The ingress and egress to the site will not change in the proposed condition. The attached site plans show that they are adequate to access the property and provide safe and effective passageway by pedestrians and vehicles. This includes sufficient access for emergency vehicles.

7. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of noise, smoke, odor, dust, or vibration generated by the proposed use.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. Therefore, the proposed site will not create any adverse impacts upon any adjoining land use by generating noise, smoke, odor, dust, or vibration.

8. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the hours of operation of the proposed use.

The hours of operation for the proposed use, considering the existing use will not change, will not create any adverse impacts upon any adjoining land use.

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9. Whether or not the proposed use will create adverse impacts upon any adjoining land use by reason of the manner of operation of the proposed use.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. Therefore, the proposed site will not create any adverse impacts upon any adjoining land use by reason of the manner of operation.

10. Whether or not the proposed use is otherwise consistent with the requirements of the zoning district classification in which the use is proposed to be located.

The proposed land uses are compatible with the uses authorized in NL-1, Northlake High Intensity Commercial District.

11. Whether or not the proposed use is consistent with the policies of the comprehensive plan.

The subject site is classified as RAC, Regional Activity Center, which prescribes a higher density mix of office, retail, housing, services, and employments to serve a regional market area. Most of the parcels in the area are also of the same classification. The proposed uses are consistent with these policies.

12. Whether or not the proposed use provides for all required buffer zones and transitional buffer zones where required by the regulations of the zoning district in which the use is proposed to be located.

The subject site is surrounded by commercial uses such that all adjacent land uses are compatible. The proposed site remains in compliance with all required buffer zones and transitional buffer zones.

13. Whether or not there is adequate provision of refuse and service areas.

The proposed site will retain the same use as the existing development, except for the carwash that is being removed. Therefore, there is adequate provision of refuse and service areas.

14. Whether the length of time for which the special land use permit is granted should be limited in duration.

The owner intends to use the property as proposed for an extended period of time. Therefore, the length of time for which the special land use permit is granted should not be limited in duration.

15. Whether or not the size, scale and massing of proposed buildings are appropriate in relation to the size of the subject property and in relation to the size, scale and massing of adjacent and nearby lots and buildings.

The proposed site remains in compliance with all land use regulations prescribed by NL-1, Northlake High Intensity Commercial District. Therefore, the size, scale and massing of the proposed site are appropriate with all nearby lots and buildings.

16. Whether the proposed use will adversely affect historic buildings, sites, districts, or archaeological resources.

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The subject site is not located within a historic district, and there are no known historic sites or archaeological resources nearby that could be adversely impacted by the proposed use.

17. Whether the proposed use satisfies the requirements contained within the supplemental regulations for such special land use permit.

The proposed site will comply with the requirements within the supplemental regulations for the Special Land Use Permit for Alcohol Sales. Listed below, are the regulations found in the City of Tucker Code of Ordinances, Section 46-1151:

Alcohol outlets and retail package liquor store uses shall comply with the following standards:

- a. Package stores and liquor stores, developed as a primary use in a freestanding building, must comply with city ordinances pertaining to licensing requirements for a retail package liquor store.**

Not applicable; alcohol sales are not the primary use.

- b. Alcohol outlets in the NS (Neighborhood Shopping) District may only be permitted as an accessory use with a special land use permit (SLUP).**

Not applicable; property is not in the NS District.

- c. Alcohol outlets in the MU (Mixed-Use) districts shall be limited to beer and wine sales with a special land use permit (SLUP).**

Property is within the NL-1 District, however alcohol sales are limited to beer and wine.

18. Whether or not the proposed use will create a negative shadow impact on any adjoining lot or building as a result of the proposed building height.

The proposed site remains in compliance with all land use regulations prescribed by NL-1, Northlake High Intensity Commercial District. Therefore, no negative shadow impacts on any adjoining lot or building will be created.

19. Whether the proposed use would result in a disproportionate proliferation of that or similar uses in the subject character area;

The proposed use is the same as the existing use, except for the carwash that is being removed. The site has operated as a convenience store, selling gas and prepackaged alcoholic beverages for many years. Considering the land use will not be changing, the proposed use would not result in a disproportionate proliferation of that or similar uses in the subject character area.

20. Whether the proposed use would be consistent with the needs of the neighborhood or the community as a whole, be compatible with the neighborhood, and would not be in conflict with the overall objective of the comprehensive plan.

The proposed use is the same as the existing use, except for the carwash that is being removed. The area already contains heavy development that is similar to the subject site, in the form of commercial establishment, drive-through restaurants, and other retail stores. Being near Interstate 285, the area is heavily travelled, and the products and services provided at the subject site are necessary and beneficial for the community. Therefore, the proposed uses are consistent

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with the overall objective of the City's comprehensive plan which classifies the subject site as RAC, Regional Activity Center.

CONCURRENT VARIANCE CRITERIA

Section 46-1633 of the City of Tucker Zoning Ordinance lists specific criteria the board shall use in determining whether or not to grant a variance. The applicant shall provide a written analysis of how the request complies with this criteria, if they are requesting a concurrent variance.

No concurrent variance required; N/A

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COMMENT/RESPONSE LETTER



October 15, 2021

Re: **Project:** SLUP Application for Shell Gas Station at 4118 Lavista Road
IE. Project No.: 210040
Location: 4118 Lavista Road, Tucker, GA 30084

This letter is in response to the comments received on October 13, 2021 and references our SLUP application submittal. The comments are addressed as follows:

Kylie Thomas – Planning and Zoning

1. Comment: Applicant's certification form: it appears as though the owner has signed this form. Erik, we will need you to sign this form as you are listed as the applicant

Response: New form submitted.

2. Comment: Disclosure report form-Erik, we will also need you to complete this form please

Response: New form submitted.

3. Comment: Please provide fuel canopy elevations

Response: Provided

4. Comment: Application page: for 'proposed development' please note: SLUP for alcohol sales and SLUP for fuel canopy

Response: Revised application.

5. Comment: While only one application is required, we will need you to address the criteria for each request separately. One set of criteria for the fuel pumps and one set of criteria for alcohol sales.

Response: Created two separate documents, one for alcohol sales and one for fuel pumps.

6. Comment: Building Elevations: The elevation labeled 'east'-will this be the elevation facing the Parklake Drive? Please confirm the elevations are correctly labeled. Additionally, while these elevations are acceptable for the SLUP process, staff will want to meet to discuss prior to the Planning Commission meeting.

Response: The labels on the elevations are correct. The 65' (larger) glass façade faces Parklake Drive to the East. Understood that further discussion is necessary.

7. Comment: There are several supplemental regulations for fuel pumps, I've included a link to them here:

https://library.municode.com/ga/tucker/codes/code_of_ordinances?nodeId=PTIICOOR_CH46ZO_ARTIVUSRE_DIV2SUUSRE_S46-1171FUPUAC Please address if all

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standards will be met. It may be best to include this in your letter of intent or to address each of the 7 standards individually.

Response: The supplemental plans are included in the Analysis of Standards/Criteria document under item 17. The design will comply with all regulations.

8. Comment: Site plan and application state the parcel is .98 acres and the legal description says 1.002 acres. Please confirm which is correct.

Response: The most current survey from February 2021 does not list a site area. We have revised our application, site plan, and other necessary documents to state 1.0 acres to match the recorded acreage in the Title Description from the survey done in 2006. The updated Site Plan and the existing survey has been submitted.

If you have any additional comments or questions, please let me know.

Sincerely,

Erik Houston

Team Leader

Ingenium Enterprises, Inc.

Phone: 770-437-8850 ext.107

Email: ehouston@ingeniumteam.com

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1 TITLE DESCRIPTION

The following described parcel of land lying and being in Land Lot 210 of the 18th District of DeKalb County, Georgia, more particularly described as follows:

BEGINNING at the intersection formed by the west line of said Land Lot 210 and the north line of the new right of way of LaVista Road (having a variable right of way), said right of way line being 65.5 feet north from the centerline of said road;

RUNNING THENCE along said Land Lot line north 0 degrees 21 minutes 40 seconds east a distance of 184.51 feet;

THENCE, south 88 degrees 20 minutes 44 seconds east 244.2 feet to the western side of Parklake Drive (having a variable right of way);

THENCE, southerly along the curvature of the western side of Parklake Drive, said curve having an arc distance of 157.24 feet, said curve having a radius of 785.34 feet and a chord distance of 156.98 feet and a bearing of south 05 degrees 26 minutes 53 seconds to a point;

THENCE, along said right-of-way line south 39 degrees 09 minutes 12 seconds West, 35.06 feet to a point;

THENCE, along the northerly right of way line of LaVista Road, north 88 degrees 20 minutes 48 seconds west a distance of 208.50 feet to the POINT OF BEGINNING;

Said tract containing 43,673 square feet or 1.002 acres.

4 SURVEYOR CERTIFICATION

The survey shall be prepared by a surveyor licensed by the State in which the Property is located, and shall contain the following certification:

This survey is made for the benefit of: Wachovia Bank, National Association, its successors and assigns, Mayer, Brown, Rowe & Maw, LLP, Motiva Enterprises LLC, a Delaware limited liability company, Stewart Title Guaranty Company, Sam's Real Estate Holdings-Georgia, LLC, I. Kenneth L. Nutt, a Registered Land Surveyor in the State of Georgia, do hereby certify to the aforesaid parties, their successors and assigns, as of the date set forth above, that I have made a careful survey of a tract of land (the "Premises") as described herein:

1. The survey reflected by this plat was actually made upon the ground, that this plat of survey is made at least in accordance with the minimum standards established by the State of Georgia for surveys and with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and ACSM in 2005 and includes items (except for states that require record monument planting), 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a) (except above ground visible evidence), 13, 14, and 16 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Georgia, the Relative Positional Accuracy of this survey does not exceed that which is specified therein.

2. The survey correctly shows the location of all visible buildings, structures and other visible improvements situated on the Premises.

3. All visible utilities on the Premises are as shown; that except as shown, there are no visible easements or rights of way across said Premises; that the property described herein is the same as the property described in Stewart Title Guaranty Title Company, Commitment No. 1087.418(36)(9)(R)(4) with an effective date of October 16, 2006 at 5:00 pm and that all easements, covenants and restrictions referenced in said title commitment, or easements which the undersigned has been advised or has knowledge, have been plotted hereon or otherwise noted as to their effect on the subject property;

4. There are no visible encroachments onto adjoining premises, streets or alleys by any buildings, structures or other improvements, no visible encroachments onto said Premises by buildings, structures or other improvements situated on adjoining premises;

5. Said described property is located within an area having a Zone Designation "X" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 05071H, with a date of identification of 05/07/01, for Community Number 130055C, in DeKalb County, State of Georgia, which is the current Flood Insurance Rate Map for the community in which said Premises is situated;

6. The property has direct physical access to Parklake Drive (R/W Varies) & Lavista Road (SR 236) (R/W Varies), a public street or highway;

7. The number of striped parking spaces located on the subject property is 9, and to the extent possible, are graphically shown hereon; and

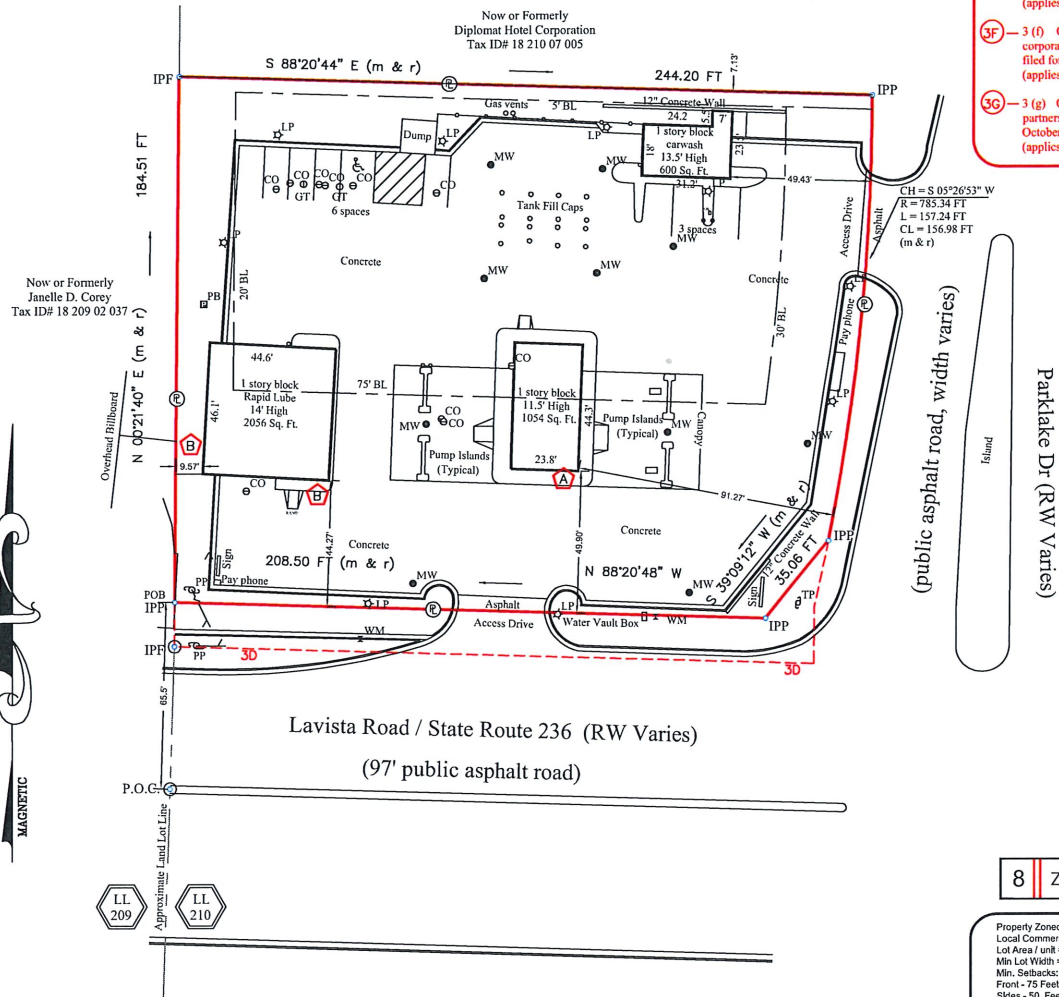
8. All set back, side yard and rear yard lines shown on the recorded plat or set forth in the applicable zoning ordinance are shown on the survey.

Reg. Land Surveyor No.

2 TITLE INFORMATION

The Title Description and Schedule B Items hereon are from Stewart Title Guaranty Company, commitment No. 1087.418 (36) (O)(R)(4), Dated October 16, 2006.

19 SURVEY DRAWING



7 POSSIBLE ENCROACHMENTS

- A — Store appears to encroach on 75' front setback by up to 25.04'
- B — Rapid Lube appears to encroach on 75' front setback by up to 29.87' and the 20' side setback by up to 20'.

11 SURVEYOR'S NOTES

- All statements within the certification, and other references located elsewhere hereon, related to utilities, improvements, structures, buildings, party walls, easements, servitudes, and encroachments; are based solely on above ground, visible evidence, unless another source of information is specifically referenced hereon.
- Property has physical access to LaVista Road (S.R. 236) and Parklake Drive.
- There is no evidence of earth moving work, building construction or building additions within recent months.
- There is no evidence of site use as a solid waste dump, sump or sanitary landfill.

By graphic plotting only, this property is in Zone "X" of the flood insurance rate map, community panel No. 130055C00057H, which bears an effective date of 05/07/01, and is not in a special flood hazard area. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for variance from the federal emergency management agency.

Zone "X" denotes areas outside of the 500 Year Flood Plain.

3 SCHEDULE 'B' ITEMS

- 3 (d) Right-of-way Deed from Texaco Refining and Marketing Inc., to the Department of Transportation, dated August 10, 1987, filed for record August 14, 1987 at 8:29 a.m., recorded in Deed Book 5917, Page 245, records of DeKalb County, Georgia. (does not affect property, has been incorporated into the current right of way.) INTENTIONALLY DELETED
- 3 (e) Conveyance of Access Rights by and between the Department of Transportation, State of Georgia, and Texaco Refining and Marketing Inc., dated August 10, 1987, filed for record August 14, 1987 at 8:29 a.m., recorded in Deed Book 5917, Page 248, aforesaid Records. (applies and affects, right to create access driveway, location not described, not of a plottable nature)
- 3 (f) Oil, gas and other minerals reserved in Limited Warranty Deed by Texaco Refining and Marketing Inc., a Delaware corporation, to Star Enterprise, a New York general partnership, dated June 20, 1989, effective as of December 31, 1988, filed for record November 27, 1989, at 8:30 a.m., recorded in Deed Book 6579, Page 252, aforesaid Records. (applies and affects, blanket encumbrance not of a plottable nature.)
- 3 (g) Oil, gas and other mineral rights reserved in Special Warranty Deed by Star Enterprise, a New York general partnership, to Motiva Enterprises LLC, a Delaware limited liability company, dated October 1, 1998, filed for record October 23, 1998 at 2:45 p.m., recorded in Deed Book 10262, Page 101, aforesaid Records. (applies and affects, blanket encumbrance not of a plottable nature.)

12 PARKING INFORMATION

8 regular spaces
1 handicap space

14 BUILDING AREA

Bldg. = 1,054 sq.ft.
Carwash = 600 sq.ft.
Rapid Lube = 2056 sq.ft.

15 BUILDING HEIGHT

Bldg. = 11.0'
Carwash = 13.5'
Rapid Lube = 14'

13 LAND AREA

43,673 sq.ft.
1.002 Acres

8 ZONING INFORMATION

Property Zoned = C-1
Local Commercial District
Lot Area / unit = 20,000 Sq. Ft.
Min Lot Width = 100 Feet
Min. Setbacks:
Front - 75 Feet
Sides - 50 Feet
Rear - 5 Feet
Building Height = 2 Stories/35 Feet
Max. Lot Coverage = 80%
Other than listed, no bulk restrictions exist.
*per approved variance dated 10/14/87
Parking Requirements:
Express Lube = 3 spaces per bay, min. 10 spaces
Food Store = 5.5 spaces per 1,000 sq. ft.
Source: DeKalb County Code of Ordinances
www.municode.com

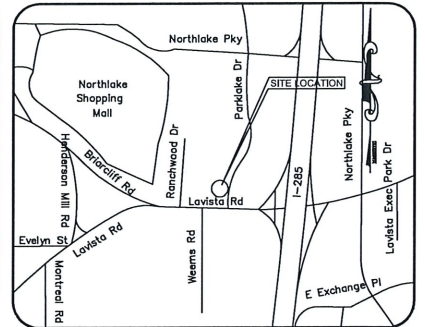
17 SCALE

30 15 0 30 60
SCALE: 1" = 30'

Abbreviation Legend

CC	Calculated Corner
CH	Chord Bearing
CL	Chord Length
GT	Grease Trap
MT	Measured Call
PL	Record Call
R	Property Line
R/W	Right of Way
SSE	Sanitary Sewer Easement
MON	R/W Monument
IPP	Iron Pin Found
OTF	Open Top Pin Found
CTP	Crimp Top Pin Found
B/C	Back of Curb
EP	Edge of Pavement
NF	Nail Found
POB	Point of Beginning
POC	Point of Commencement

16 VICINITY MAP



Location Map
NTS

6 CEMETERY

At the time of survey, there was no observed evidence of the site being used as a cemetery, either present or past.

10 BASIS OF BEARING

Basis of Bearing is the title description of the northerly property line, bearing of south 88 degrees 20 minutes 44 seconds east.

ALTA/ACSM Land Title Survey

18 CLIENT INFORMATION BOX

Outland sticker here

This Work Coordinated By:

INTERNATIONAL



LAND SERVICES, INC.

621 24th Avenue S.W.
Norman, Oklahoma 73069
(405) 701-9352 www.ils-alla.com

Drawn By: RPK

Surveyor
Ref.No: 057805

Aprvd By:

Field Date:
01/20/06

Scale: 1" = 30'

Date: 11-29-06

Revision: Client Comments

Date: 12-05-06

Revision: Client Comments

Date: 12-13-06

Revision: Client Comments

Date:

Revision:

Prepared For:

Client Ref. No: 100456

Project Address:
4118 LAVISTA ROAD

Project Location:
Tucker, GEORGIA

Project Name:
SHELL CENTRAL

Job Number:
05-12-008.125

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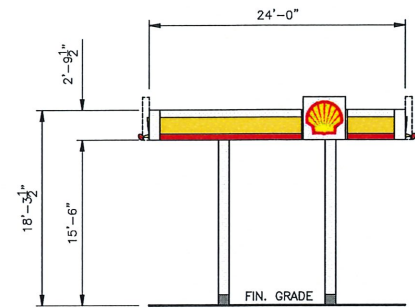
Surveyor Title Block

Perimeter Surveying & Development Co.
1085 Sandtown Road, SW
Marietta, GA 30008

Phone:
770.425.8824

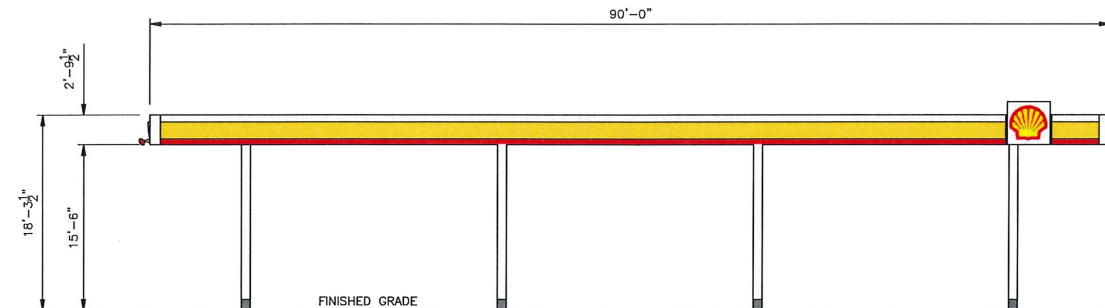
Fax:
770.425.8788





SOUTH ELEVATION

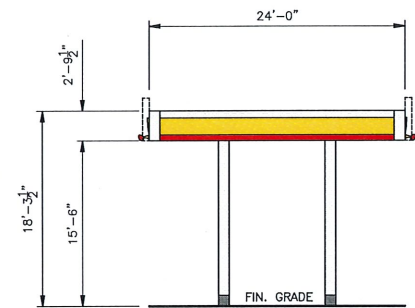
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WEST ELEVATION

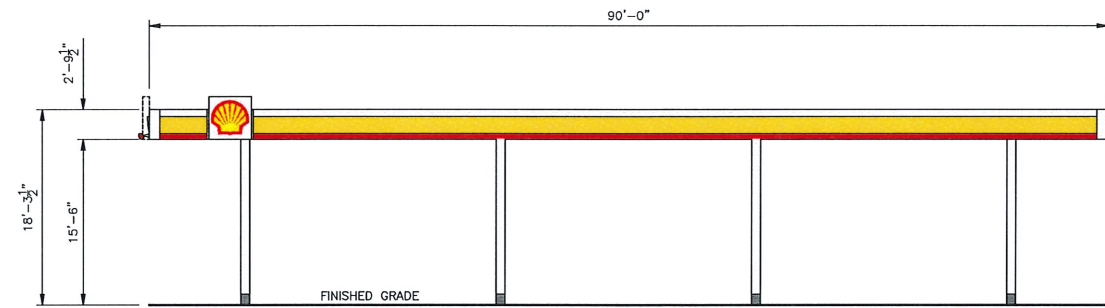
SCALE: $\frac{1}{8} = 1'-0$

NOTE: COLORS AND MATERIALS SHALL MATCH BUILDING.



NORTH ELEVATION

SCALE: $\frac{1}{8} = 1'-0$



EAST ELEVATION

SCALE: $\frac{1}{8} = 1'-0$

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NO.	DATE:	BY:	MANUFACTURER: BLACKWATER CONSTRUCTION 2180 SATELLITE BLVD., SUITE 400, DULUTH, GA 30097 PHONE: (404) 964-3569	
1	.	.	CUSTOMER:	
2	.	.	SCALE: NOTED	DRAWING:
3	.	.	DATE:	APPROVED BY:
			LOCATION:	REVISED:
			4118 LAVISTA RD TUCKER, GA	
			PROPOSED CANOPY ELEVATIONS	DRAWING NO:
			DATE: 10/15/2021	

ENVIRONMENTAL SITE ANALYSIS FORM

Analyze the impact of the proposed rezoning and provide a written point-by-point response to Points 1 through 3:

1. **CONFORMANCE WITH THE COMPREHENSIVE PLAN.** Describe the proposed project and the existing environmental conditions on the site. Describe adjacent properties. Include a site plan that depicts the proposed project.

The current site is a self-service gas station with driveways on Lavista Road and Parklake Drive. There are three buildings on the property. The oil change building will not be modified in any way, however, the carwash will be removed and the convenience store will be replaced with a new 5,000 sf building. The area is well developed, with many other businesses adjacent to the site. There is another gas station to the south, a bank to the east, a liquor store to the west and a retail center to the north with multiple uses.

Describe how the project conforms to the Comprehensive Land Use Plan. Include the portion of the Comprehensive Plan Land Use Map which supports the project's conformity to the Plan. Evaluate the proposed project with respect to the land use suggestion of the Comprehensive Plan as well as any pertinent Plan policies.

This property is shown in dark red which indicates the Regional Activity Center classification. The Comprehensive Plan states that "Regional activity centers typically include a higher-density mix of retail, office, housing, and services, and employment to serve a regional market area. Because it is readily accessible from the highway and is already more developed, future development here is considered both desirable and appropriate." The convenience store offers goods and services to the regional market by way of its proximity to Interstate 285 just as mentioned in this excerpt. Therefore, this project to renovate the convenience store to create a better experience for its patrons conforms with the Comprehensive Land Use Plan.

2. **ENVIRONMENTAL IMPACTS OF THE PROPOSED PROJECT.** For each environmental site feature listed below, indicate the presence or absence of that feature on the property. Describe how the proposed project may encroach or adversely affect an environmental site feature. Information on environmental site features may be obtained from the indicated source(s).

- a. **Wetlands**

None, per U.S. Fish and Wildlife Services National Wetlands Inventory online map

- b. **Floodplain**

Zone X - Area of Minimal Flood Hazard, per Panel 13089C0057K, dated 08/15/2019

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- c. **Streams/stream buffers**
None
- d. **Slopes exceeding 25 percent over a 10-foot rise in elevation**
None
- e. **Vegetation**
See Survey
- f. **Wildlife Species (including fish)**
None
- g. **Archeological/Historical Sites**
None

PROJECT IMPLEMENTATION MEASURES. Describe how the project implements each of the measures listed below as applicable. Indicate specific implementation measures required to protect environmental site feature(s) that may be impacted.

- h. **Protection of environmentally sensitive areas, i.e., floodplain, slopes exceeding 25 percent, river corridors.**
None present on site; N/A.
- i. **Protection of water quality**
Development will adhere to water quality regulations. Final standards and implementation will be coordinated with City of Tucker.
- j. **Minimization of negative impacts on existing infrastructure**
No impacts to the existing infrastructure are anticipated.
- k. **Minimization on archeological/historically significant areas**
None present on site.
- l. **Minimization of negative impacts on environmentally stressed communities where environmentally stressed communities are defined as communities exposed to a minimum of two environmentally adverse conditions resulting from public and private municipal (e.g., solid waste and wastewater treatment facilities, utilities, airports, and railroads) and industrial (e.g., landfills, quarries and manufacturing facilities) uses.**
None; N/A.

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m. Creation and preservation of green space and open space

Development will adhere to open space regulations. See site plans.

n. Protection of citizens from the negative impacts of noise and lighting

The existing commercial use will not change for the proposed condition and will not have negative impacts from noise or lighting to the surrounding citizens.

o. Protection of parks and recreational green space

No existing parks on or near site; N/A.

p. Minimization of impacts to wildlife habitats

No sensitive wildlife on site; N/A.

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October 12, 2021

City of Tucker Planning and Zoning
1975 Lakeside Parkway, Suite 350
Tucker, GA 30084

Re: Trip Generation Summary Letter
SLUP for Fuel Pumps and Alcohol Sales at 4118 Lavista Road

To whom it may concern,

This letter serves to summarize the trip generation results included in the SLUP application for fuel pumps and alcohol sales at 4118 Lavista Road in Tucker, GA. The existing site contains a "Shell" gas station, an oil change facility, and a self-service carwash. The applicant is proposing tearing down the existing fuel canopy, fuel pumps, and convenience store and replacing them with all new facilities. The existing oil change facility is to remain as is, but the carwash will be removed.

Trip generation for the existing and proposed uses has been estimated based on the information contained in ITE's Trip Generation Manual, 11th Edition. The estimated total trips generated during the AM Peak and PM Peak hours for the existing and proposed conditions are listed below.

- Existing – AM Peak Total Trips – 47
- Existing – PM Peak Total Trips – 43
- Proposed – AM Peak Total Trips – 39
- Proposed – PM Peak Total Trips – 35

The number of fueling stations remains the same from the existing condition to the proposed condition. Therefore, the number of trips generated does not change for that use. The overall number of trips generated decreases between the existing and proposed conditions due to the removal of the carwash in the proposed condition. For further information, the complete results of the estimated trips generated are attached to this letter. The tables included in the attachment contain the trips generated per use as well as the criteria used to calculate the number of trips generated.

Sincerely,

Erik Houston
Project Manager
Ingenium Enterprises, Inc.

Cc: File

Attachment: Trip Generation Results

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Ingenium Enterprises, Inc.  Planning and Engineering
221 Roswell Street, Suite 100 | Alpharetta, GA 30009 | 770.437.8850 | www.ingeniumteam.com

PROJECT DETAILS									
Project Name:	210040 - 4118 LaVista Road	Type of Project:							
Project No:		City:							
Country:		Built-up Area(Sq.ft):							
Analyst Name:	James Neff	Clients Name:							
Date:	5/9/2021	ZIP/Postal Code:							
State/Province:		No. of Scenarios:	4						
Analysis Region:									

SCENARIO SUMMARY									
Scenarios	Name	No. of Land Uses	Phases of Development	No. of Years to Project Traffic	User Group	Estimated New Vehicle Trips			Total
Scenario - 1	PM Peak - Existing	3	1	0		21	22		43
Scenario - 2	AM Peak - Existing	3	1	0		23	24		47
Scenario - 3	AM Peak - Proposed	2	1	0		19	20		39
Scenario - 4	PM Peak - Proposed	2	1	0		17	18		35

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SLUP-21-0008, SLUP-21-0009

Scenario - 1

Scenario Name: PM Peak - Existing

User Group:

Dev. phase: 1

No. of Years to Project 0

Analyst Note:

Warning:

VEHICLE TRIPS BEFORE REDUCTION

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry Split%	Exit Split%	Total
941 - Quick Lubrication Vehicle Shop	General				Rate/Equation			
Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban	1000 Sq. Ft. GFA	2	Weekday, PM Peak Hour of Generator	Average 9.42	9	10	19
945 - Gasoline/Service Station With Convenience	General							
Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban	Vehicle Fueling Positions	8	Weekday, PM Peak Hour of Generator	Average 15.87	63	63	126
947 - Self-Service Car Wash	General							
Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban	Wash Stalls	1	Weekday, PM Peak Hour of Generator	Average 8.00	4	4	8
						50%	50%	

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Generated By OTISS Pro v2.1

Scenario - 2

Scenario Name: AM Peak - Existing

Dev. phase: 1

Analyst Note:

User Group:

No. of Years to Project 0

Traffic:

Warning:

VEHICLE TRIPS BEFORE REDUCTION

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry Split%	Exit Split%	Total
941 - Quick Lubrication Vehicle Shop	General			Weekday, AM Peak Hour	Rate/Equation			
Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban	1000 Sq. Ft. GFA	2	Weekday, AM Peak Hour of Generator	Average	10	10	20
945 - Gasoline/Service Station With Convenience	General	Vehicle Fueling Positions	8	Weekday, AM Peak Hour of Generator	Average	56	54	110
Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban				13.66	51%	49%	
947 - Self-Service Car Wash	General	Wash Stalls	1	Weekday, AM Peak Hour of Generator	Average	4	4	8
Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban				8.00	50%	50%	

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SLUP-21-0008, SLUP-21-0009

Scenario - 3

Scenario Name: AM Peak - Proposed

Dev. phase: 1

Analyst Note:

User Group:

No. of Years to Project 0

Traffic :

Warning:

VEHICLE TRIPS BEFORE REDUCTION

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry Split%	Exit Split%	Total
945 - Gasoline/Service Station With Convenience Data Source: Trip Generation Manual, 10th Ed	General	Vehicle Fueling Positions	8	Weekday, AM Peak Hour of Generator	Rate/Equation Average 13.66	56	54	110
941 - Quick Lubrication Vehicle Shop Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban	1000 Sq. Ft. GFA	2	Weekday, AM Peak Hour of Generator	Average 10.14	51% 10	49% 10	20

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Generated By OTISS Pro v2.1

Scenario - 4

Scenario Name: PM Peak - Proposed

Dev. phase: 1

Analyst Note:

User Group:

No. of Years to Project 0

Traffic:

Warning:

VEHICLE TRIPS BEFORE REDUCTION

Land Use & Data Source	Location	IV	Size	Time Period	Method	Entry	Exit	Total
945 - Gasoline/Service Station With Convenience	General	Vehicle Fueling Positions	8	Weekday, PM Peak Hour	Average	63	63	126
Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban			of Generator	15.87	50%	50%	
941 - Quick Lubrication Vehicle Shop	General	1000 Sq. Ft. GFA	2	Weekday, PM Peak Hour	Average	9	10	19
Data Source: Trip Generation Manual, 10th Ed	Urban/Suburban			of Generator	9.42	46%	54%	

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City of Tucker

Public Participation Plan Report Project Name:

Contact Name: Erik Houston

Meeting Date: Thursday, October 7, 2021

Meeting Location: Virtual (Microsoft Teams)

Meeting Start Time: 2:00pm

Meeting End Time: 2:30pm

Number of people in attendance: 7

Attendees:

1. Erik Houston – Ingenium Enterprises, Inc.
2. Ryan Henderson – Ingenium Enterprises, Inc.
3. Siraj Kazani – Global Impex (Owner Representative)
4. Mary Still – Community Member
5. Joe Kilpatrick – Community Member
6. Kylie Thomas – City of Tucker Planning and Zoning
7. Jessica Echols – City of Tucker

Date of Filing of Land Use Petition Application: October 12, 2021

General Introduction: Mr. Houston began the meeting by giving a summary of the project. He discussed the existing conditions and what is being proposed. He addressed the reason the meeting is being held and explained some of the SLUP process.

Summary of concerns and issues raised at the meeting:

1. Mr. Kilpatrick requested clarification on the existing buildings.

Applicant Response: The building on the west is the oil change facility that will be remaining in place, as is. The carwash, located on the northside will be completely removed.

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2. Mr. Kilpatrick requested clarification on the features shown on the site plan.

Applicant Response: The thick red outline is the fuel pump canopy in the center. The number of pumps will not change at (8) fueling stations. The building to the east is the brand new convenience store.

3. Mr. Kilpatrick was concerned requested clarification that there is currently an active alcohol license.

Applicant Response: Mr. Kazani, the owner's representative responded that there is a currently active alcohol license to sell beer and wine.

4. Ms. Still requested clarification on which SLUP's are being applied for.

Applicant Response: SLUP's for continuing alcohol sales and fuel pump service are being applied for.

5. Mr. Kilpatrick raised a concern for structural adequacy of the fuel canopy in windstorms.

Applicant Response: The fuel canopy requires a separate building permit and the structural engineer will need to provide plans/calculations that show its compliance with all necessary design regulations.

6. Mr. Kilpatrick asked if there are any issues with the rainwater draining off the canopy

Applicant Response: No issues are anticipated. Construction drawings have not been finalized at this phase in the project. All options will be considered for how the water reaches the proposed piping at the northeast corner of the site. This will be either through surface discharge or through underground pipe system. There is no current stormwater pipe system.

7. Mr. Kilpatrick asked about the existing neighbors to the north and the fence between the two properties. He asked who maintains the landscaping in that area.

Applicant Response: The neighbor to the north is a commercial building with multiple uses. The fence is on the neighbor's property and will remain, but there will be a small retaining wall built on the project site to handle grade changes. Some of the trees and other existing landscaping will be removed, but there will be a landscape plan to provide adequate screening.

The following must be submitted at time of application submittal:

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o Copy of the letter that was mailed to neighbors

OCT 18 2021

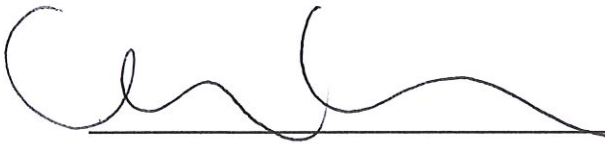
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Department

- Copy of address list for mailing
- Meeting sign-in sheet (Included in this report)
- Meeting minutes (Included in this report)
- Copy of the plan that was presented at the neighborhood meeting

I, the undersigned, as the applicant or an authorized representative of the applicant do solemnly swear and attest that the information provided is true and accurate. I have included a complete record of the neighborhood meeting, as well as an honest response regarding the intentions for development.

 10/11/2021
Signature of Applicant or Authorized Representative Date

Erik Houston 10/12/2021
Type or Print Name of Applicant or Authorized Representative Date

 10/11/2021
Signature of Notary Date



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SLUP-21-0008, SLUP-21-0009



September 23, 2021

Re: Special Land Use Permit Public Participation Meeting
Shell Gas Station
4118 Lavista Road
Tucker, GA 30084

Dear neighbors of 4118 Lavista Road,

Blackwater Construction is working with Ingenium Enterprises, Inc. to redevelop the property at 4118 Lavista Road. The site is located at the corner of Lavista Road and Parklake Drive near Northlake Mall, and currently has a Shell Gas Station, Castrol Premium Lube Express, and hand carwash facility. Blackwater Construction is proposing renovations to the property which include updating the Shell Station with a new fuel canopy and convenience store and removing the existing carwash. The Castrol building will remain. The newly developed site will offer a much-needed upgrade in appearance and function, providing the community with new amenities and enhanced appeal.

In order to install the new fuel canopy and allow the new convenience store to sell alcohol, the city requires a Special Land Use Permit. The first step applying for a SLUP is to hold a Public Participation meeting to present the proposal and receive feedback from the community. You are receiving this letter because you own property within 500' of the project site. We hope you are able to meet with us via Microsoft Teams at the following time:

Meeting Date/Time: October 7, 2021 at 2:00pm

Meeting Location: Microsoft Teams (Virtual)

<https://bit.ly/3u1O6t7>

Or via call-in: +1 813-397-8147; Phone Conference ID: 829287655#

We have included a site plan of the current proposal in which we look forward to discussing with you on October 7, 2021. This will be a great opportunity to provide questions/concerns/comments about the projects, but if you are unable to attend or wish to reach out beforehand, Ingenium can be reached at ehouston@ingeniumteam.com or 770-437-8850.

A flyer outlining the land use petition process in the City of Tucker is also included. Questions relating to city matters can be addressed to info@tuckerga.gov.

Best Regards,
Ingenium Enterprises, Inc.

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Ingenium Enterprises, Inc.  Planning and Engineering
221 Roswell Street, Suite 100 | Alpharetta, GA 30009 | 770.437.8850 | www.ingeniumteam.com

Page 152 of 427

SLUP-21-0008, SLUP-21-0009



Certificate of Mailing — Firm

Name and Address of Sender

BLACKWATER CONSTRUCTION
2180 SATELLITE BLVD
SUITE 400
DULUTH, GA 30097

TOTAL NO.
of Pieces Listed by Sender

27

TOTAL NO.
of Pieces Received at Post Office™

27

Postmaster, per (name of receiving employee)

J Blackwell

Affix Stamp Here
Postmark with Date of Receipt.



0000

U.S. POSTAGE PAID
CUMMING, GA
30040
SEP 23, 21
AMOUNT

\$12.69
R2305M148538-11

USPS® Tracking Number

Firm-specific Identifier

Address

(Name, Street, City, State, and ZIP Code™)

Postage

Fee

Special Handling

Parcel Airtel

1.

3983 4073 LAVISTA ROAD HOLDINGS LLC
900 19TH ST 8TH FLOOR
WASHINGTON, DC 20006

2.

PRITI ENTERPRISE INC
2155 RANCHWOOD DR NE
ATLANTA, GA 30345

3.

COREY JANELLE D
225 COREY CTR SE
ATLANTA, GA 30312

4.

FRONT ROW CENTER PROPERTIES LLC
17179 STRAWBERRY DR
ENCINO, CA 91436

5.

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DCT 18 2021
TRANSFIGURE REAL ESTATE HOLD
1875 GRAMERCY CT
DUNWOODY, GA 30338

6.

Community Development
Department
2 BARAKA LLC
1500 MARKET BLVD
ROSWELL, GA30076
SLUP-21-0008, SLUP-21-0009



Certificate of Mailing — Firm

Name and Address of Sender BLACKWATER CONSTRUCTION 2180 SATELLITE BLVD SUITE 400 DULUTH, GA 30097		TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here <i>Postmark with Date of Receipt.</i>			
USPS® Tracking Number Firm-specific Identifier		Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airtiff
1.		LAVISTA OIL 957 LLC 8924 E PINNACLE PEAK RD STE G-5-554 SCOTSDALE, AZ 85255					
2.		QUANTUM STAR LLC 2100 PARKLAKE DR D2 ATLANTA, GA 30345					
3.		2 BARAKA LLC 1500 MARKET BLVD ROSWELL, GA 30076					
4.		LEGACY LAVISTA LLC 3756 LAVISTA RD STE 200 TUCKER, GA 30084					
5.		RECEIVED City of Tucker OCT 18 2021					
6.		Community Development Department SLUP-21-0008, SLUP-21-0009					



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Name and Address of Sender BLACKWATER CONSTRUCTION 2180 SATELLITE BLVD SUITE 400 DULUTH, GA 30097		TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.		
Postmaster, per (name of receiving employee)						
USPS® Tracking Number	Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airift
Firm-specific Identifier						
1.	GLOBAL IMPEX INC 2055 N BROWN RD STE 235 LAWRENCEVILLE, GA 30043					
2.	ISAKSON E ANDREW BARNHART DAVID L 3350 RIVERWOOD PKWY SE # 1550 ATLANTA, GA 30339					
3.	COX BROADCASTING INC 5200 BUFFINGTON RD ATLANTA, GA 30349					
4.	FIRST NATIONAL BANK OF ATLANTA GA TAX DEPT PO BOX 2609 CARLSBAD CA 92018					
5.	RECEIVED City of Tucker C S T REAL ESTATE HOLDING CO 101 N TRYON ST CHARLOTTE, NC 28255					
6.	Community Development Department COREY JANELLE D 225 COREY CTR SE # 1 ATLANTA, GA 30312					
SLUP-21-0008, SLUP-21-0009						



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Name and Address of Sender BLACKWATER CONSTRUCTION 2180 SATELLITE BLVD SUITE 400 DULUTH, GA 30097		TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.			
USPS® Tracking Number Firm-specific Identifier		Address (Name, Street, City, State, and ZIP Code™)		Postage	Fee	Special Handling	Parcel Airift
1.		CHICK FIL A INC 5200 BUFFINGTON RD ATLANTA, GA 30349					
2.		WM G HENDERSON FAMILY CEMETERY 4145 LAVISTA RD TUCKER, GA 30084					
3.		3983 4073 LAVISTA ROAD HOLDINGS LLC 900 19TH ST FLOOR 8TH WASHINGTON, DC 20006					
4.		KROGER CO 1014 VINE ST DEPT 7TH FLOOR CINCINNATI, OH 45202					
5.	RECEIVED City of Tucker OCT 18 2021	BEL NORTHLAKE LLC 2 INTERNATIONAL PL BOSTON, MA 2110					
6.	Community Development Department SLUP-21-0008, SLUP-21-0009	ATLANTA GSA CIS LLC P.O. BOX 13470 RICHMOND, VA 23235					



Certificate of Mailing — Firm

Name and Address of Sender BLACKWATER CONSTRUCTION 2180 SATELLITE BLVD SUITE 400 DULUTH, GA 30097		TOTAL NO. of Pieces Listed by Sender	TOTAL NO. of Pieces Received at Post Office™	Affix Stamp Here Postmark with Date of Receipt.		
USPS® Tracking Number Firm-specific Identifier		Postmaster, per (name of receiving employee)				
1.	2 BARAKA LLC 1500 MARKET BLVD ROSWELL, GA 30076	Postage	Fee	Special Handling	Parcel Airftt	
2.	NORTHLAKE SQUARE LLC 750 HAMMOND DR BLDG 10-25 ATLANTA, GA 30328					
3.	LAVISTA OIL 957 LLC 8924 E PINNACLE PEAK RD STE G-5-554 SCOTTSDALE, AZ 85255					
4.						
5.	RECEIVED City of Tucker GCT 18 7071					
6.	Community Development Department SLUP-21-0008, SLUP-21-0009					

Instructions for Certificate of Mailing — Firm

This service provides evidence that the mailer has presented individual items to the Postal Service™ for mailing, and is available for the following products:

- Domestic services: First-Class Mail®, First-Class Package Service®, Priority Mail®, Media Mail®, Library Mail, Bound Printed Matter, Merchandise Return Service, Parcel Return Service, and USPS Retail Ground™.
- International services: First-Class Mail International® (unregistered items), First-Class Package International Service® (unregistered items), Free Matter for the Blind, and Airmail M-bags®.

The following instructions are for the preparation and use of PS Form 3665, *Certificate of Mailing — Firm* (including USPS-approved facsimiles):

1. Complete and print all forms in ink or ball point pen.
2. Enter the name and address of the sender at the top of the form.
3. Enter a complete return address on each article.
4. Ensure the articles are properly packaged.
5. In the appropriate column, enter the applicable postage and fees.
6. Insert a firm-specific identifier or account number if desired. (This number is for the sender's use only, and the Postal Service will not use it for identification.)
7. When describing and listing three or more individual pieces but not presenting the pieces in the order shown on the sheet, consecutively number each entry line on the sheet and number each piece to show both the corresponding sheet and line number.
8. Enter the total number of articles in the proper space at the top of the form.
9. Obliterate all unused portions of the "Address" column by drawing a diagonal line through the unused portion on the form.
10. When the number of articles presented exceeds the allotted space on the form, use multiple sheets, and in the provided blank spaces in the lower left of the form, number them consecutively to show sheet number and total number of sheets (such as "Page 1 of 4," "Page 2 of 4," etc.).

11. Present PS Form 3665 and the mailing as follows:

- When the mailing has fewer than 50 mailpieces *and* less than 50 pounds, present the form and mailing at a retail Post Office™ location.
- When the mailing has at least 50 mailpieces *or* at least 50 pounds, present the form and mailing at a business mail entry unit (BMEU) or USPS-authorized detached mail unit (DMU).

Privately Printed Forms: The Postal Service allows mailers to use USPS-approved privately printed or computer-generated firm sheets that are nearly identical in design elements and color to the USPS-provided PS Form 3665. See DMM 503 for details on the approval process.

The mailer must retain the original written approval granted by the Postal Service as evidence that the privately printed facsimile of PS Form 3665 has been approved by the Postal Service. The Postal Service does not retain records on the facsimile approvals. A mailer using privately prepared forms must periodically verify them against the USPS-provided version and, if necessary, make routine updates and obtain approval of the updated facsimile form.

A mailer using an approved privately printed form and wanting the form sheets postmarked by the Postal Service must present the forms with the articles to be mailed at a Post Office facility. The forms become the mailer's only receipt (the Postal service does not retain a copy).

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OCT 18 2021

SLUP-21-00008, SLUP-21-00009

1

TITLE DESCRIPTION

The following described parcel of land lying and being in Land Lot 210 of the 18th District of DeKalb County, Georgia, more particularly described as follows:

BEGINNING at the intersection formed by the west line of said Land Lot 210 and the north line of the new right of way of LaVista Road (having a variable right of way), said right of way line being 65.5 feet north from the centerline of said road;

RUNNING THENCE along said Land Lot line north 0 degrees 21 minutes 40 seconds east a distance of 184.51 feet;

THENCE, south 88 degrees 20 minutes 44 seconds east 244.2 feet to the western side of Parklake Drive (having a variable right of way);

THENCE, southerly along the curvature of the western side of Parklake Drive, said curve having an arc distance of 157.24 feet, said curve having a radius of 785.34 feet and a chord distance of 156.98 feet and a bearing of south 05 degrees 26 minutes 53 seconds to a point;

THENCE, along said right-of-way line south 39 degrees 09 minutes 12 seconds West, 35.06 feet to a point;

THENCE, along the northerly right of way line of LaVista Road, north 88 degrees 20 minutes 48 seconds west a distance of 208.50 feet to the POINT OF BEGINNING;

Said tract containing 43,673 square feet or 1.002 acres.

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SLUP-21-0008, SLUP-21-0009

Topography and Existing Building Info

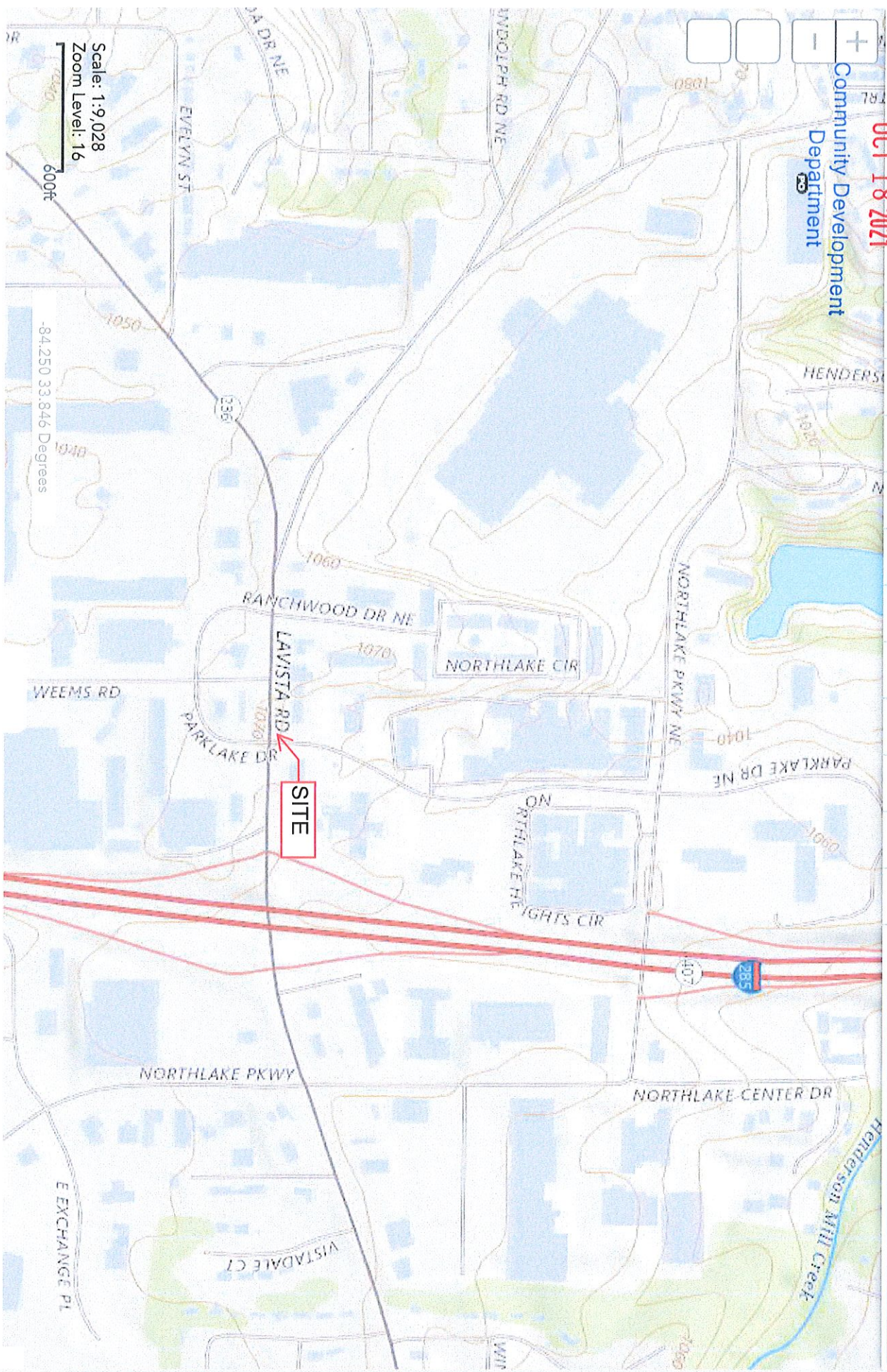
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City of Tucker
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Find address or place



GLOBAL IMPEX, INC

Exporters of Paper, Pulp & Scrap

3473 Satellite Blvd, Suite 355N,

Duluth, GA 30096, U.S.A.

PH: 678-584 5345 Extn: 101 FAX: 678-584 5347

Email: siraj@globalimpex.net

September 30, 2021

Re: Owner Designation of Applicant/Agent for Proposed Shell Station, 4118 Lavista Road, Tucker, GA 30084

To Whom It May Concern:

Please let this letter serve as authorization for Blackwater Construction Group and Ingenium Enterprises, Inc. to act as an authorized agent to submit plans for the construction of a new Shell Station property referenced as 4118 Lavista Road to entities listed below for purposes of obtaining permits and licenses for construction:

- City of Tucker
- Dekalb County
- Dekalb County Water and Sewer
- Dekalb County Fire Rescue Department
- Dekalb County Health Department
- State of Georgia Department of Transportation
- State of Georgia Environmental Protection Division
- State of Georgia Fire Marshal's Office
- Georgia Soil and Water Conservation Commission
- Any Private Utilities
- Any Third-Party Review

Sincerely,

Siraj Kazani (President)

Global Impex Inc.

For GLOBAL IMPEX, INC

AUTHORISED SIGNATURE

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Community Development
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PROPERTY OWNER'S CERTIFICATION

I do solemnly swear and attest, subject to criminal penalties for false swearing, that I am the legal owner, as reflected in the records of DeKalb County, Georgia, of the property identified below, which is the subject of the attached Land Use Petition before the City of Tucker, Georgia. As the legal owner of record of the subject property, I hereby authorize the individual named below to act as the applicant in the pursuit of the Application for Rezoning (RZ), Comprehensive Plan Amendment (CA), Special Land Use Permit (SLUP), Modification (M) & Concurrent Variance (CV) in request of the items indicated below.

I, SIRAS KAZANI, authorize, Blackwater Construction Group & Ingenium Enterprises, Inc.
(Property Owner) (Applicant)

to file for SLUP at 4118 LAVISTA RD, TUCKER, GA 30084
(RZ, CA, SLUP, M, CV) (Address)

on this date OCT 05, 2021
(Month) (Day)

- I understand that if a rezoning is denied or assigned a zoning classification other than the classification requested in the application, then no portion of the same property may again be considered for rezoning for a period of twenty-four (24) months from the date of the mayor and city councils' final decision.
- I understand that if an application for a special land use permit affecting all or a portion of the same property for which an application for the same special land use was denied shall not be submitted before twenty-four (24) months have passed from the date of final decision by the mayor and city council on the previous special land use permit.
- I understand that failure to supply all required information (per the relevant Applicant Checklists and requirements of the Tucker Zoning Ordinance) will result in REJECTION OF THE APPLICATION.
- I understand that preliminary approval of my design plan does not authorize final approval of my zoning or signage request. I agree to arrange additional permitting separately, after approval is obtained.
- I understand that representation associated with this application on behalf of the property owner, project coordinator, potential property owner, agent or such other representative shall be binding.

For **GLOBAL IMPEX, INC.**



AUTHORIZED SIGNATURE

Signature of Property Owner

Date

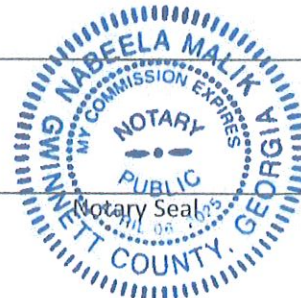
10/05/2021

SIRAS KAZANI - PRESIDENT
Type or Print Name and Title

Nabeela Malik
Signature of Notary Public

Date

10/5/21



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Department

LAND USE PETITION APPLICATION - REVISED JULY 15, 2020

SLUP-21-0008, SLUP-21-0009

DISCLOSURE REPORT FORM

WITHIN THE (2) YEARS IMMEDIATELY PRECEDING THE FILING OF THIS ZONING PETITION HAVE YOU, AS THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, OR AN ATTORNEY OR AGENT OF THE APPLICANT OR OPPONENT FOR THE REZONING PETITION, MADE ANY CAMPAIGN CONTRIBUTIONS AGGREGATING \$250.00 OR MORE OR MADE GIFTS HAVING AN AGGREGATE VALUE OF \$250.00 TO THE MAYOR OR ANY MEMBER OF THE CITY COUNCIL.

CIRCLE ONE:

YES (if YES, complete points 1 through 4);

NO (if NO, complete only point 4)

1. CIRCLE ONE:

Party to Petition (If party to petition, complete sections 2, 3 and 4 below)

In Opposition to Petition (If in opposition, proceed to sections 3 and 4 below)

2. List all individuals or business entities which have an ownership interest in the property which is the subject of this rezoning petition:

1.	5.
2.	6.
3.	7.
4.	8.

3. CAMPAIGN CONTRIBUTIONS:

Name of Government Official	Total Dollar Amount	Date of Contribution	Enumeration and Description of Gift Valued at \$250.00 or more

4. The undersigned acknowledges that this disclosure is made in accordance with the Official Code of Georgia, Section 36-67A-1 et. seq. Conflict of interest in zoning actions, and that the information set forth herein is true to the undersigned's best knowledge, information and belief.

Name (print) SIRAT KAZAN, - PRESIDENT

For GLOBAL IMPEX, INC

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City of Tucker

Signed:

[Signature]
AUTHORISED SIGNATURE

Date: 10/05/2021


OCT 18 2021

Community Development
Department

LAND USE PETITION APPLICATION - REVISED DECEMBER 9, 2020

PHASE I ENVIRONMENTAL SITE ASSESSMENT

Performed at: **SHELL**
4118 LAVISTA ROAD
TUCKER, GEORGIA

Prepared For:

5100 Peachtree Parkway
Norcross, Georgia 30092

July 28, 2021

Project P592-01

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CITY OF TUCKER

10/18/2021

PLANNING & ZONING
DEPARTMENT

PHASE I
ENVIRONMENTAL SITE ASSESSMENT

Subject Property:

SHELL
4118 LAVISTA ROAD
TUCKER, GEORGIA

July 28, 2021

Prepared for:

THE PIEDMONT BANK
5100 Peachtree Parkway
Peachtree Corners, Georgia 30092

Prepared by:

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Project P592-01

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SECTION 1

EXECUTIVE SUMMARY

Logic Environmental, Inc. (LOGIC) is pleased to present this Phase I Environmental Assessment of the Shell gas station property located at 4118 LaVista Road in Tucker, Georgia. This assessment has been prepared on behalf of The Piedmont Bank, for their sole reliance.

The site was located about two miles west of Downtown Tucker on the northwest corner formed by LaVista Road and Parklake Drive Northeast. The one-acre subject site supported a Shell-branded gas station and convenience store, a Castrol Premium Lube Express shop, and a Mr. Foamy hand car wash. The lube shop was equipped with a subgrade service pit. A paved parking lot surrounded the buildings. A detached fuel canopy covered the convenience store and four fuel dispensers, including two dispensers east and two dispensers west of the convenience store. The north perimeter of the site was wooded.

Four underground tanks were located in a common pit immediately north of the convenience store and included one 12,000-gallon gasoline tank, two 10,000-gallon gasoline tanks, and one 10,000-gallon diesel tank. The tanks were constructed of fiberglass and were plumbed to the dispensers via fiberglass reinforced plastic product lines. Two additional tanks (a 1,000-gallon fuel oil tank and a 500-gallon used oil tank) were registered as temporarily out of use. According to Georgia EPD records, these tanks have remained in temporary closure since at least 2007, when the current owner purchased the site. Correspondence from the owner to the Georgia EPD in 2017 indicated the tanks were placed in temporary closure (possibly removed) prior to his purchase of the property in 2007. However, no documentation pertaining to the closure and/or removal of these tanks has been provided. While the exact location of these tanks was not determined during several Georgia EPD compliance inspections or in prior on-site release documentation, a metal cap (possibly a fill port, directly south of the oil change garage) and a vent pipe (extending from the roof of the oil change building) were observed, suggesting at least one of the tanks were located immediately south of the building. The owner was not able to confirm this use and a key was required to open the cap. No vent pipes, fill ports or other signs of abandoned underground tanks were observed. Based on the nature of the materials historically stored in these tanks (used oil and fuel oil), and their removal from service by the mid-2000s, around the time the site was last sampled for petroleum fractions, no threat to the site is suggested by these two tanks. The on-site lube shop supported three aboveground storage tanks for motor oil. An additional aboveground storage tank that was empty was also

identified in the lube shop. Based on LOGIC's research, the site did not maintain any other underground or aboveground storage tanks.

According to LOGIC's historical research, the subject site supported two small single family homes at least as early as 1959. The houses were moved and the driveways were later razed when the site was redeveloped with the original on-site gas station and convenience store. The original on-site gas station and convenience store were razed in 1988 and redeveloped with the current on-site gas station and convenience store, lube shop, and carwash. Georgia EPD records did not have any information pertaining to the original fueling system, likely since these tanks and associated pipelines were removed when the site was redeveloped in 1988, shortly after tank regulations were established in Georgia. The site has operated as a gas station and convenience store, lube shop, and carwash since that time. An on-site petroleum release was identified during an environmental assessment in 2006. At that time the maximum dissolved benzene concentration in groundwater was 345 micrograms per liter (ug/L). By August 2007, the maximum dissolved benzene concentration in groundwater was 590 ug/L (in MW-8, near the underground tank pit). Based on the data and lack of water receptors in the area, the EPD issued a no-further-action required determination in February 2008. In 2014, a SPILLS complaint was filed regarding improper wastewater disposal by the carwash. After EPD's inspection, the complaint was determined to be unfounded.

The on-site businesses maintained a variety of housekeeping and automotive maintenance chemicals. The convenience store maintained small containers of housekeeping supplies sold as merchandise and used in the store. The store also sold small containers of auto maintenance chemicals. Motor oil was stored in several 55-gallon drums and 110-gallon plastic totes in the garage, and in three 1,000-gallon aboveground tanks in the subgrade service pit. Carwash chemicals were stored in containers ranging from five to 55 gallons.

Non-hazardous waste generation during LOGIC's site visit included office trash, food waste, used oil and used oil filters. Office trash and food waste were placed in bags and accumulated in a dumpster enclosure in the parking lot. The used oil was accumulated in two 330-gallon plastic totes in the subgrade service pit. Oil filters were accumulated in an outdoor bin north of the lube shop. The used oil and filters were picked up regularly by a contractor. No hazardous waste was produced during LOGIC's site visit.

The site was plumbed to Dekalb County water and sewer service. No environmentally significant wastewater was associated with the site's previous use. Storm water across the site

flowed via surface sheeting towards the adjoining roadways. No catch basins, or retention ponds were located on site.

Electrical power was supplied to the property via underground power lines originating from a pad-mounted transformer situated along the western boundary of the site. The transformer appeared to be in good condition with no evidence of release at the time of LOGIC's site visit. The building was heated and cooled via electric units.

Based on the age of the building, no asbestos containing materials are believed to be located on site. However, this can only be confirmed through sampling, which is beyond the scope of this investigation. No wetlands were identified on site.

At the time of LOGIC's site visit, adjoining properties included another gas station, several retail shopping strips, banks, and a hotel. A petroleum release was reported at Lavista Oil 957 LLC, a BP-branded gas station, that is south-adjacent to the subject site. The EPD resolved the release with a no-further-action-required determination. On the same property, a Phase II investigation of a former dry cleaning building (200 feet from the site) identified contamination in groundwater. Groundwater was reported to flow away from the subject site during both release investigations. No threat to the site is suggested based on the topographic position of the adjoining properties and the no-further-action finding determined by EPD.

In addition to a visual reconnaissance of the area, LOGIC reviewed an electronic database report and EPD records regarding known releases and sites of potential environmental significance in the immediate area. In addition to the site and adjoining property, several releases were identified within the radii prescribed by ASTM and AAI standards. Based on the distances and topography between the subject site and these releases, no threat to the subject site is suggested.

LOGIC's investigation identified the following historical recognized environmental condition with respect to the site:

The site was impacted by a petroleum release originating from the on-site fueling system. The release was identified during a property transaction in 2006. Although residual petroleum remained in soil and groundwater at the site, the Georgia Environmental Protection Division issued the release a no-further-action-required finding based on the relatively stable nature of the contamination plume. As such, no further investigation is warranted with respect to this release. The potential

presence of residual soil and groundwater impacts at the site represents a vapor encroachment condition. However, based on the distance and depth of these impacts from the on-site buildings, the threat of vapor intrusion appears low. As such, no further investigation is warranted with respect to vapor.

LOGIC identified no recognized environmental conditions with respect to the site. LOGIC thanks you for this opportunity to be of service. These findings are detailed in the following report.

SECTION 2

INTRODUCTION AND CERTIFICATION

2.1 INTRODUCTION AND OVERVIEW

This assessment has been prepared in substantial conformity with the standards established for All Appropriate Inquiry (AAI) as adopted the U.S. Environmental Protection Agency and codified in 40 CFR 312, and also with the standards established by the American Society of Testing Materials in ASTM E1527-13.

2.2 PURPOSE AND LIMITATIONS

The objective of this assessment has been to determine, to the greatest extent practicable, based upon the available time and information, whether the subject property has been impacted by any recognized environmental condition, including historical recognized environmental conditions and controlled recognized environmental conditions. Such a condition would include the presence of any hazardous substance or petroleum products in, on, or at the site due to release to the environment under conditions indicative of a release to the environment or under conditions that pose a material threat of future release. A controlled recognized environmental condition is a past release that has been granted a no-further-action status despite residual contamination in the soil and/or groundwater. Due to the residual contaminants, the no-further-action determination included property-use restrictions, engineering controls, institutional controls or other restrictions. A historical recognized environmental condition is a past release which was issued an unqualified no-further-action determination. Although this study has been a thorough attempt to identify the potential sources of contamination for the subject site, there is always the possibility some sources of contamination have escaped detection due to the limitations of this study, the inaccuracy of governmental records, or the presence of unreported environmental events. LOGIC's services have been performed using the degree of care and skill ordinarily exercised under similar conditions by reputable environmental consultants practicing in this or similar localities under the same or similar circumstances.

2.3 DETAILED SCOPE OF SERVICES

LOGIC's method for performing this Phase I Assessment included several significant components. A review of public records for the site and the surrounding area was performed. LOGIC consulted historical resources and government regulatory records. A visual inspection was

conducted of the subject site, its structures and adjacent properties. The topography and geology of the site and surrounding area were observed and characterized. LOGIC also interviewed key individuals, including (as available) the site owner, site manager, local government officials and employees of neighboring businesses, regarding the history and use of the site and immediately surrounding area. LOGIC incorporated principals and methodology of ASTM E2600-15 in evaluating vapor migration in, on or at the subject site. LOGIC's scope and services in performing this Phase I Assessment conforms with ASTM Standard E1527-13.

2.4 DEVIATIONS FROM ASTM STANDARDS

The absence of aerial photos between 1940 and 1959 is a data gap as defined by ASTM Standards. However, based on aerial photographs from 1959, the site and surrounding area were largely residential in the early 1950s. As such, no environmentally significant use of the site or surrounding properties is suspected between 1940 and 1959. No other deviations from ASTM Standards were required.

2.5 SIGNIFICANT ASSUMPTIONS

During the preparation of this report, LOGIC has relied on verbal and written information provided by the site's owner, government employees and government records. LOGIC has assumed that the information provided is reliable and valid. However, LOGIC cannot guarantee that the information provided by these sources is accurate or complete.

2.6 SPECIAL TERMS AND CONDITIONS

No special terms or conditions existed between the user and LOGIC, except as specified in the scope of services.

2.7 USER RELIANCE

This Phase I Assessment has been prepared for the sole reliance of The Piedmont Bank. Reliance on the information and conclusions in this report by any other person or entity is not permitted without the written consent of LOGIC.

2.8 CERTIFICATION

By his or her signature below, the Project Manager declares and certifies that, to the best of their knowledge, they meet the definition of Environmental Professional as defined by 40 CFR 312. The Project Manager further certifies that he or she has the specific qualifications based on education, training and experience to assess a property of the nature, history, and setting of the subject property. The professionals who have signed below have developed and performed all appropriate inquiries in conformance with the standards and practices set forth in 40 CFR 312. Resumes of personnel performing or involved in this investigation are included as Appendix 1.



Laura Dupont
Environmental Geologist



Chris Fonzi
Project Manager

SECTION 3

SITE DESCRIPTION AND RECONNAISSANCE

3.1 SITE INSPECTION AND METHODOLOGY

LOGIC's site inspection was performed by Laura Dupont, Environmental Geologist, and Laura Bradshaw, Senior Environmental Specialist, on July 21, 2021. Based upon the characteristics and nature of the property, no special inspection methodologies were necessary.

3.2 ACCESS AND LIMITATIONS

The weather at the time of LOGIC's site visit was approximately 90 degrees Fahrenheit and sunny. Due to high traffic caused by employee and customer parking, approximately 30% of the parking lot was not able to be inspected. These areas were viewed from the perimeter of the vehicles. Apart from this, the entire site was inspected and no other areas were locked, fenced, or otherwise inaccessible.

3.3 SITE LOCATION

The site is located about two miles west of Downtown Tucker in DeKalb County, Georgia. More specifically, the site is located on the northwest corner formed by LaVista Road and Parklake Drive Northeast. The site is accessible via entrances off both LaVista Road and Parklake Drive Northeast. A Site Location Map has been included as Attachment A. A legal description of the subject site is included in the most recent property conveyance instrument included in Appendix 2.

3.4 USE AND DESCRIPTION OVERVIEW

Based on deed records, the subject site included approximately one acre and was rectangular. Tax assessor records indicate the site is owned by Global Impex Inc, and is listed as both 4114 LaVista Road and 4118 LaVista Road addresses. At the time of LOGIC's visit, the site supported a Shell-branded gas station and convenience store, Castrol Premium Lube Express shop, and a Mr. Foamy hand car wash. No other businesses were identified on site. A Tax Map is included as Attachment B-1. A Site Sketch is included as Attachment B-2.

3.5 IMPROVEMENTS

At the time of LOGIC's site visit, the center of the site supported a single-story retail building operated as Shell Food Mart, a convenience store. (See Attachment C, Photo 1.) According to tax assessor records, the building was approximately 1,250 square feet and was built in 1988. Consistent with businesses of this nature, the interior of the building was divided into a service counter, retail shelves and aisles, beverage coolers, a game area, and a small office with a restroom. (See Photos 2 through 6.) A detached fuel canopy covered the convenience store and extended to the east and west to cover four fuel dispensers. (See Photo 7.) A paved parking lot surrounded the building. The dispensers were plumbed to four underground tanks in a common tank pit directly north of the convenience store. (See Photo 8.) The site's fueling system is discussed further in Section 6.4.

West of the convenience store and fuel dispensers was a Castrol Premium Lube Express shop. (See Photo 9.) According to tax assessor records, the building was approximately 4,050 square feet and was built in 1988. The lube shop included a two-bay garage, a subgrade service pit and storage space, and a small office. (See Photos 10, 11, and 12.) The two-bay garage was equipped with four bay doors, including two on the north and two on the south sides of the building. Four aboveground storage tanks were present in the lube shop. (See Photos 13 & 14.) The storage tanks are discussed further in Section 6.4.

North of the convenience store and common tank pit was a Mr. Foamy hand carwash with bay doors to the east and west. (See Photo 15.) According to tax assessor records, the building was approximately 550 square feet and was built in 1988. The carwash wash had two vacuum stations along the southern edge of the building. The paved area immediately west of the carwash building was used for detailing and waxing. (See Photo 16.)

3.6 EVIDENCE OF IMPAIRMENT

LOGIC inspected the exposed soil and peripheral area of the subject site. Overall, the surface soil and vegetation throughout the site appeared to be in good condition. Oily surface staining was observed on the parking lot and scattered trash (primarily food and drink packaging, likely discarded by customers) was observed across the site's periphery. (See Photo 17.) However, based on the surficial nature of the staining and trash, they do not suggest a threat of lingering impact to the underlying soil or groundwater. The staining and trash are therefore categorized as de minimis impacts. Several pavement scars were identified throughout

the parking lot of the site. These were the result of a prior petroleum release investigation, discussed further in Section 5.3.

3.7 ENGINEERING CONTROLS

No evidence of any physical technologies designed to control or limit contaminant exposure was identified during LOGIC's site visit.

3.8 TOPOGRAPHY

According to available topographic maps, the elevation of the site is approximately 1,070 feet above mean sea level. During LOGIC's site visit, the majority of the site was level due to pre-development grading, but sloped slightly to the north-northeast in some areas. On a larger scale, the site was located on the east side of a small, localized topographic peak. Properties north of the site sloped more steeply to the north, and properties south of the site across LaVista Drive sloped to the south.

During this investigation, LOGIC compared topographic maps from 1954 and 2017, prepared before and after its most recent development. Although the 1954 topographic map shows a localized peak north of the subject site, the 2017 topographic map shows this peak was cut and graded to the north. This appears to be a result of the commercial development of the surrounding area. No borrow pits, landfills or other environmental threats were shown on the maps. The 1954 and 2017 topographic maps are included as Attachments D-1 and D-2, respectively.

3.9 LOCAL GEOLOGY

The site is located in the Piedmont physiographic province. Within Georgia, this region is bounded on the north by the Appalachian Valley and Ridge and Blue Ridge provinces and on the south by the Coastal Plain province. The boundary between the Piedmont and the Coastal Plain is known as the Fall Line, a feature characterized by falls or shoals formed by resistant crystalline Piedmont rocks in streams that cross this line. The boundaries between the Piedmont, Valley and Ridge and Blue Ridge provinces are marked by fault contacts. The Piedmont province is generally characterized by hilly terrain gently inclined to the south and southeast. Elevations range from approximately 1,500 feet above mean sea level (msl) in the northern limits to approximately 400 feet above msl along the Fall Line.

Piedmont lithologies include a variety of igneous and metamorphic rocks of Pre-Cambrian to Mesozoic age. In most areas, these rocks are deeply weathered to form a layer of saprolitic soil near the surface. These rocks have been subjected to regional metamorphism related to multiple tectonic events resulting in folding, faulting, and igneous intrusion. Bedrock in the immediate site vicinity has been mapped as Precambrian to Paleozoic-age hornblende gneiss and amphibolite.

SECTION 4

USER PROVIDED INFORMATION

4.1 TITLE RECORDS

LOGIC performed a limited title search, which is discussed in Section 5.3, during the course of this investigation.

4.2 ENVIRONMENTAL LIENS, USE LIMITATIONS & INSTITUTIONAL CONTROLS

The client did not provide LOGIC with any information regarding environmental liens associated with the subject site. LOGIC has not conducted a search specifically to identify environmental liens recorded with respect to this property. Such liens are recorded by government agencies in response to known environmental conditions. In this case, the site was identified as the location of a resolved petroleum release. No liens were noted in Georgia Environmental Protection Division (EPD) records and no liens were referenced in the most recent property conveyance instrument included in Appendix 2.

The user did not provide LOGIC with information regarding environmental activity and use limitations at the site. No evidence of any administrative or legal controls designed to minimize exposure to contamination was identified in the course of LOGIC's investigation. No environmentally based use restrictions were referenced in the most recent property conveyance instrument available from the office of the County Clerk. This instrument has been included in Appendix 2, Historical Documentation.

4.3 RELATIONSHIP OF PURCHASE PRICE TO VALUE

LOGIC was provided with no specific information regarding the value of the subject site with respect to its purchase price in the course of this assessment. In the absence of such information, the user of this report is responsible for determining whether the purchase price of the property reasonably reflects its fair market value and whether any discrepancies in this regard are reflective of actual or potential environmental conditions at the site.

4.4 OWNER, MANAGER AND OCCUPANT INFORMATION

The property owner and occupant of the subject site are discussed in Section 3.4. LOGIC interviewed the owner and/or occupant of the subject site and significant information derived from these sources is discussed in Sections 5 and Section 6.

4.5 ADDITIONAL USER PROVIDED INFORMATION

The user provided LOGIC with the address of the subject site and the contact information for the owner. No other commonly known or reasonably ascertainable information about the site was provided by the user. The user did not furnish information regarding specialized knowledge of the subject property at the time of this investigation.

4.6 REASON FOR PERFORMING ASSESSMENT

This report was requested for the benefit of a prospective lender to provide an evaluation of environmental liabilities and site conditions with respect to the site's value as collateral and to provide "innocent purchaser" liability protection pursuant to CERCLA, 42 U.S.C §9601 (35)(A), et. seq.

SECTION 5

HISTORICAL INVESTIGATION

5.1 RECORD SOURCES

In the course of this Assessment, LOGIC reviewed all readily available and appropriate historical resources available for the area in which the subject site is situated. These included, but were not limited to, the following materials:

- Published street maps
- Tax Assessor Records
- Limited title records
- Aerial photos (1959 - 2020)
- Topographic Maps (1954 & 2017)
- City Directories (1972 - 2020)
- National Wetlands Inventory Map

LOGIC also attempted to contact local government officials, libraries and other relevant resources in the immediate vicinity of the subject site in order to determine the availability of document resources. However, consistent with the historically rural character of the immediate area, no fire insurance maps were available.

5.2 INTERVIEWS

5.2.1 OWNER/OCCUPANT INTERVIEWS

LOGIC spoke with Mr. Suhel Kazani of Global Impex Inc., the owner of the site, and Mr. Larry Wilson, manager of Castrol Premium Lube Express shop. Information derived from this interview is included in Sections 5 and 6 of this report, as appropriate. Interview records are included in Appendix 2.

5.2.2 INTERVIEWS WITH GOVERNMENT OFFICIALS

LOGIC spoke with an official at the DeKalb County Water Resources regarding the subject site.

5.2.3 OTHER INTERVIEWS

LOGIC interviewed several occupants of adjacent properties regarding the history of the area.

5.3 NARRATIVE HISTORY

A 1959 aerial photo shows the subject site supported two, small closely spaced houses with driveways off of the north side of LaVista Road. Based on aerial photos not included in this report, both houses were constructed in the mid to late 1950s. This is supported by tax assessor records that indicate the west house was built in 1958. In 1958, deed records indicate that the western half of the subject site that supported one house (addressed 4114 LaVista Road) was transferred from Lester V. Buice to John C. and Sue Bess Robinson. The 1959 aerial photo is included as Attachment E-1. In 1965, deed records indicate John C. and Sue Bess Robinson transferred the western half of the subject site to Trammell Crow. An aerial photo from 1968 shows the two houses on the subject site were removed, but the driveways extending north from LaVista Road are still present. Deed records from 1968 indicate that Trammell Crow transferred the entire 1.07 acre subject site to Texaco Inc. The 1968 aerial photo is included as Attachment E-2.

In 1971, tax assessor records indicate a gas station and convenience store was built on the subject site. This is consistent with city directory records that list the subject site as a Texaco gas station. In 1971 and 1974 aerial photos, the convenience store with a canopy extending to the south is visible. Based on these aerial photos, the dispensers were situated on the south-central portion of the site and the original tanks were likely near the east-central portion of the site. Georgia EPD records did not have any information pertaining to the original fueling system, likely since these tanks and associated pipelines were removed when the site was redeveloped in 1988, shortly after tank regulations were established in Georgia. However, tax assessor records indicate that the property supported one 4,000 gallon and two 8,000-gallon storage tanks. The 1971 and 1974 aerial photos are included as Attachments E-3 and E-4, respectively. Tax assessor records indicate that a carwash wash bay was added to the building in 1978.

In 1988, deed records indicate Texaco Inc. transferred the subject site to Texaco Refining & Marketing LLC. Tax assessor records further indicate that the original on-site gas station was razed. The current on-site gas station and convenience store, lube shop, and carwash wash were constructed later in 1988. The original fueling system was replaced in 1988, as well. In 1989,

deed records indicate Texaco Refining & Marketing LLC transferred the subject site to Star Enterprise. Star Enterprise later transferred the subject site to Motiva Enterprises LLC in 1998. Aerial photos from 1989, 1999, 2008, 2014, and 2020 show the subject site as it appeared during LOGIC's investigation. The aerial photos from 1989, 1999, 2008, 2014, and 2020 are included as Attachments E-5 to E-9, respectively.

In 2006, deed records indicate Motiva Enterprises LLC transferred the subject site to Sam's Real Estate Holdings. The 2006 deed also redefines the subject site as a 1.002 acre lot and stipulates that if gasoline is sold at the subject site, the gas station must be Shell brand. This is consistent with city directory records that indicate the Texaco gas station was re-branded as a Shell gas station between 2003 and 2008.

Petroleum contamination was identified on site during an environmental investigation conducted by Pangean-CMD Associates in 2006. The contamination was reported to the Georgia EPD in March 2006. At that time the maximum dissolved benzene concentration in groundwater was 345 micrograms per liter (ug/L). A Corrective Action Plan - Part A (CAP-A) was submitted to the Georgia EDP in September 2006. A total of five groundwater monitoring wells were installed at the site targeting the current and historical fueling system. Soil samples were collected from three of the wells and only trace concentrations of ethylbenzene and methyl tertiary-butyl ether were detected in one sample near the northwest fuel dispenser. Groundwater from each well was analyzed for benzene, toluene, ethylbenzene and xylene (BTEX), methyl tertiary-butyl ether (MTBE) and polynuclear aromatic hydrocarbons (PAHs). Three additional groundwater monitoring wells were installed, and by August 2007, the maximum dissolved benzene concentration in groundwater was 590 ug/L (in MW-8, near the underground tank pit). All other groundwater samples did not exceed the applicable In-Stream Water Quality Standards (ISWQS) for all petroleum constituents. Pangean-CMD determined the contamination plume was stabilized within the site's boundaries. Based on the data and lack of water receptors in the area, the Georgia EPD issued a no-further-action-required determination for the release in February 2008. Excerpts from the last monitoring report and a copy of the no-further-action-required letter are included in Appendix 2. The underground storage tanks are discussed further in Section 6.4.

In 2007, deed records indicate Sam's Real Estate Holdings transferred the property to Global Impex Inc., a corporation maintained by Mr. Kazani. At that time, city directory records indicate that the lube shop was branded as a Pennzoil Express Lube. At least as early as 2012, the lube shop was rebranded as the present Castrol Premium Lube Express. This is consistent with interviews with Mr. Wilson. The brand of the on-site carwash changed several times, and at the time of LOGIC's investigation, the carwash was branded as a Mr. Foamy carwash wash.

A SPILLS complaint was filed in 2014. The caller stated the carwash was discharging wastewater to a storm drain. However, upon the EPD's inspection, the complaint was determined to be unfounded and the carwash was reportedly equipped with property wastewater drains with a filtration system for particulate. No threat to the site is suspected.

SECTION 6

MATERIALS AND PRACTICES

6.1 CHEMICAL HANDLING

In addition to fuel, the businesses on the site maintained various chemicals. The convenience store maintained and sold housekeeping and automotive maintenance chemicals in containers less than five gallons. (See Photo 18.) All chemicals were stored inside the building and presented no threat of a release to the underlying soil or groundwater. The lube shop maintained motor oil that was stored in several 55-gallon drums and 110-gallon plastic totes in the garage, and in three 1,000-gallon aboveground tanks in the subgrade service pit. (See Photos 13, 16, and 20.) The aboveground tanks are further discussed in Section 6.4. The manual carwash wash maintained carwash detergents/waxes in containers ranging from five to 55 gallons. (See Photos 21 & 22.) A SPILLS complaint associated with the carwash is further discussed in Section 5.3.

6.2 HAZARDOUS WASTE MANAGEMENT

According to the information in the electronic database report, Star Enterprise, former operator of the on-site gas station, was previously registered as a generator of hazardous waste. Based on EPD records, the gas station ceased to be a generator in 2007. The waste stream included benzene and ignitable wastes. Gas stations occasionally register with the EPD as a generator of hazardous waste based on their potential to generate petroleum waste from tank cleaning. No threat to the subject site is suggested.

No evidence of any hazardous waste generation was identified at the subject site at the time of LOGIC's site visit. Star Enterprise is the only prior occupant identified in Georgia EPD records as a hazardous waste generator. Consistent with this, no violations or regulatory actions with regard to the site were identified during LOGIC's review of state or federal environmental files and no visible or historical evidence of on-site hazardous waste disposal was encountered.

6.3 NON-HAZARDOUS WASTE MANAGEMENT

At the time of LOGIC's site visit, waste generation included office employee and customer trash, used oil, and used oil filters. Office employee and customer trash was accumulated in a

dumpster that was located along the northern boundary of the site. (See Photo 23.) The used oil was accumulated in two approximately 330-gallon plastic totes in the subgrade service pit. (See Photo 24.) Used oil filters were accumulated in a recycling bin located in the northwestern corner of the site. (See Photo 25.) According to Mr. Wilson, Universal Environmental Services collected the used oil weekly and picked up the used filters monthly. Although some scattered surface trash was observed, no other on-site waste disposal or burial was noted.

6.4 UNDERGROUND/ABOVEGROUND STORAGE TANKS

At the time of LOGIC's investigation, the site maintained six underground storage tanks, including four tanks located in a common pit immediately north of the convenience store and included one 12,000-gallon gasoline tank, two 10,000-gallon gasoline tanks, and one 10,000-gallon diesel tank. (See Photo 8.) The tanks were constructed of fiberglass and were plumbed to the dispensers via fiberglass reinforced plastic product lines. The tanks were monitored monthly for leaks using a Veeder Root TLS 350 automatic tank gauge (ATG) operated by a keypad inside the convenience store. Printouts recording passing tank tightness tests from August 2020 to July 2021 were obtained for all four tanks. Copies of the printouts are included in Appendix 2. The lines and leak detectors were tested annually by a contractor. The lines and leak detectors were tested by the Center for Testing and Engineering in Georgia on January 21, 2021. All four lines and leak detectors passed at that time. Copies of the most recent leak detection tests are included in Appendix 2.

Two of the tanks (a 1,000-gallon fuel oil tank and a 500-gallon used oil tank) were registered as temporarily out of use. According to Georgia EPD records, these tanks have remained in temporary closure since at least 2007, when the current owner purchased the site. Correspondence from the owner to the Georgia EPD in 2017 indicated the tanks were placed in temporary closure (possibly removed) prior to his purchase of the property in 2007. However, no documentation pertaining to the closure and/or removal of these tanks has been provided. While the exact location of these tanks was not determined during several Georgia EPD compliance inspections or in prior on-site release documentation, a metal cap (possibly a fill port, directly south of the oil change garage) and a vent pipe (extending from the roof of the oil change building) were observed, suggesting at least one of the tanks were located immediately south of the building. The owner was not able to confirm this use and a key was required to open the cap. No vent pipes, fill ports or other signs of abandoned underground tanks were observed. Based on the nature of the materials historically stored in these tanks (used

oil and fuel oil), and their removal from service by the mid-2000s, around the time the site was last sampled for petroleum fractions, no threat to the site is suggested by these two tanks.

The lube shop also maintained four aboveground storage tanks. (See Photos 13 & 14.) Three tanks of motor oil were present in a secondary containment system in the subgrade service pit. One tank located in the lube shop office previously stored transmission fluid and was currently out-of-use. No other underground or aboveground storage tanks were identified at the site based upon LOGIC's site visit, historical research or review of state environmental files. No vent pipes, fill ports, or other possible indicators of abandoned underground tanks were apparent at the time of LOGIC's site visit.

6.5 CONSUMPTIVE WATER USE

The site was plumbed to municipal water service via DeKalb County. No wells or other sources of water were identified on site.

6.6 WASTEWATER

The site was plumbed to the municipal sewer owned by DeKalb County. Based on its use history, no environmentally significant wastewater was likely generated at the site.

6.7 STORM WATER

Storm water across the paved portions of the site flowed via surface sheeting downhill towards north-northeast. No drainage pathways, catch basins, or retention ponds were located on site.

6.8 ELECTRICAL/PCBS

Electrical power was supplied to the property via underground power lines originating from a pad-mounted transformer situated in the northwestern corner of the site. (See Photo 26.) The transformer appeared to be in good condition with no evidence of release at the time of LOGIC's site visit. The unit is owned and maintained by the local power authority, which would assume responsibility in the event of release from its equipment.

6.9 HEATING/COOLING SYSTEM

The convenience store and lube shop were heated and cooled via electric units. The lube shop was plumbed to natural gas, but no gas meter was present. No fuel for the heating or cooling of the buildings was maintained on site.

6.10 VAPOR CONDUITS

The subject site was equipped with municipal water and sewer lines, electrical lines, and gas lines. The exact location of these features could not be identified. However, based upon observations made during LOGIC's site visit, the sewer lines may have originated along the northern boundary, where several sewer access manholes were identified. The electrical lines likely followed the western boundary of the site to the pad-mounted transformer in the northwestern corner of the site. Natural gas may have originated on the western boundary near the gas inlet for the lube shop. The larger conduits were most likely located along the adjacent roadways. No other natural or manmade vapor conduits were identified.

SECTION 7

SURROUNDING PROPERTY USE

7.1 OVERVIEW OF SURROUNDING AREA

Based upon LOGIC's research, the area surrounding the subject site supported farmland and widely spaced houses in at least as early as the early 1950s. Residential development has increased since that time. No industrial property use was identified in the area.

7.2 USE AND HISTORY OF ADJOINING PROPERTIES

Adjoining properties are generally defined by ASTM and AAI standards as those which share any portion of a border with the subject site, or which would share a border with the subject site except for the presence of an intervening roadway.

The subject site is bound to the north by Quantum Park office suites. (See Photo 27.) Historically, this 1.4-acre property supported woodland. Tax assessor records indicate the property was developed and the current on-site office suite building was built in 1969. At that time, city directories from 1972 to 1992 suggest that the suites were used as doctor's offices. City directories in the early 2000s increasingly list retail and commercial tenants as suite occupants. At the time of LOGIC's site visit, suite occupants included Tax Solutions LLC, Insurance Plus, TJB Auto Sales, US Auto Source LLC, Quality Pro Motors LLC, Asida Auto LLC, Jay & C Auto Broker LLC, NAP Auto Sales, Divine Network Inc. and Facials by Terra. Due to the historical use of the property, no threat to the subject site is suggested.

The subject site is bound to the east, across Parklake Drive, by a Bank of America. (See Photo 28.) At least as early as 1959, this 1.1-acre property supported a small, single-family home. In the late 1960s, the property was a vegetated vacant lot. Tax assessor records indicate the current on-site bank and ATM canopy were built in 1969. City directory records indicate that Citizens and Sons National Bank and Nations Bank were both previous occupants of the building. At the time of LOGIC's site visit, the property appeared as it did at the time of development. Due to the historical use of the property, no threat to the subject site is suggested.

The subject site is bound to the southeast, across LaVista Road and Parklake Drive, by Northlake Square shopping center. This 6.2-acre property supported several widely-spaced single-family homes surrounded by woods throughout the 1950s to the 1980s. Tax assessor

records indicate that the current buildings were constructed in 1988. City directory records from 1992 to 2020 indicate that the site has supported several restaurants and retail stores. No dry cleaners were identified at the site historically or at the time of LOGIC's investigation. Current occupants of the shopping center at the time of LOGIC's site visit included Mellow Mushroom restaurant, Smiles 2 You Dental Center, Wings 101 restaurant, Nail Service and Spa, Great Clips barbershop, Fuji Ya Hibachi & Sushi restaurant, Lucky Key Chinese Restaurant, Fast Signs store, Kumon Learning Center, Catherine's clothes store, and Georgia Eye Center. The largest building was occupied by a Best Buy electronics store and an Aldi grocery store. Due to the historical use of the property, no threat to the subject site is suggested.

The subject site is bound to the south, across LaVista Road, by a BP-branded gas station and Domino's Pizza restaurant. (See Photo 29.) Historically, this property supported small single family homes until the early 1970s when a gas station was built. The original on-site gas station was on the northern portion of the property and a small retail building (built at a later date) was on the southern portion of the property. Based on aerial photos and city directories, the retail building was built by the late 1980s. City directories indicate the building was occupied by various restaurants from at least as early as the early 1990s through the early 2000s. Additionally, a dry cleaner occupied a suite in this building from at least 1994 through 2003. Tax assessor records indicate that, in 2004, the original on-site gas station and retail building were razed and the current on-site gas station and restaurant buildings were constructed. At the time of LOGIC's site visit, the on-site gas station and convenience store was operated as a BP, and the restaurant next to the convenience store was operated as a Domino's Pizza. This property was identified as the location of two historical petroleum releases and a dry cleaning solvent release. However, groundwater flow was away from the site. Also, no impacts from the petroleum release were detected in prior on-site groundwater sampling. No threat to the site is suggested. The releases at this property are discussed further in Section 8.2, Items 1 and 2.

The subject site is bound to the southwest, across LaVista Road, by a Wells Fargo Bank. At least as early as 1959, the 1.3-acre property was a vacant, cleared lot. Tax assessor records indicate that the bank was built in 1971. City directory records from 1977-2008 indicate the bank was previously operated as First National Bank and Wachovia Bank. At least as early as 2012, the bank was operated as a Wells Fargo Bank. Due to the historical use of the property, no threat to the subject site is suggested.

The subject site is bound to the west by a small, retail shopping strip. (See Photo 30.) Consistent with several adjacent properties, this 0.3-acre property supported a portion of a small,

single-family home in the 1950s and 1960s. In the early 1970s, the property was a vegetated, vacant lot. Tax assessor records indicate the current shopping strip building was constructed in 1975. City directory records from 1977 to 2020 indicate that the property supported several retail occupants. Past occupants include CMC Stereo Center and Mattress Warehouse. At the time of LOGIC's site visit, the shopping strip was occupied by For Eyes optical store and C & T Package store. Due to the historical use of the property, no threat to the subject site is suggested.

The subject site is bound to the northwest by a hotel. At least as early as 1959, this 2.3-acre property supported several small, single-family homes surrounded by woods. The property remained undeveloped until 1988 when a motel was constructed. At the time of LOGIC's site visit, the hotel was operated as a Quality Inn Motel. Due to the historical use of the property, no threat to the subject site is suggested.

None of the adjacent properties appear to pose any environmental threats, based on the nature of the properties and their relative topographic positioning with respect to the site.

SECTION 8

GOVERNMENT ENVIRONMENTAL RECORDS REVIEW

8.1 SCOPE OF RECORDS REVIEW

For purposes of this investigation, LOGIC obtained an electronic database report produced by Geo-Search ("the database"). The database report is a computerized compilation of properties and businesses which have been listed as an actual or potential source of environmental impact in the records of state, federal, local or tribal government authorities.

Because different categories of listed properties have been deemed by ASTM and AAI standards to represent potential threats of different magnitudes, each category is searched to identify properties within a specific radius prescribed by these standards. For example, all underground storage tank sites which have reported some type of environmental release are identified within one-half mile, while tank sites which have not reported any release are identified only on the subject site or directly adjacent properties. The specific categories which are identified by the database are summarized below:

Federal Lists

- Biennial Reporting System (BRS)
- Clandestine Drug Laboratory Locations (CDL)
- Federal Engineering Institutional Control Sites (EC)
- Enforcement and Compliance History Information (ECHO)
- Emergency Response Notification System (ERNS)
- Facility Registry System (FRS)
- Hazardous Materials Incident Reporting System (HMIRS)
- Integrated Compliance Information System (ICIS)
- National Pollutant Discharge Elimination System (NPDES) and Permit Control System (PCS)
- Toxic Substance Control Act Inventory (TSCA)
- Toxic Release Inventory (TRI)
- Historical Gas Stations (HSTPST)
- Brownfields Management System (BF)
- National Priorities List (NPL & RODS) and De-listed National Priorities List (DNPL)
- Open Dump Inventory (ODI)
- Superfund and Archived Site Inventory (SEMS & SEMSARCH)
- Federal Insecticide, Fungicide and Rodenticide Act (FIFRA & SSTs)
- Uranium Mill Tailings Radiation Control Act Sites (UMTRA)

Federal Lists

- Material Licensing Tracking System (MLTS)
- PCB Activity Database System (PADS)
- Resource Conservation and Recovery Act Generators, Treatment, Storage and Disposal Facilities (RCRA)
- RCRA Corrective Action (RCRAC & RCRASC)
- Department of Defense Sites (DOD) and Formerly Used Defense Sites (FUDS)
- Surface Mining Control and Reclamation Act Sites (SMCRA)
- Mine Safety and Health Administration Master Index File (MSHA)

State Lists

- Hazardous Sites Inventory (HSI)/Hazardous Waste Sites (SHWS) pursuant to Georgia HSRA
- Non-HSI Sites with reported contamination, designated for no further action
- Leaking Underground Storage Tanks (LUST)
- Underground Storage Tanks (UST)
- Dry Cleaners Database
- Voluntary Remediation Program Sites (VRP)
- AIRS Air Emissions & Permits
- Solid Waste Disposal Facilities and Landfills (SWF/LF)
- Historical, Closed Landfills (HIST LF)
- SPILLS list of oil or hazardous materials releases
- Institutional Controls, Public Records List
- Brownfields List
- Uniform Environmental Covenant Properties
- Tier II Data from Facilities with SARA chemicals

Tribal Records

- Underground Storage Tanks
- Open Dump Inventory
- Leaking Underground Storage Tanks
- Indian Reservations

The database also includes certain other specialized and state-specific databases and information compilations. The complete database search report, including a more detailed description of each database and the prescribed search radius for each, is included as Appendix 4. In certain cases, LOGIC has expanded the search radius for some or all categories in order to accommodate larger sites or to provide a more comprehensive evaluation of the area which surrounds the subject site.

8.2 SUBJECT SITE

As discussed in Sections 5.3, 6.2, and 6.4, the site was identified as the location of a former hazardous waste generator, a petroleum release, underground storage tanks and a SPILLS complaint. No other environmentally significant listings were identified at the location of the subject site. This is consistent with the use and history of the site.

8.3 SURROUNDING PROPERTIES

LOGIC conducted a thorough evaluation of surrounding properties based upon the database report. LOGIC also performed additional investigation in the form of field reconnaissance and government records review. The database identified the following properties within the applicable radii:

1. LaVista Oil 957 LLC

Address:	4121 LaVista Road
Listing Basis:	Leaking Underground Storage Tanks/Resource Conservation & Recovery Act - Former Hazardous Waste Generator

As discussed in Section 7.2, this south adjacent property supported a gas station. A petroleum release was reported to the Georgia EPD in 1993. During that time, the maximum benzene concentration in groundwater was 3,080 ug/L. A CAP-A was approved in June 1999 and eight monitoring wells were installed. Groundwater monitoring events were performed for the next three years. Groundwater was determined to flow south. In July 2001, the maximum benzene concentration in groundwater decreased to 530 ug/L. Based on the general decreasing trends in contamination and stability of the contamination plume, the Georgia EPD granted no-further-action-required determination for the release in June 2002.

In December 2003, three 10,000-gallon tanks (one used for diesel fuel and two used for gasoline) and a 1,000-gallon tank for used oil were removed from the property. Soil samples were analyzed for BTEX, PAHs, and total petroleum hydrocarbon (gasoline and diesel range organics). BTEX concentrations in all soil samples were below applicable threshold levels. PAHs, TPH-DRO and TPH-GRO were not detected above laboratory reporting limits in any of the soil samples. Based on the data, the Georgia EPD resolved the release with a no-further-action-required determination in February 2004. Groundwater data indicated groundwater at this

property flowed to the south, away from the site. Also, no impacts from this source were detected during prior on-site groundwater sampling, which is discussed further in Section 5. Based on the topography and groundwater flowing south and away from the subject site, no threat to the subject site is likely.

Lastly, this facility was identified as a former generator of hazardous waste. Gas stations typically register based on their potential to generate hazardous waste during tank cleaning activities. No threat to the site is suggested.

2. Northlake Shopping Center

Address: 4131/4135/4145 LaVista Road
Listing Basis: HSRA Notification

As discussed in Section 7.2, this shopping center was situated on the south side of LaVista Road, about 200 feet southeast of the site. Prior to the redevelopment of the south adjacent gas station (discussed as Item 1, above,) the south portion of that property was included in this shopping center and historically supported a dry cleaner from at least as early as 1994 to 2003. The former dry cleaning building was located about 325 feet south of the site. A Phase II investigation performed in 2002 identified perchloroethylene (perc, a dry cleaning solvent) in groundwater sampled from one of the prior petroleum release monitoring wells at up to 110 ug/L. Groundwater was reported to flow northeast, and away from the site. Based on the absence of nearby receptors, the Georgia EPD issued the release a non-listing determination, essentially the equivalent of a no-further-action-required status.

Additional soil and groundwater samples were collected in 2003 and reported to the Georgia EPD shortly after. At that time, perc concentrations ranged up to 10,200 ug/L, and breakdown products of perc (trichloroethene, cis-1,2-dichloroethene, etc) were also detected in groundwater. Again, based largely on the absence of nearby receptors and the restricted (paved) access to soil, the EPD declined to include the property on the Georgia Hazardous Site Inventory. Historical groundwater monitoring at the gas station indicated groundwater flow was to the south. However, the notification indicated groundwater flow was to the northeast (towards a ravine situated about 400 feet east of the site.) Based on distance and groundwater flow, no threat to the site is suggested.

3. Citgo Food Mart

Address: 4153 LaVista Road
Listing Basis: Leaking Underground Storage Tanks

This former gas station was located approximately 300 feet southeast of the subject site. A petroleum release was reported to the Georgia EPD in 2007 during the removal of four 10,000-gallon underground storage tanks. No new tanks were installed. Groundwater flow was determined to flow south and away from the site. This property is located downgradient from the subject site. Based on the distance, topography and groundwater flow to the south and away from the subject site, no threat to the subject site is likely.

4. Sears #1275

Address: Northlake Mall
Listing Basis: Leaking Underground Storage Tanks

This automobile shop was formerly located in the northwest end of Northlake Mall, situated about 2,000 feet northwest of the subject site. Prior to 1993, this property supported a 500-gallon underground storage tank for used oil. In December 1993 the tank was removed from the ground. During the tank closure, a release was reported to the Georgia EPD via a closure report in February 1994. After the closure report, no other documentation was submitted until December 1995 when the Georgia EPD issued a no-further-action-required finding for the tank closure. The lack of additional documentation likely indicates a lack in severity of the release. Predevelopment topography of the area indicates groundwater under this property likely flows to the southwest, away from the site. Based on the distance and intervening topography, no threat to the subject site is likely.

5. Other Environmentally Significant Properties Within One-Half Mile

The following properties were identified as the locations of petroleum releases (LUST), HSRA notifications (NONHSI), Brownfields properties (BF), and Environmental Protection Agency investigations (SEMS):

<u>Name</u>	<u>Address</u>	<u>Listing Basis</u>	<u>Location</u>
Fina (former)	LaVista @ Briarcliff	NONHSI	800' W
Weems Road Redevelopment	2037 Weems Road	BF, LUST, NONHSI, SEMS	1,000' SE
WSB-AM Radio Transmitter Site	4111 LaVista Road	LUST	1,100' SW
Former Shell	4030 LaVista Road	LUST	1,100' W
Pollo Tropical	4241 LaVista Road	BF, NONHSI, LUST	1,400' SE
MZZZ Com	4246 LaVista Road	LUST	1,400' E
MajikMarket	4279 LaVista Road	LUST	1,500' E
Stallion Investment	4271 LaVista Road	LUST	1,700' E
Dwight Harrison VW	2101 Northlake Pkwy	LUST	1,600' E
Mr. Pride Carwash	2081 Northlake Pkwy	LUST	1,700' SE
Honey Baked Ham	3936 LaVista Road	NONHSI	1,800' SW
Former McEwen Lumber Co	3434 Montreal Industrial	NONHSI	2,000' S
Northlake Center	3900 LaVista Road	NONHSI, BF	2,400' SW

However, based on the intervening distance and/or topography that separates these properties from the site, no threat to the site is suggested.

8.4 VAPOR ENCROACHMENT

As noted in Section 2.3, LOGIC's investigation incorporated principals and methodologies of ASTM E2600-15 in evaluation of the site for possible vapor encroachment conditions. This included the evaluation of releases that fall within the approximate minimum search distances established by ASTM E2600-15. These search distances vary from 30 to 100 feet for sites situated topographically downgradient of the subject property to as much as one-third mile for releases that are situated directly upgradient from the site. LOGIC's Tier 1 screening identified the on-site release as a vapor encroachment condition.

SECTION 9

NON-STANDARD CONSIDERATIONS

9.1 SCOPE AND PURPOSE

Sections 1 through 8 of this report discuss the results of the investigation of the subject site as prescribed by ASTM and AAI standards. Neither LOGIC's investigation of the subject site nor this report include the collection of samples or any other investigation for the purpose of determining the possible presence or absence of asbestos, radon, mold, lead-based paint, and/or any other potential contaminants requiring specialized testing procedures or sampling. No assessment was conducted for the possible presence or absence of wetlands and no determination is offered with regard to the suitability of the subject site for development or for any other specific use or purpose. No soil or groundwater samples were collected as part of this assessment.

Notwithstanding these limitations, environmental and commercial real estate industry practice recognizes the applicability of certain environmental issues which are not covered by ASTM or AAI standards, but which are germane to a wide array of properties. These are discussed in brief in this section.

9.2 ASBESTOS-CONTAINING MATERIALS

No survey for asbestos-containing material was conducted in the course of this assessment. However, since the current on-site building was constructed after the general discontinuation of asbestos in the construction industry (around 1980), the potential for asbestos-containing material on the site is negligible. A final determination with regards to asbestos containing material is only possible through sampling and analysis, which is beyond the scope of this investigation.

9.3 WETLANDS

No survey to identify potential wetlands was conducted in the course of this investigation. The National Wetlands Inventory map did not depict any wetlands on or in the vicinity of the subject site. A copy of the wetlands map is included as Attachment F.

SECTION 10

FINDINGS AND CONCLUSIONS

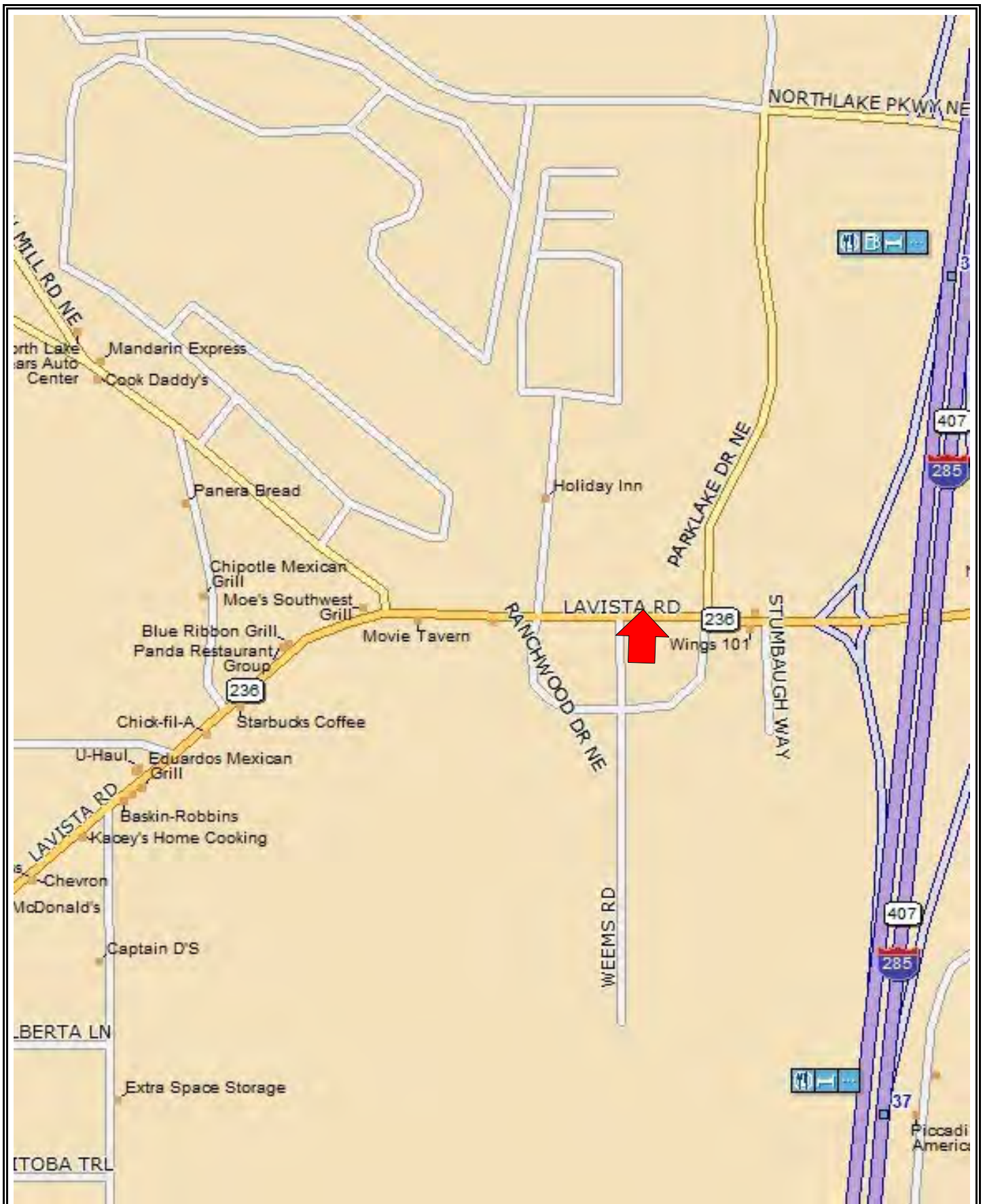
LOGIC has completed a Phase I Environmental Site Assessment of the Shell gas station property located at 4118 LaVista Road in Tucker, Georgia. This assessment has been completed in keeping with the standards prescribed by the American Society of Testing and Materials (ASTM E1527-13) and by the U.S. Environmental Protection Agency in 40 CFR 312. Any exceptions to, or deletions from, this practice are described in Section 2.4 of this report.

LOGIC's investigation identified the following historical recognized environmental conditions with respect to the site:

The site was impacted by a petroleum release originating from the on-site fueling system. The release was identified during a property transaction in 2006. Although residual petroleum remained in soil and groundwater at the site, the Georgia Environmental Protection Division issued the release a no-further-action-required finding based on the relatively stable nature of the contamination plume. As such, no further investigation is warranted with respect to this release. The potential presence of residual soil and groundwater impacts at the site represents a vapor encroachment condition. However, based on the distance and depth of these impacts from the on-site buildings, the threat of vapor intrusion appears low. As such, no further investigation is warranted with respect to vapor.

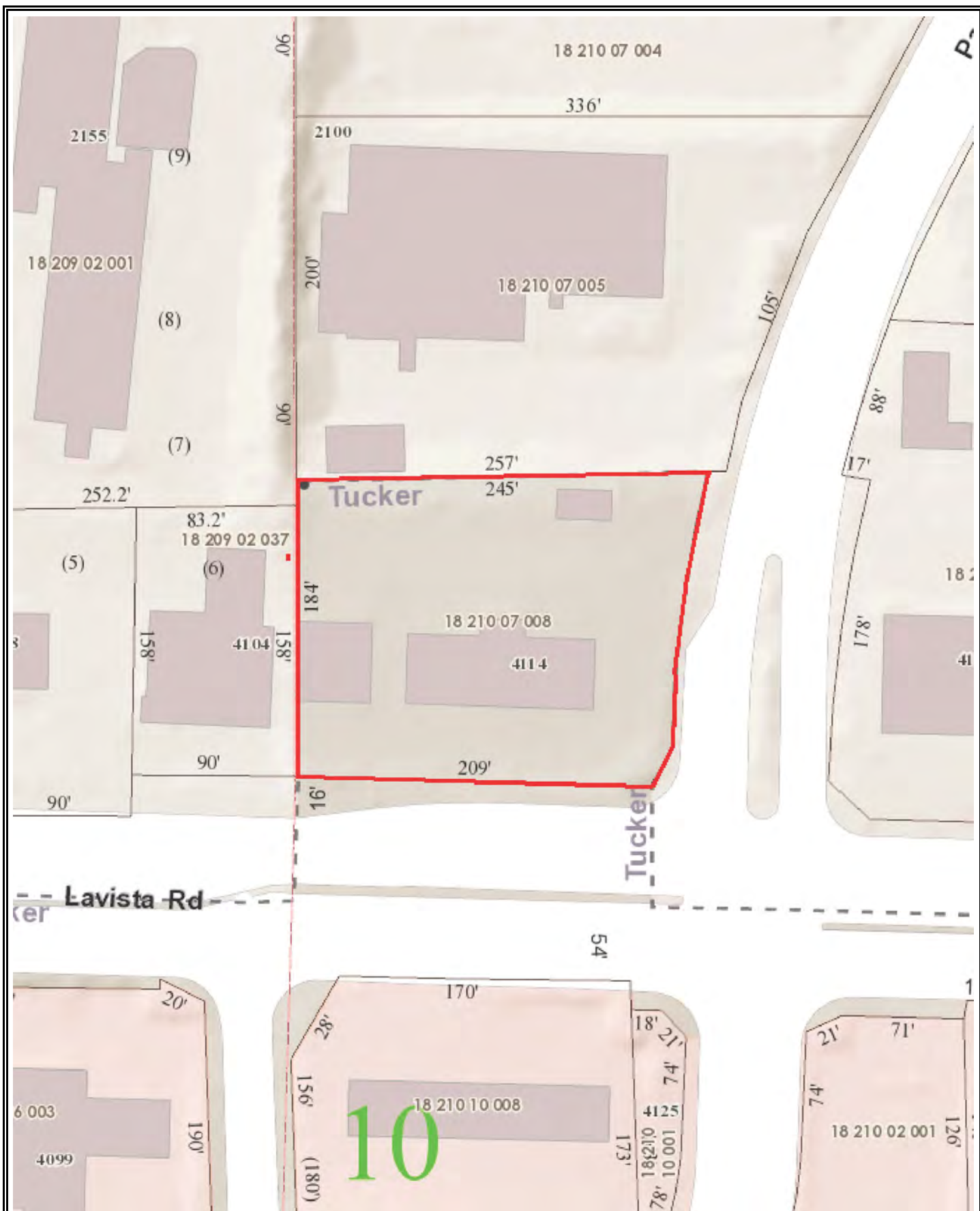
LOGIC identified no other recognized environmental conditions with respect to the site.

ATTACHMENTS



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT A SITE LOCATION MAP



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT B-1 TAX MAP



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT B-2 SITE SKETCH

ATTACHMENT C

SITE PHOTOS

Photo 1
Shell-branded Gas Station and
Convenience Store



Photo 2
Convenience Store Service Counter



Photo 3
Convenience Store Aisles

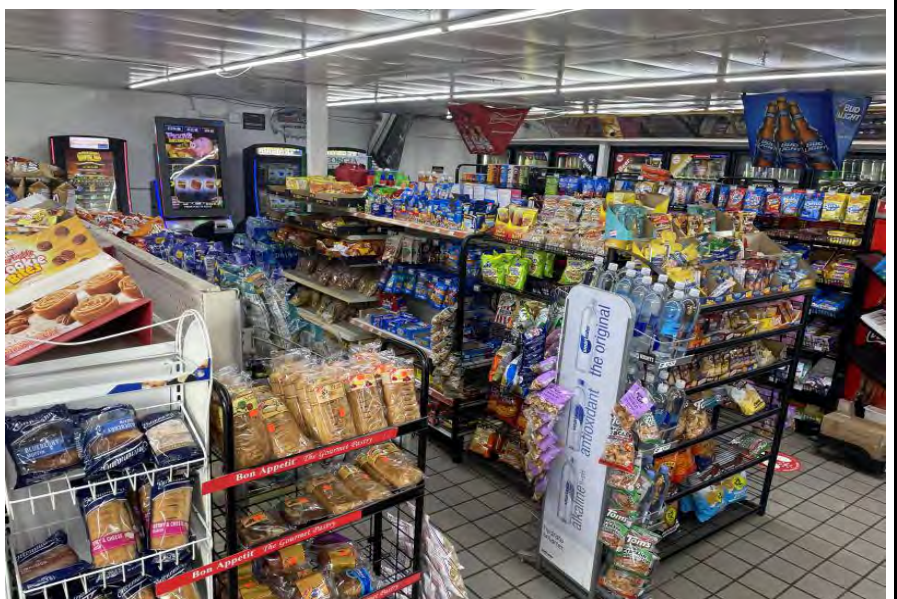


Photo 4
Convenience Store Coolers



Photo 5
Convenience Store Game Area



Photo 6
Convenience Store Office



Photo 7
Fuel Dispensers under Canopy
(Facing SW)



Photo 8
Fill Ports for Underground Storage
Tanks
(Facing S)



Photo 9
On-site Lube Shop



Photo 10
Lube Shop Garage



Photo 11
Lube Shop Subgrade Service Pit



Photo 12
Lube Shop Office



Photo 13
Lube Shop Aboveground Storage
Tank



Photo 14
Lube Shop Aboveground Storage
Tank



Photo 15
On-site carwash
(Facing N)



Photo 16
Waxing and Detailing Area
(Facing N-NE)



Photo 17
Debris along North Boundary
(Facing N)



Photo 18
Chemicals sold at Convenience
Store

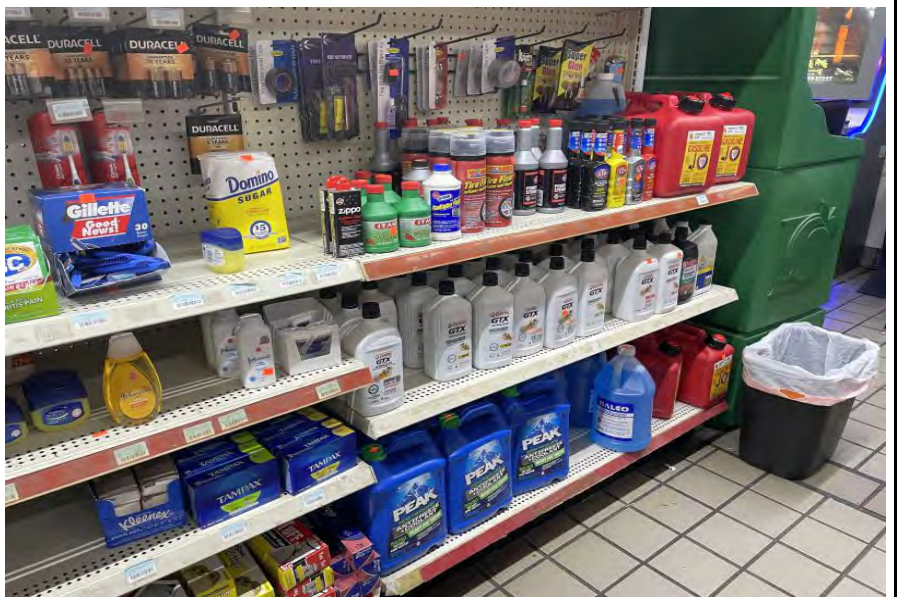


Photo 19
Lube Shop Motor Oil Drums



Photo 20
Lube Shop Motor Oil Totes



Photo 21
Carwash Chemicals



Photo 22
Carwash Chemicals



Photo 23
Dumpster Enclosure
(Facing N)



Photo 24
Used Oil Totes



Photo 25
Used Filter Bin
(Facing N)



Photo 26
Pad-Mounted Transformer
(Facing SW)



Photo 27
North Adjacent Office Suites
(Facing NW)



Photo 28
East Adjacent Bank
(Facing E)

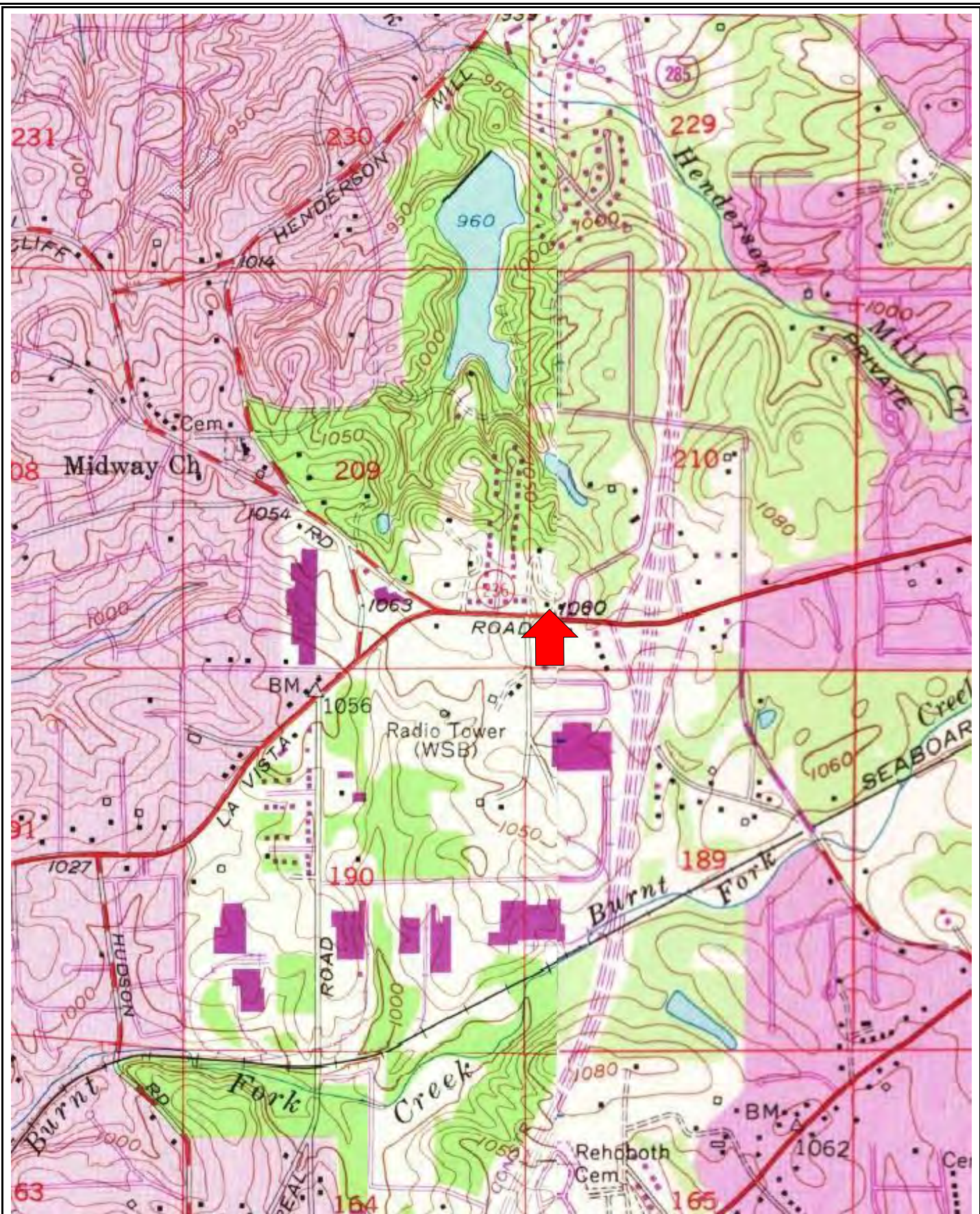


Photo 29
South Adjacent Gas Station
(Facing S)



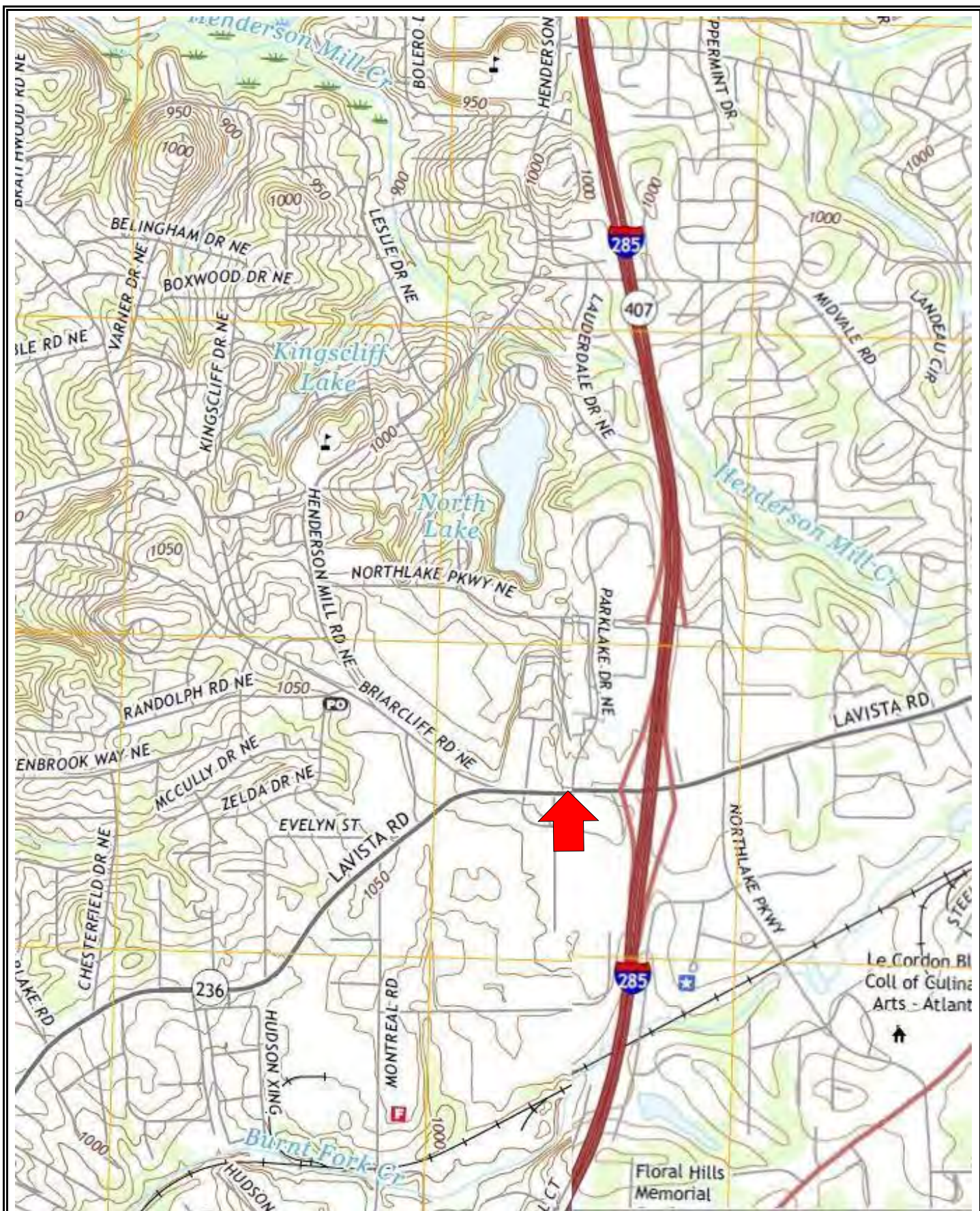
Photo 30
West Adjacent Shopping Strip
(Facing NW)





4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT D-1 TOPOGRAPHIC MAP (1954)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT D-2 TOPOGRAPHIC MAP (2017)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-1 AERIAL PHOTO (1959)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-2 AERIAL PHOTO (1968)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-3 AERIAL PHOTO (1971)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-4 AERIAL PHOTO (1974)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-5 AERIAL PHOTO (1989)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-6 AERIAL PHOTO (1999)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-7 AERIAL PHOTO (2008)



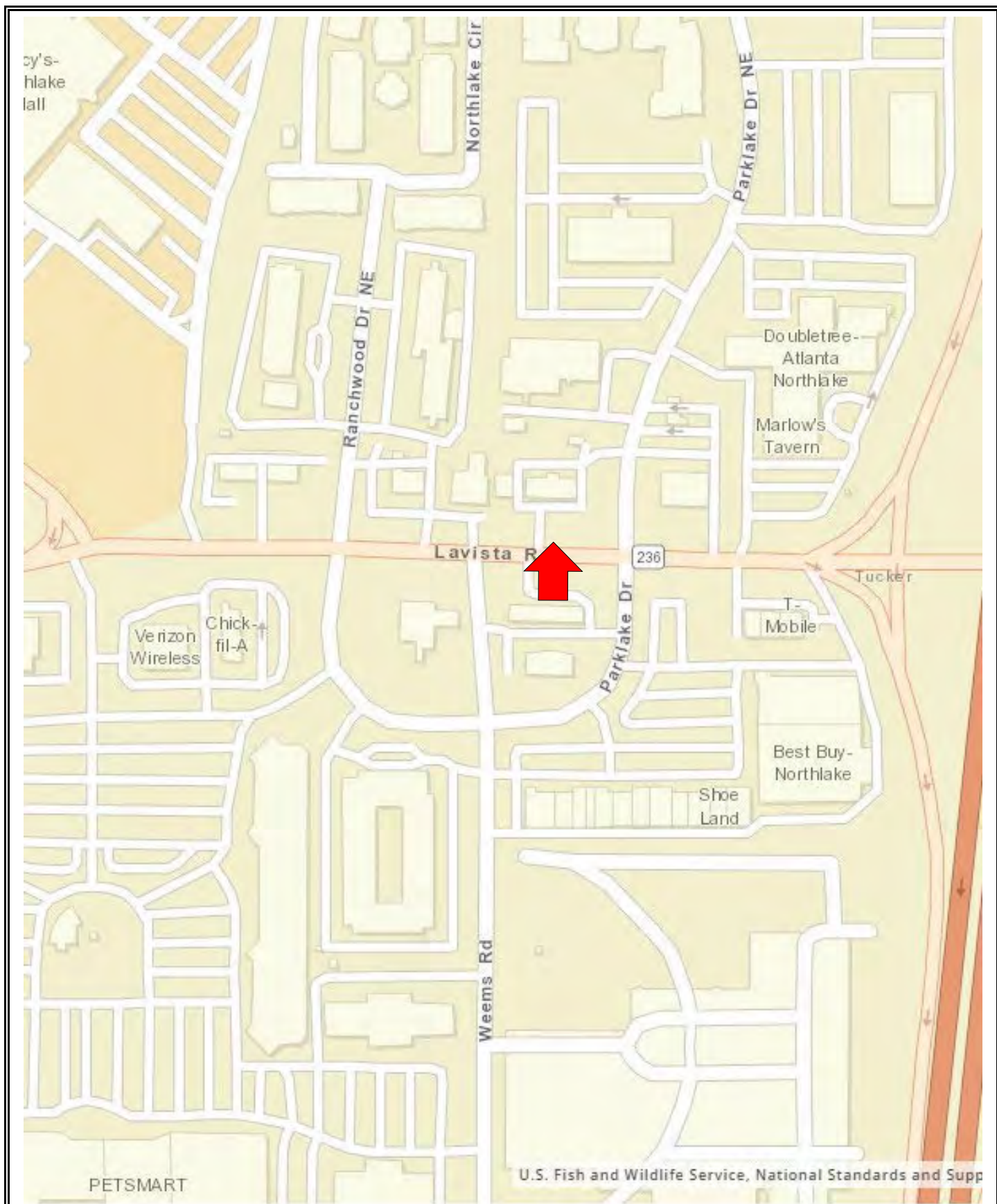
4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-8 AERIAL PHOTO (2014)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT E-9 AERIAL PHOTO (2020)



4118 LAVISTA ROAD, TUCKER, GEORGIA

ATTACHMENT F NATIONAL WETLANDS INVENTORY MAP

APPENDICES

APPENDIX 1

RESUMES OF LOGIC STAFF

Christopher Fonzi

Founder & Principal

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
President and Founder, 1997-Present

Atlanta Environmental Management, Inc., Atlanta, Georgia
Board of Directors, Regulatory Manager, 1992-1997

EnviroCare, Inc., Fort Lauderdale, Florida
Environmental Scientist, 1991-1992

University of Florida, Agriculture/Law Extension Program, Gainesville, Florida
Environmental Law Researcher and Writer, 1990-1992

PUBLISHED ARTICLES

"Between the Cracks: Petroleum Releases to Soil." Georgia Environmental Law Section Newsletter, May 1999.

"Un-Risky Business: Dealing with EPA's Accidental Release Prevention Rules." Carpet & Rug Industry Magazine, October 1996.

"How to Decipher those Environmental Reports." Atlanta Business Chronicle, November 7, 1997.

"Beyond Caprolactam - Calculating Air Emissions from Yarn Heatsetting and Dyeing Processes." with Terry O'Heron, Carpet & Rug Industry Magazine, November 1995.

"Inside Tips for Getting the Most from Environmental Assessment Reports." Real Estate Development & Asset Management, January 1998. Vol.6, No. 7.

EDUCATION

University of Florida, Gainesville, Florida
Juris Doctor, 1997

University of Florida, Gainesville, Florida
Bachelor of Science in Communications, 1988

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

The Florida Bar, 1991

The State Bar of Georgia, 1993

OSHA 40-Hour HAZWOPER Certification

Carlos Hidalgo

Senior Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Senior Environmental Scientist, 2007-Present

Georgia State University, Atlanta, Georgia
Adjunct Professor, 2009-Present

Georgia Perimeter College, Atlanta, Georgia
Adjunct Professor, 2006-2007

Broward Community College, Davie, Florida
Adjunct Professor, 1995-2005

Miami-Dade Community College, Miami, Florida
Adjunct Professor, 1993-1995

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation)

Phase II Environmental Assessments

- oversee drilling of temporary monitoring wells using a Geo-Probe unit
- collection of soil and groundwater samples
- assist clients in identifying and responding to contamination

Corrective Action Plans

- assess extent of contamination and evaluate remediation options
- prepare corrective action plans
- oversee installation of monitoring wells
- groundwater monitoring
- assist clients as liaison between clients and government environmental agencies

EDUCATION

Florida State University, Tallahassee, Florida
Master of Fine Art, 1990

University of Florida, Gainesville, Florida
Bachelor of Fine Art, 1988

Brandy Lipps

Vice President

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Vice President, 2007-Present

Groszmann Environmental Engineering Services, Roswell, Georgia
Environmental Associate, 2006

United States Geological Survey, Atlanta, Georgia
Hydrologic Technician Intern, 2005-2006

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation)

Site Characterization

- oversee drilling of temporary monitoring wells using a Geo-Probe unit
- collection of soil and groundwater samples
- assist clients in identifying and responding to contamination
- perform Vapor Intrusion Assessments, including soil gas sampling, sub-slab vapor sampling and indoor air sampling.

Brownfields and Hazardous Sites Response Program

- investigate soil and groundwater contamination
- prepare notification packages
- prepare corrective action plans and applications for limitation of liability for prospective purchasers
- assist clients in all stages of admittance to the Brownfields program
- prepare compliance status reports

Remediation

- oversee soil removal and in-situ chemical oxidation injections
- assist clients in fulfilling their reporting requirements and resolving releases with government agencies.

National Environmental Policy Act (NEPA)

- conduct NEPA reviews and assessments, including endangered species evaluation and Animal Feeding Operation permitting.

EDUCATION

University of Georgia, Athens, Georgia
Bachelor of Science, 2007

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

OSHA 40-Hour HAZWOPER Certification

Laura Bradshaw

Director of Assessment Services

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Director of Assessment Services, 2013-Present

Clayton State University Police Department, Morrow, Georgia
Police Dispatcher, 2008-2013

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation)

Phase II Environmental Assessments

- oversee drilling of temporary monitoring wells using a Geo-Probe unit
- collection of soil and groundwater samples
- assist clients in identifying and responding to contamination

Release Notifications

- prepare and submit release notifications to the Underground Storage Tank and Hazardous Waste Branches of the Georgia Environmental Protection Division.
- prepare mock-scoring to evaluate potential for being listed on the Georgia Hazardous Site Inventory.
- maintain communication between client and state agencies throughout the scoring process.

Petroleum Release Site Investigations

- prepare and submit petroleum release site investigations and Corrective Action Plans, to include GUST Trust Fund Documentation and reimbursement documents, for the Underground Storage Tank Branch of the Georgia Environmental Protection Division.

EDUCATION

Georgia State University, Atlanta, Georgia
Bachelor of Arts in History, Minor in Anthropology, 2012

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

OSHA 40-Hour HAZWOPER Certification

Paul Zoglman

Senior Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2015-Present

PHZ Consulting, Georgia
Consultant, 2010-2015

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation)

EDUCATION

Purdue University, West Lafayette, Indiana
Masters of Science in Operations Management, 1999

Purdue University, West Lafayette, Indiana
Bachelors of Science in Management, 1996

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

OSHA 40-Hour HAZWOPER Certification

Ellen Holbert

Environmental Manager, Florida District

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Manager, Florida District, 2017-Present
Environmental Scientist, 2016-2017

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation)

Phase II Environmental Assessments

- oversee drilling of temporary monitoring wells using a Geo-Probe unit
- collection of soil and groundwater samples
- assist clients in identifying and responding to contamination

Release Notifications

- prepare and submit release notifications to the Underground Storage Tank Branch of the Georgia Environmental Protection Division.

Drinking Water Sampling Assessments

- collection of drinking water samples
- assist clients in identifying and responding to contamination

EDUCATION

Florida State University, Tallahassee, Florida
Bachelor of Arts in Environmental Studies, Minor in Geography, 2015

Selected Curriculum:

- Water Resources
- Remote Sensing Methods

Rebecca Daniels

Ecological Services Coordinator

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Ecological Services Coordinator, 2018-Present
Environmental Scientist, 2016-2018

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation)

National Environmental Policy Act (NEPA)

- conduct NEPA reviews and assessments, including endangered species, historic resource and cultural resource evaluations.

Wetland Delineations

- identify and delineate wetland boundaries, including the identification of wetland plants, hydric soils and the evidence of hydrology.

EDUCATION

Utah State University, Logan, Utah
Graduate Certificate in National Environmental Policy Act, Current Student
Selected Curriculum:
- Managing the NEPA Process

Auburn University, Auburn, Alabama
Bachelor of Science in Wildlife Ecology and Management, 2014
Selected Curriculum:
- Natural Resource Management
- Environmental Policy

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

Richard Chinn Environmental Training, Athens, Georgia
- Wetland Delineation Training, July 2017

Lindsay Patterson

Senior Environmental Engineer

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Engineer, 2017-Present

River to Tap, Inc., Roswell, Georgia
Environmental Engineer Intern, 2013-2015

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

Storm Water Pollution Prevention Plans

- prepare storm water pollution prevention plans (including performing storm water sampling, site mapping, report preparation, and annual updates.)

Lead-Based Paint Inspections and Risk Assessments

- perform inspections and risk assessments to determine the presence of lead-based paint and make recommendations for the minimization of its associated risks (including performing paint sampling, dust sampling, soil sampling, drinking water sampling, and report preparation.)

EDUCATION

Georgia Institute of Technology, Atlanta, Georgia
Bachelor of Science in Engineering, 2013

Selected Curriculum:

- Water, Air, and Soil Pollution
- Sustainability
- Hazardous Materials

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

The Environmental Institute, Marietta, Georgia

- Lead Inspector: EPA Target Housing and Child-Occupied Facilities
- Lead Risk Assessor: EPA Target Housing and Child-Occupied Facilities

EPA and Georgia-Certified Lead Inspector and Risk Assessor

Dennis E. Brunner, P.G.

Senior Professional Geologist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Senior Professional Geologist, 2018-Present

Independent Environmental Consultant, Woodstock, Georgia
Independent Consultant, 2017-2018

EnviroPro Services, Norcross, Georgia
Project Manager, 2016-2017

Independent Environmental Consultant, Woodstock, Georgia
Independent Consultant 2014-2016

Antea Group, Norcross, Georgia
Project Manager 2008-2014

SELECTED PROJECT EXPERIENCE

Site Characterization

- prepare scopes of work and work plans for completion of assessment activities.
- perform sample collection of soil, soil vapor and groundwater samples for laboratory analysis using direct push technology and traditional rotary drilling methods.
- oversee installation of temporary and permanent groundwater monitoring wells.
- utilize specialized sampling equipment including photoionization detectors, multi-parameter water analysis meters, nuclear density meter, and groundwater interface probes.

Remediation

- oversee soil removal, UST removals, soil stabilization, slurry wall installation, synthetic cap installation, and in-situ chemical oxidation injection projects.
- assist clients in fulfilling their reporting requirements and resolving releases with government agencies.

Project Management

- manage all phases of environmental site assessment and remediation projects.
- prepare cost estimates, evaluate contractor qualifications, develop project scopes of work, specifications, and workplans, oversee data collection activities, prepare reports, and maintain client relationships.

EDUCATION

Indiana University of Pennsylvania, Indiana, Pennsylvania
Bachelor of Science in Geology, 1973

University of Pittsburgh, Pittsburgh, Pennsylvania
Advanced Studies in Civil Engineering and Geology, 1975-1976

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

OSHA 40-Hour HAZWOPER Certification

Registered Professional Geologist in Georgia and Alabama

Ciara Seabolt

Geologist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2018-Present

C. Robin Wyatt, P.C., Loganville, Georgia
Pre-Closing Assistant, 2012-2018

SELECTED PROJECT EXPERIENCE

Site Characterization

- prepare scopes of work and work plans for completion of assessment activities.
- perform sample collection of soil and groundwater samples for laboratory analysis using direct push technology and traditional rotary drilling methods.
- oversee installation of temporary and permanent groundwater monitoring wells.
- utilize specialized sampling equipment including photoionization detectors, multi-parameter water analysis meters, and groundwater interface probes.
- perform Vapor Intrusion Assessments, including soil gas sampling, sub-slab vapor sampling and indoor air sampling.

EDUCATION

The University of Georgia, Athens, Georgia
Bachelor of Science in Geology, 2017

Georgia Perimeter College, Covington, Georgia
Associates of Science in Geology, 2015

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

OSHA 40-Hour HAZWOPER Certification

Renee Kuraly

Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2019-Present

US Geological Survey, Norcross, Georgia
Hydrologic Technician, July - November 2019

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

Brownfields and Hazardous Sites Response Program

- investigate soil and groundwater contamination
- prepare notification packages
- prepare corrective action plans and applications for limitation of liability for prospective purchasers
- assist clients in all stages of admittance to the Brownfields program
- prepare compliance status reports

EDUCATION

University of Georgia, Athens, Georgia
Bachelor of Science in Environmental Science, 2019

Nicole Kovach

Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Jacksonville, Florida
Environmental Scientist, 2020-Present

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation)

National Environmental Policy Act (NEPA)

- conduct NEPA reviews and assessments, including endangered species, historic resource and cultural resource evaluations.

EDUCATION

University of North Florida, Jacksonville, Florida
Bachelors of Science in Biology, 2017

Eastern Florida State College, Melbourne, Florida
Associate of Science in Biology, 2015

Cyra Malec

Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2020 - Present

Catalina Island Conservancy, Avalon, California
Naturalist, June - September, 2019

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

Asbestos Inspections and Assessments

- perform inspections and risk assessments to determine the presence of asbestos containing materials for the minimization of its associated risks (including performing bulk sampling and report preparation.)

EDUCATION

University of Georgia, Athens, Georgia
Bachelor of Arts in Ecology, 2018

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

AHERA Asbestos Inspector

Joel Woods

Geologist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2021 - Present

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

EDUCATION

Purdue University, West Lafayette, Indiana
Bachelor of Science in Geology & Geophysics, 2020

Sarah Hickey

Geologist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Geologist, 2021 - Present

United States Geological Survey, Norcross, Georgia
Student Volunteer, 2015-2016

SELECTED PROJECT EXPERIENCE

Phase II Environmental Assessments

- collection of soil and groundwater samples using direct-push and rotary methods.
- assist clients in identifying and responding to contamination.
- well surveys.

EDUCATION

Colorado School of Mines, Golden, Colorado
Master of Science in Hydrology, 2020

University of Georgia, Athens, Georgia
Bachelor of Science in Geology, 2016

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

OSHA 40-Hour HAZWOPER Certification

Maya Opara-Nadi

Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2021 - Present
Administrative Assistant, 2020 - 2021

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments
- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

EDUCATION

Valdosta State University, Valdosta, Georgia
Bachelor of Arts in Biology, 2021

Jenny Schildecker

Director of Geologic Services

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Director of Geologic Services, 2021-Present
Director of Geologic Services, 2011-2017

Sharp Telecommunications of Europe
Mobile Phone Tester & French Translator, 2011

University of Leicester
Postgraduate Demonstrator, 2009-2010

Université de Pau, Pau, France
Scientific English Language Teacher, 2008-2009

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation)

Phase II Environmental Assessments

- oversee drilling of temporary monitoring wells using a Geo-Probe unit
- collection of soil and groundwater samples
- assist clients in identifying and responding to contamination

Release Notifications

- prepare and submit release notifications to the Underground Storage Tank and Hazardous Waste Branches of the Georgia Environmental Protection Division
- prepare mock-scoring to evaluate potential for being listed on the Georgia Hazardous Site Inventory

Petroleum Release Site Investigations

- prepare and submit petroleum release site investigations and Corrective Action Plans, to include GUST Trust Fund Documentation and reimbursement documents, for the Underground Storage Tank Branch of the Georgia Environmental Protection Division

EDUCATION

University of Leicester, Leicester, UK
One year of an applied and environmental geology PhD, "Active and ancient geothermal systems in Tethyan ophiolites as examples of novel solutions for natural CO₂ sequestration", 2008-2009

University of St. Andrews, St. Andrews, UK
Bachelor of Science in Geoscience, Minor in French, 2008

TRAINING, CERTIFICATIONS & PROFESSIONAL REGISTRATIONS

OSHA 40-Hour HAZWOPER Certification

Harris Duling

Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2021 - Present

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments

- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

EDUCATION

Lehigh University, Bethlehem, Pennsylvania
Bachelor of Science in Earth and Environmental Science, 2020

Marco Sperkacz

Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Jacksonville, Florida
Environmental Scientist, 2021 - Present

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments
- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

EDUCATION

University of Florida, Gainesville, Florida
Bachelor of Science in Geology, 2020
Bachelor of Arts in Economics, 2020

Meredith Starks

Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2021 - Present

Fair Shake Environmental Legal Services, Pittsburgh, Pennsylvania
Water & Air Pollution Research Fellow, May-August, 2020

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments
- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

EDUCATION

Rollins School of Public Health, Emory University, Atlanta, Georgia
Master of Public Health in Environmental Health, 2021

Emory University, Atlanta, Georgia
Bachelor of Science in Environmental Science and Bachelor of Arts in Biology, 2020

Laura A. Dupont

Environmental Scientist

SUMMARY OF PROFESSIONAL EMPLOYMENT

Logic Environmental, Inc., Duluth, Georgia
Environmental Scientist, 2021 - Present

SELECTED PROJECT EXPERIENCE

Phase I Environmental Assessments
- perform and assist in site assessment investigations (including historical research, site inspections, government file review and report preparation.)

EDUCATION

The University of Georgia, Athens, Georgia
Master of Science in Geology, 2021

The University of Georgia, Athens, Georgia
Bachelor of Science in Geology, 2017
Bachelor of Arts in Anthropology, 2017

APPENDIX 2

HISTORICAL DOCUMENTATION

Deed Book 20307 Pg 461
Filed and Recorded Sep-18-2007 09:11am
2007-0167628
Real Estate Transfer Tax \$1,650.00
Linda Carter
Clerk of Superior Court
DeKalb County, Georgia

SPACE ABOVE THIS LINE FOR RECORDER'S USE

This instrument prepared by:
Mills & Moss, LLC
1550 North Brown Rd., Ste 130
Lawrenceville, GA 30043

LIMITED WARRANTY DEED

This Limited Warranty Deed, dated to be effective as of the 7th day of September, 2007 ("**Effective Date**"), is by and between **SAM'S REAL ESTATE HOLDINGS-GEORGIA, LLC, a North Carolina limited liability company**, with offices located at 7935 Council Place, Suite 200, Matthews, North Carolina 28105 ("**Grantor**") and **GLOBAL IMPEX, INC., a Georgia corporation**, with offices located at 2775 Cruse Road, Suite 1902, Lawrenceville, Georgia 30044 ("**Grantee**").

WITNESSETH:

In consideration of the sum of TEN AND NO/100 DOLLARS and the mutual covenants and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor does hereby GRANT, BARGAIN, SELL and CONVEY unto Grantee, its successors and assigns forever, all of Grantor's right, title and interest, if any, in and to the Premises more particularly described in Exhibit "A" attached hereto and made a part hereof (the "**Premises**"), together with any buildings, fixtures and improvements owned by Grantor and located thereon;

Together with all right, title and interest, if any, of Grantor in and to any streets and roads abutting the Premises to the center lines thereof, plus all the estate and rights of Grantor in and to any easements, rights, privileges, appurtenances and other hereditaments appurtenant to the Premises;

This conveyance is made by Grantor and accepted by Grantee subject to all encumbrances, rights of way and other matters of record affecting same to the extent that the same are currently valid and enforceable against the Premises.

TO HAVE AND TO HOLD the Premises unto Grantee, its successors and assigns forever; but:

SUBJECT to the Permitted Encumbrances set forth on Exhibit "B"

IN ADDITION TO THE FOREGOING, Grantor grants the Premises to Grantee subject to the following covenants and restrictions:

1. From and after the Effective Date until September 30, 2027 ("**Termination Date**"), if motor fuel is stored, advertised or sold at or from the Premises, the gasoline stored, advertised or sold shall be sold under the "Shell" trademark ("**Brand Covenant**") and Supplied by LSAA, LLC or its successors or assigns. The Brand Covenant shall expire automatically on the Termination Date without need for filing a release, or other action of either Grantor or Grantee. The Premises and every portion thereof shall be improved, held, used, occupied, leased, sold, hypothecated, encumbered and conveyed subject to the Brand Covenant. The Brand Covenant and the remedies for breach thereof, as provided in the Branding Agreement, shall run with the land, and pass with each and every portion of the Premises, and shall apply to and bind the respective successors in interest thereof. The Brand Covenant is imposed upon the entire Premises.

2. Grantor has granted, and the Premises are conveyed subject to, a right of first refusal ("**Right of First Refusal**") to purchase the Premises to Motiva Enterprises, a Delaware limited liability

company ("**Motiva**") as contained in a deed from Motiva to Grantor which is being recorded the same day as this instrument. The Right of First Refusal shall expire automatically on the Termination Date, without need for filing a release, or other action of either Grantor or Grantee.

3. Grantee covenants and agrees that it shall not install any well or other tank, pump or related equipment for the use or storage of potable water at the Premises. Grantee covenants and agrees that it shall not improve or use the Premises for residential purposes. Each of these covenants shall run with the Premises, and pass with each and every portion of the Premises, and shall apply to and bind the respective successors in interest thereof.

4. Grantee accepts this instrument subject to the terms and provisions of the Purchase Agreement (Future Conveyances/Leases), including but not limited to the provisions relating to the requirements relating to subsequent conveyances or leases of the Premises.

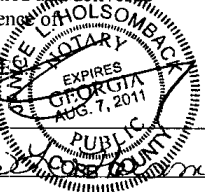
SUBJECT to the foregoing, Grantor covenants with Grantee that Grantor will warrant and defend title to the Premises against the lawful claims of all persons claiming by, through, or under Grantor, but not otherwise. The preceding sentence is for the benefit of Grantee and the parties now or hereafter constituting Grantee and may not be relied on or enforced by any other entity, including, without limitation, any direct or remote successor in title to Grantee or any title insurer of Grantee or its direct or remote successors in title, by way of subrogation or otherwise.

IN WITNESS WHEREOF, Grantor has caused this Limited Warranty Deed to be duly executed on the day and year first above written.

Signed, sealed and delivered
in the presence of

Sam's Real Estate Holdings – Georgia, LLC

WITNESS


J. L. Holsombeck

By: N. Hanbali
Naser Hanbali, Vice President

STATE OF Georgia)
COUNTY OF Cobb) SS.

The within and foregoing instrument was acknowledged before me this 7th day of September, 2007, by Naser Hanbali the Vice President of **Sam's Real Estate Holdings – Georgia, LLC**, a North Carolina limited liability company, on behalf of the company.

Witness my hand and official seal.

My commission expires:

Exhibit A - Legal Description of Premises
Exhibit B – Permitted Encumbrances

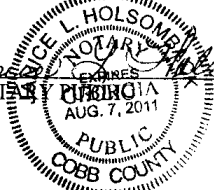

J. L. Holsombeck

EXHIBIT "A"

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 210 OF THE 18TH DISTRICT OF DEKALB COUNTY, GEORGIA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION FORMED BY THE WEST LINE OF SAID LAND LOT 210 AND THE NORTH LINE OF THE NEW RIGHT-OF-WAY OF LAVISTA ROAD, SAID RIGHT-OF-WAY LINE BEING 65.5 FEET NORTH FROM THE CENTERLINE OF SAID ROAD; RUNNING THENCE ALONG SAID LAND LOT LINE NORTH 00 DEGREES 21 MINUTES 40 SECONDS EAST A DISTANCE OF 184.51 FEET; THENCE SOUTH 88 DEGREES 20 MINUTES 44 SECONDS EAST 244.2 FEET TO THE WESTERN SIDE OF A PROPOSED ROAD; THENCE SOUTHERLY ALONG THE CURVATURE OF THE WESTERN SIDE OF SAID PROPOSED ROAD; SAID CURVE BEING SUBTENDED BY A RADIUS OF 785.34 FEET, A CHORD BEARING OF SOUTH 05 DEGREES 26 MINUTES 53 SECONDS EAST, A CHORD DISTANCE OF 158.98 FEET, FOR A DISTANCE OF 157.24 FEET TO A POINT; THENCE ALONG SAID RIGHT-OF-WAY LINE SOUTH 39 DEGREES 09 MINUTES 12 SECONDS WEST, 35.06 FEET TO A POINT; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF LAVISTA ROAD NORTH 66 DEGREES 20 MINUTES 46 SECONDS WEST A DISTANCE OF 208.50 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINING 43,673 SQUARE FEET OR 1.002 ACRES AS SHOWN ON ALTA/ACSM LAND TITLE SURVEY FOR SHELL CENTRAL, COORDINATED BY INTERNATIONAL LAND SERVICES, INC., JOB NUMBER 05-12-008-125, DATED JANUARY 20, 2006 LAST REVISED SEPTEMBER 21, 2006, AND FINALLY REVISED ON DECEMBER 5, 2006.

TOGETHER WITH ANY AND ALL INTEREST, IF ANY, IN THAT CERTAIN ACCESS AGREEMENT FROM MOTIVA ENTERPRISES, LLC TO SAM'S REAL ESTATE HOLDINGS-GEORGIA, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY DATED DECEMBER 19, 2006, AS RECORDED IN DEED BOOK 19,507, PAGE 387, DEKALB COUNTY PUBLIC RECORDS.

EXHIBIT B
PERMITTED EXCEPTIONS

4118 Lavista Rd., Atlanta, Georgia

1. All taxes for the years subsequent to 2006 and any additional taxes due as a result of a reassessment or a rebilling of the subject property.
2. This policy of title insurance affords assurance as to the location of the boundary lines of the subject property, but does not insure the engineering calculations in computing the exact amount of acreage contained therein.
3. Conveyance of Access Rights by and between the Department of Transportation, State of Georgia, and Texaco Refining & Marketing Inc., dated August 10, 1987, filed for record August 14, 1987 at 8:29 a.m., recorded in Deed Book 5917, Page 248, Records of DeKalb County, Georgia.
4. Oil, gas and other mineral rights reserved in Limited Warranty Deed from Texaco Refining and Marketing Inc., a Delaware corporation, to Star Enterprise, a New York general partnership, dated June 20, 1989, effective as of December 31, 1988, filed for record November 27, 1989 at 8:30 a.m., recorded in Deed Book 6579, Page 252, aforesaid Records.
5. Oil, gas and other mineral rights reserved in Special Warranty Deed from Star Enterprise, a New York general partnership, to Motiva Enterprises LLC, a Delaware limited liability company, dated October 1, 1998, filed for record October 23, 1998 at 2:45 p.m., recorded in Deed Book 10262, Page 101, aforesaid Records.
6. All matters shown and disclosed on ALTA/ACSM Land Title Survey coordinated by International Land Services, Inc., bearing the seal and certification of Kenneth L. Nutt, Georgia Registered Land Surveyor No. 2104, Project Name Shell Central, Job Number 05-12-008:125, dated January 20, 2006, last revised December 13, 2006, as follows:
 - (a) 75 foot building line located along the variable right of way of LaVista Road a/k/a State Route 236;
 - (b) 20 foot side building line located along the westerly boundary line of the subject property;
 - (c) 30 foot side building line located along the easterly boundary line of the subject property;
 - (d) 5 foot rear building line located along the northerly boundary line of the subject property;

- (e) store building encroaches onto the 75 foot building line located along the variable right of way of LaVista Road a/k/a State Route 236; and
 - (f) Rapid Lube building encroaches onto the 75 foot building line located along the variable right of way of LaVista Road a/k/a State Route 236 and the 20 foot side building line located along the westerly boundary line of the subject property.
7. Access Agreement by and between Motiva Enterprises LLC, a Delaware limited liability company, and Sam's Real Estate Holdings-Georgia, LLC, a North Carolina limited liability company, dated as of December 19, 2006, filed for record December 26, 2006 at 2:40 p.m., recorded in Deed Book 19507, Page 387, aforesaid Records.
 8. Deed to Secure Debt, Security Agreement, Fixture Filing, Assignment of Rents and Leases and Financing Statement from Sam's Real Estate Holdings - Georgia, LLC, a North Carolina limited liability company, to Wachovia Bank, National Association, a national banking association, dated as of December 19, 2006, filed for record December 26, 2006 at 2:40 p.m., recorded in Deed Book 19507, Page 441, aforesaid Records.
 9. UCC Financing Statement having Sam's Real Estate Holdings - Georgia, LLC, as Debtor and Wachovia Bank, National Association, as Administrative Agent, as Secured Party, filed for record December 26, 2006 at 2:40 p.m., recorded in Deed Book 19507, Page 467, aforesaid Records.
 10. Matters disclosed on the Limited Warranty Deed from Motiva Enterprises, LLC to Sam's Real Estate Holdings-Georgia, LLC, dated December 19, 2006, and filed December 26, 2006, in Deed Book 19507, Page 354, aforesaid records.

Deed Book 20307 Pg 465
Linda Carter
Clerk of Superior Court
DeKalb County, Georgia

DATA CHART

For use with
Petro Tite

Station # 4440158

1- Location: 4118 Lavista Rd., Tucker, GA 30084
Street No. City Zip code

Date: 01/21/2021

Tel: 770-723-5854

2- Owner: Suhel Kazani
Name

3-Operator: Shell
Company name

4- Reason for test: **ANNUAL TEST**

5-Test requested by: Suhel
Name

Owner
Position

678-656-6662
Tel.

6-Special instructions: ----

7-Contractor or Company Making the Test: CTE
Company name

John Brown
Technician

8- Contractor or Company Making the Test Phone Number: 678 673 6270

9-Make and Type of Pump or Dispenser: **FE-Petro**
Suction or submersible

10- Weather 48 F

11- identify each line as tested	12-Time military	13-Log of Test Procedures Ambient Temp., weather, etc.	14-Pressure		15- Volume			16- Remarks Conclusions, repair and comments
			Psi or Kpa		Reading GPH		Net change	
			before	after	before	after		
Reg 1	13:00	Hook up with dispensers: 5 & 6						2” Fiber Line
	13:00	Start Test	0	50				
	13:15		50	50	0.064	0.064	+0.000	
	13:30		50	50	0.064	0.064	+0.000	
	13:45		50	50	0.064	0.064	+0.000	
		Bleed Back	50	0	0.030	0.078	+0.048	
Reg 2	13:00	Hook up with dispensers: 5 & 6						2” Fiber Line
	13:00	Start Test	0	50				
	13:15		50	50	0.064	0.064	+0.000	
	13:30		50	50	0.064	0.064	+0.000	
	13:45		50	50	0.064	0.064	+0.000	
		Bleed Back	50	0	0.000	0.041	+0.041	
Prem	13:00	Hook up with dispensers: 5 & 6						2” Fiber Line
	13:00	Start Test	0	50				
	13:15		50	50	0.064	0.064	+0.000	
	13:30		50	50	0.064	0.064	+0.000	
	13:45		50	50	0.064	0.064	+0.000	
		Bleed Back	50	0	0.010	0.053	+0.043	

CTE

99 Bledsoe Rd., Newnan, GA 30265. aj@ctega.com. Tel 678 673 6270. Fax 678 621 0051

Diesel	13:00	Hook up with dispensers: 5 & 6						2” Fiber Line
	13:00	Start Test	0	50				
	13:15		50	50	0.064	0.064	+0.000	
	13:30		50	50	0.064	0.064	+0.000	
	13:45		50	50	0.064	0.064	+0.000	
		Bleed Back	50	0	0.010	0.039	+0.029	
18-Test results	Line ID	Pass/Fail	Net volume change			Date of test		17-Contractor Certification # 1d602e16 Technician signature <i>John Brown</i>
	Reg 1	PASS	+0.000 GPH			01/21/2021		
	Reg 2	PASS	+0.000 GPH			01/21/2021		
	Prem	PASS	+0.000 GPH			01/21/2021		
	Diesel	PASS	+0.000 GPH			01/21/2021		

Test Date: 01/21/2021
Test Company: CTE
Conducted By: John Brown

Facility Name: Shell
Facility Address: 4118 Lavista Rd.
City: Tucker, GA 30084
Facility # 4440158

19- Leak Detector Test

Sump. #	1	2	3	4
Product	Reg-1	Reg-2	Prem	Diesel
Test Method	Petro Tite	Petro Tite	Petro Tite	Petro Tite
LD Manufacturer	Red Jacket	Red Jacket	Red Jacket	Vaporless
LD Model	FX1V	FX1V	FX1V	LD2200
LD Serial number	512164659	401131839	403078350	17021249
Running Pressure (Psi)	30	30	26	28
Detecting Pressure (Psi)	9	9	9	9
LD testing Rate (GPH)	3.0	3.0	3.0	3.0
Holding pressure	15	15	14	14
Resiliency	22	21	21	20
Opening Time (Sec)	3	3	3	4
Result	PASS	PASS	PASS	PASS

OVERFILL VERIFICATION:

PROVIDED WITH FLAPPER VALVES.

TANK LEAK TEST HISTORY

C 1:REGULAR

LAST GROSS TEST PASSED:
JUL 21, 2021 2:34 AM
STARTING VOLUME= 5260
PERCENT VOLUME = 45.2
TEST TYPE = STANDARD

LAST ANNUAL TEST PASSED:

NO TEST PASSED:

FULLEST ANNUAL TEST PASS

NO TEST PASSED

LAST PERIODIC TEST PASS:
JUL 21, 2021 2:44 AM
TEST LENGTH 16 HOURS
STARTING VOLUME= 4066
PERCENT VOLUME = 35.0
TEST TYPE = CSLD

FULLEST PERIODIC TEST
PASSED EACH MONTH:

JAN 15, 2021 2:53 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 3629
PERCENT VOLUME = 31.2
TEST TYPE = CSLD

MAR 2, 2021 3:03 AM
TEST LENGTH 26 HOURS
STARTING VOLUME= 2863
PERCENT VOLUME = 24.6
TEST TYPE = CSLD

FEB 13, 2021 1:15 AM
TEST LENGTH 19 HOURS
STARTING VOLUME= 3160
PERCENT VOLUME = 27.2
TEST TYPE = CSLD

APR 23, 2021 3:49 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 3872
PERCENT VOLUME = 33.3
TEST TYPE = CSLD

MAR 2, 2021 3:03 AM
TEST LENGTH 26 HOURS
STARTING VOLUME= 2863
PERCENT VOLUME = 24.6
TEST TYPE = CSLD

MAY 23, 2021 3:44 AM
TEST LENGTH 15 HOURS
STARTING VOLUME= 4057
PERCENT VOLUME = 34.9
TEST TYPE = CSLD

APR 23, 2021 3:49 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 3872
PERCENT VOLUME = 33.3
TEST TYPE = CSLD

JUN 23, 2021 3:00 AM
TEST LENGTH 11 HOURS
STARTING VOLUME= 5261
PERCENT VOLUME = 45.3
TEST TYPE = CSLD

MAY 23, 2021 3:44 AM
TEST LENGTH 15 HOURS
STARTING VOLUME= 4057
PERCENT VOLUME = 34.9
TEST TYPE = CSLD

JUL 21, 2021 2:44 AM
TEST LENGTH 16 HOURS
STARTING VOLUME= 4066
PERCENT VOLUME = 35.0
TEST TYPE = CSLD

JUN 23, 2021 3:00 AM
TEST LENGTH 11 HOURS
STARTING VOLUME= 5261
PERCENT VOLUME = 45.3
TEST TYPE = CSLD

AUG 2, 2020 2:21 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 3185
PERCENT VOLUME = 27.4
TEST TYPE = CSLD

JUL 21, 2021 2:44 AM
TEST LENGTH 16 HOURS
STARTING VOLUME= 4066
PERCENT VOLUME = 35.0
TEST TYPE = CSLD

SEP 25, 2020 2:52 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 3408
PERCENT VOLUME = 29.3
TEST TYPE = CSLD

AUG 2, 2020 2:21 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 3185
PERCENT VOLUME = 27.4
TEST TYPE = CSLD

OCT 13, 2020 4:42 AM
TEST LENGTH 19 HOURS
STARTING VOLUME= 4118
PERCENT VOLUME = 35.4
TEST TYPE = CSLD

SEP 25, 2020 2:52 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 3408
PERCENT VOLUME = 29.3
TEST TYPE = CSLD

NOV 1, 2020 12:26 AM
TEST LENGTH 21 HOURS
STARTING VOLUME= 3377
PERCENT VOLUME = 29.1
TEST TYPE = CSLD

OCT 13, 2020 4:42 AM
TEST LENGTH 19 HOURS
STARTING VOLUME= 4118
PERCENT VOLUME = 35.4
TEST TYPE = CSLD

DEC 23, 2020 2:49 AM
TEST LENGTH 25 HOURS
STARTING VOLUME= 3649
PERCENT VOLUME = 31.4
TEST TYPE = CSLD

TANK LEAK TEST HISTORY

T 2:REGULAR 2

LAST GROSS TEST PASSED:
JUL 21, 2021 3:10 AM
STARTING VOLUME= 5261
PERCENT VOLUME = 54.1
TEST TYPE = STANDARD

LAST ANNUAL TEST PASSED:

NO TEST PASSED

FULLEST ANNUAL TEST PASS

NO TEST PASSED

LAST PERIODIC TEST PASS:
JUL 21, 2021 2:48 AM
TEST LENGTH 22 HOURS
STARTING VOLUME= 3728
PERCENT VOLUME = 38.3
TEST TYPE = CSLD

FULLEST PERIODIC TEST
PASSED EACH MONTH:

JAN 23, 2021 2:27 AM
TEST LENGTH 28 HOURS
STARTING VOLUME= 2500
PERCENT VOLUME = 25.7
TEST TYPE = CSLD

FEB 1, 2021 1:08 AM
TEST LENGTH 35 HOURS
STARTING VOLUME= 2203
PERCENT VOLUME = 22.7
TEST TYPE = CSLD

MAR 31, 2021 11:14 PM
TEST LENGTH 23 HOURS
STARTING VOLUME= 3002
PERCENT VOLUME = 30.9
TEST TYPE = CSLD

APR 9, 2021 1:30 AM
TEST LENGTH 25 HOURS
STARTING VOLUME= 3445
PERCENT VOLUME = 35.4
TEST TYPE = CSLD

MAY 7, 2021 1:28 AM
TEST LENGTH 23 HOURS
STARTING VOLUME= 4203
PERCENT VOLUME = 43.2
TEST TYPE = CSLD

JUN 17, 2021 4:13 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 4821
PERCENT VOLUME = 49.6
TEST TYPE = CSLD

JUL 15, 2021 1:12 AM
TEST LENGTH 19 HOURS
STARTING VOLUME= 4085
PERCENT VOLUME = 42.0
TEST TYPE = CSLD

AUG 23, 2020 1:37 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 3092
PERCENT VOLUME = 31.8
TEST TYPE = CSLD

SEP 1, 2020 2:20 AM
TEST LENGTH 27 HOURS
STARTING VOLUME= 2687
PERCENT VOLUME = 27.6
TEST TYPE = CSLD

OCT 23, 2020 3:05 AM
TEST LENGTH 23 HOURS
STARTING VOLUME= 2805
PERCENT VOLUME = 28.8
TEST TYPE = CSLD

NOV 1, 2020 12:09 AM
TEST LENGTH 27 HOURS
STARTING VOLUME= 2854
PERCENT VOLUME = 29.3
TEST TYPE = CSLD

DEC 2, 2020 2:43 AM
TEST LENGTH 64 HOURS
STARTING VOLUME= 2012
PERCENT VOLUME = 20.7
TEST TYPE = CSLD

***** END *****

TANK LEAK TEST HISTORY

T 31W POWER

LAST GROSS TEST PASSED:

NO TEST PASSED

LAST ANNUAL TEST PASSED:

NO TEST PASSED

FULLEST ANNUAL TEST PASS

NO TEST PASSED

LAST PERIODIC TEST PASS:

JUL 21, 2021 2:51 AM
TEST LENGTH 24 HOURS
STARTING VOLUME= 2328
PERCENT VOLUME = 23.9
TEST TYPE = CSLD

FULLEST PERIODIC TEST
PASSED EACH MONTH:

JAN 14, 2021 12:00 AM
TEST LENGTH 26 HOURS
STARTING VOLUME= 2311
PERCENT VOLUME = 23.8
TEST TYPE = CSLD

FEB 15, 2021 9:07 PM
TEST LENGTH 28 HOURS
STARTING VOLUME= 2341
PERCENT VOLUME = 24.1
TEST TYPE = CSLD

MAR 3, 2021 1:20 AM
TEST LENGTH 27 HOURS
STARTING VOLUME= 2506
PERCENT VOLUME = 25.8
TEST TYPE = CSLD

APR 30, 2021 2:53 AM
TEST LENGTH 26 HOURS
STARTING VOLUME= 2321
PERCENT VOLUME = 23.9
TEST TYPE = CSLD

MAY 13, 2021 3:20 AM
TEST LENGTH 28 HOURS
STARTING VOLUME= 2454
PERCENT VOLUME = 25.2
TEST TYPE = CSLD

JUN 15, 2021 2:55 AM
TEST LENGTH 19 HOURS
STARTING VOLUME= 2495
PERCENT VOLUME = 25.7
TEST TYPE = CSLD

JUL 5, 2021 2:08 AM
TEST LENGTH 22 HOURS
STARTING VOLUME= 2363
PERCENT VOLUME = 24.3
TEST TYPE = CSLD

AUG 3, 2020 12:53 AM
TEST LENGTH 26 HOURS
STARTING VOLUME= 2198
PERCENT VOLUME = 22.6
TEST TYPE = CSLD

SEP 13, 2020 3:33 AM
TEST LENGTH 28 HOURS
STARTING VOLUME= 2312
PERCENT VOLUME = 23.9
TEST TYPE = CSLD

OCT 25, 2020 12:15 AM
TEST LENGTH 30 HOURS
STARTING VOLUME= 2466
PERCENT VOLUME = 25.4
TEST TYPE = CSLD

NOV 13, 2020 3:55 AM
TEST LENGTH 31 HOURS
STARTING VOLUME= 2192
PERCENT VOLUME = 22.5
TEST TYPE = CSLD

DEC 31, 2020 12:38 AM
TEST LENGTH 26 HOURS
STARTING VOLUME= 2151
PERCENT VOLUME = 22.1
TEST TYPE = CSLD

***** END *****

TANK LEAK TEST HISTORY

T 4:DIESEL

LAST GROSS TEST PASSED:

NO TEST PASSED

LAST ANNUAL TEST PASSED:

NO TEST PASSED

FULLEST ANNUAL TEST PASS

NO TEST PASSED

LAST PERIODIC TEST PASS:

JUL 21, 2021 2:52 AM

TEST LENGTH 25 HOURS

STARTING VOLUME= 2139

PERCENT VOLUME = 22.0

TEST TYPE = CSLD

FULLEST PERIODIC TEST
PASSED EACH MONTH:

JAN 23, 2021 2:11 AM

TEST LENGTH 30 HOURS

STARTING VOLUME= 2211

PERCENT VOLUME = 22.7

TEST TYPE = CSLD

FEB 24, 2021 1:14 AM

TEST LENGTH 31 HOURS

STARTING VOLUME= 2201

PERCENT VOLUME = 22.6

TEST TYPE = CSLD

MAR 1, 2021 12:00 AM

TEST LENGTH 29 HOURS

STARTING VOLUME= 2158

PERCENT VOLUME = 22.2

TEST TYPE = CSLD

APR 25, 2021 1:11 AM

TEST LENGTH 26 HOURS

STARTING VOLUME= 2146

PERCENT VOLUME = 22.1

TEST TYPE = CSLD

MAY 5, 2021 2:44 AM

TEST LENGTH 32 HOURS

STARTING VOLUME= 2223

PERCENT VOLUME = 22.9

TEST TYPE = CSLD

JUN 23, 2021 3:59 AM

TEST LENGTH 30 HOURS

STARTING VOLUME= 2092

PERCENT VOLUME = 21.5

TEST TYPE = CSLD

JUL 23, 2021 11:59 PM

TEST LENGTH 23 HOURS

STARTING VOLUME= 2186

PERCENT VOLUME = 22.5

TEST TYPE = CSLD

AUG 27, 2020 11:06 PM

TEST LENGTH 30 HOURS

STARTING VOLUME= 2218

PERCENT VOLUME = 22.8

TEST TYPE = CSLD

SEP 12, 2020 1:02 AM

TEST LENGTH 27 HOURS

STARTING VOLUME= 2259

PERCENT VOLUME = 23.2

TEST TYPE = CSLD

OCT 3, 2020 12:39 AM

TEST LENGTH 27 HOURS

STARTING VOLUME= 2241

PERCENT VOLUME = 23.0

TEST TYPE = CSLD

NOV 13, 2020 5:27 AM

TEST LENGTH 33 HOURS

STARTING VOLUME= 2285

PERCENT VOLUME = 23.5

TEST TYPE = CSLD

DEC 31, 2020 3:03 AM

TEST LENGTH 28 HOURS

STARTING VOLUME= 2215

PERCENT VOLUME = 22.8

TEST TYPE = CSLD

* * * * * END * * * * *

Georgia Department of Natural Resources

Environmental Protection Division
Underground Storage Tank Management Program
4244 International Parkway, Suite 104, Atlanta, Georgia 30354
Noel Holcomb, Commissioner
Carol A. Couch, Ph.D., Director
(404) 362-2687

February 28, 2008

Ms. Anna Tillman, PG
Shell Oil Products US
PO Box 29892
Atlanta, GA 30359

SUBJECT: **Corrective Action Plan (CAP) – Part A**
No Further Action Required:
Motiva Cost Center #100456
4118 LaVista Road
Tucker, Dekalb County, GA
Facility ID: 4440158*1

Dear Ms. Tillman:

The Georgia Underground Storage Tank Management Program (USTMP) has received your consultant's letter, dated November 30, 2007, which forwarded a certified groundwater monitoring report concerning the above referenced site. URS Corporation prepared the report.

Based on current requirements of the Georgia Underground Storage Tank Act, the Georgia Rules for Underground Storage Tank Management (GUST Rules) and the data submitted, the USTMP has determined that **no further action is required for the referenced release.**

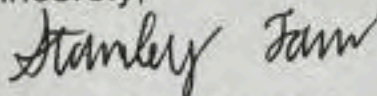
However, further corrective action may be required if mandated through more stringent State or Federal statutory or regulatory changes. Additional measures may also be required if existing or future drinking water systems or surface water bodies within two miles of the site are impacted by any dissolved contamination resulting from this release, or if previously unidentified soil contamination, dissolved contamination, or free product are identified as originating from this site.

Based on the confirmation of your GUST Trust Fund eligibility and the availability of funds, a Corrective Action Agreement (CAA) will be proposed to you in writing. If subsequent information, regardless of when or how obtained, should reveal facts relative to the eligibility of this claim, the GUST Trust Fund Application may be re-evaluated and a new determination of eligibility may be made.

Ms. Anna Tillman, P.G.
Page Two
February 28, 2008

Please submit the enclosed CAP-Part B Template indicating No Further Action along with your Completion Report, Certification and **complete** Application for Reimbursement, by **May 20, 2008**. The Completion Report must document that all associated wells have been properly abandoned. No later than 30-days after submission of the Completion Report, submit your final claim for reimbursement from the GUST Trust Fund. If you have any questions, please contact the undersigned at (404) 675-6204.

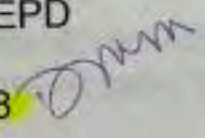
Sincerely,



Stanley Tam, CHMM
Environmental Engineer
Corrective Action Unit I

Enclosures

cc: Michael Asmussen, URS Corporation
Ayanna Cuffie, GA EPD

File (CA): Dekalb; 4440158 

Georgia Department of Natural Resources

Environmental Protection Division
Underground Storage Tank Management Program
4244 International Parkway, Suite 104, Atlanta, Georgia 30354
Noel Holcomb, Commissioner
Carol A. Couch, Ph.D., Director
(404) 362-2687

MEMORANDUM

To: Darnell Manning *DM*
CAU 1, USTMP

From: Stanley Tam *ST*
CAU 1, USTMP

Date: February 18, 2008

Subject: Information Leading to the Determination of No Further Action (NFA)
Motiva Cost Center #100456
4118 LaVista Road
Tucker, Dekalb County, GA
Facility ID: 4440158*1

This site is currently under monitored natural attenuation. A request for No Further Action was presented in a groundwater monitoring report dated November 30, 2007.

Free product had never been observed at any monitoring well at this site. Soil contamination (from 3 soil borings) had been delineated and petroleum constituent concentrations were all below applicable Soil Threshold Levels (Table B, Lower Groundwater Pollution Susceptibility Area, >500 feet to surface water body). The closest down gradient surface water body is North Lake, located about 2360 feet north of the site.

Groundwater contamination levels have decreased or stabilized. As of 8/23/07, the highest dissolved benzene concentration at the site is 590 $\mu\text{g/l}$ in MW-8, the well closest to the UST area. All other wells at the site had dissolved benzene concentrations below the ISWQS of 71 $\mu\text{g/l}$. Analysis of historical groundwater data shows that the contaminant plume is moving at a slow rate. Based on professional judgment, the contaminant plume will not reach the down gradient receptor within 30 years.

Georgia Department of Natural Resources

Environmental Protection Division • Land Protection Branch

Underground Storage Tank Management Program

4244 International Parkway • Suite 104 • Atlanta • Georgia 30354

(404) 362-2687, Fax (404) 362-2654

Judson H. Turner, Director

TRIP REPORT **September 19, 2013**

SITE NAME AND LOCATION:

Shell
4118 LaVista Rd.
Tucker, GA

COUNTY: DeKalb

FACILITY ID: 4440158 *1

TRIP BY:

David Humphris, GA EPD/USTMP/CAU I *DH*

ACCOMPANIED BY:

None

DATE AND TIME OF INVESTIGATION:

September 19, 2013; 4:00 - 4:20 pm

OFFICIALS CONTACTED:

None

REFERENCE:

Release 1 was reported on March 15, 2006. The release was issued NFA on February 28, 2008. The Completion Report was approved on August 21, 2008. However, a CAA has not been executed. A CAA was issued but was not returned.

COMMENTS:

I visited the site to verify the well abandonment.

CONCLUSIONS:

The abandoned wells were located except one.

RECOMMENDATIONS AND FOLLOW-UP REQUIRED:

The database release should be closed out and should any costs be submitted in the future, they should not be reimbursable due to the tardiness of the submittal.

PHOTOGRAPHS: None

NUMBER OF WASTE/ENVIRONMENTAL SAMPLES TAKEN: None

REVIEWED BY: *FK*

DATE: *9/20/13*

ATTACHMENTS:

4440158 Trip Rpt1.doc

File: DeKalb; 4440158 *DM*

Dekalb

CA file

Q

August 19, 2008, for the

A CAP-B Template was also submitted (received August 19, 2008). The CAP-B Template was OK.



W

August 18, 2008

RECEIVED	Shell Oil Products US
Data Management	Anna J. Tillman, P.G.
	Project Manager
	P.O. Box 29892
	Atlanta, GA 30359
	Tel (404) 417 1974
	Fax (404) 486 8258
	Email anna.tillman@shell.com
File To: ST	
CA	

Mr. Stanley Tam
Georgia Environmental Protection Division
Underground Storage Tank Management Program
4244 International Parkway, Suite 104
Atlanta, Georgia 30354

Re: **Completion Report and Certification and Corrective Action Plan-Part B (CAP-B) Template**
Shell Cost Center No. 100456
4118 LaVista Road
Tucker, Dekalb County, GA
Facility ID: 4440158*1

Dear Mr. Tam:

Shell Oil Products US is pleased to provide the following documentation of monitoring well decommissioning activities at the above referenced site, completed by URS Corporation (URS). The decommissioning activities were performed following correspondence from the Georgia Department of Natural Resources – Environmental Protection Division (GAEPD), dated February 28, 2008, granting a no further action status for this facility. All monitoring wells were decommissioned in accordance with Shell's Standard Practices and Procedures guidelines and the Georgia Water Well Standards Act.

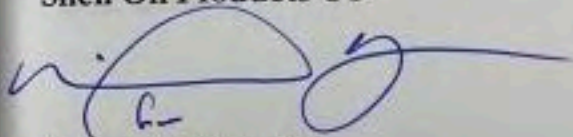
On March 27, 2008, URS supervised Atlas Geosampling Inc. during the decommissioning of monitoring wells MW-1, MW-4, MW-5, MW-6, MW-7, and MW-8. Monitoring wells MW-1, MW-4, MW-5, MW-6, MW-7, and MW-8 were constructed of two-inch diameter PVC material and totaled approximately 208 feet of well material. During initial well abandonment activities a previously unreported well was identified. URS notified the GAEPD of the presence of the previously unreported well on April 30, 2008. In accordance with a phone correspondence between URS and the GAEPD, a second mobilization to the site was conducted on May 19, 2008 in order to abandon the well, which was constructed of two-inch diameter PVC material and totaled approximately 30 feet in depth. During both mobilizations, the wells were injected with a bentonite/grout slurry from the bottom to the top of the well in one continuous operation using a tremie pipe. Following grout injection, the well completions were removed by jackhammer and then filled to the ground surface with concrete and completed to match site conditions.

Ms. Anna J. Tillman
April 18, 2008
Page Two

As requested in the February 28, 2008 correspondence from the GAEPD, a Corrective Action Plan-Part B (CAP-B) Template and Certificate of Completion signed by Shell are attached.

Please contact me at (404) 417-1974 if you have any questions or comments.

Sincerely,
Shell Oil Products US



Anna J. Tillman, P.G.
Staff Project Manager

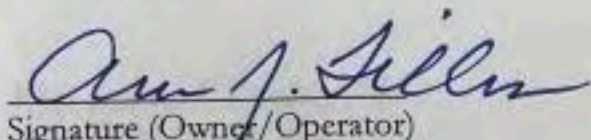
cc: Juliette Rose
URS Corporation



Corrective Action Plan
and Certificate
Template signed by U.S.

Certificate of Completion

I hereby certify that the monitoring wells associated with the confirmed release at Georgia Environmental Protection Division Facility ID 4440158*1 (Shell Cost Center No. 1004563) and located at 4118 LaVista Rd, Tucker, Georgia, have been properly decommissioned according to the Georgia Water Well Standards Act.



Signature (Owner/Operator)



Signature (Supervising Professional Geologist/Engineer)





W

RECEIVED USTMF
Data Management FJ

DEC 12 2007

Route to ST
CA

Shell Oil Products US
Anna J. Tillman, P.G.
Staff Project Manager
P.O. Box 29892
Atlanta, GA 30359

Tel (404) 417 1974

Fax (404) 486 8258

Email anna.tillman@shell.com

November 30, 2007

Mr. William E. Logan
Georgia Department of Natural Resources
Environmental Protection Division
4244 International Parkway, Suite 104
Atlanta, Georgia 30354

RE: 2007 Second Semiannual Monitoring Report
Motiva Cost Center No. 100456
4118 Lavista Road
Tucker, Dekalb County, Georgia
GEPD Facility ID No. 4440158

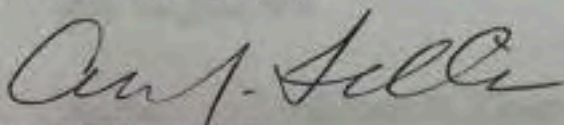
Dear Mr. Logan:

Shell Oil Products US (Shell) is pleased to submit the 2007 Second Semiannual Monitoring Report and Site Investigation Report for the above referenced facility. This report was prepared by URS Corporation (URS), on behalf of Shell.

If there are any questions regarding this submittal, please contact me at (404) 417-1974.

Sincerely,

Shell Oil Products US


Anna J. Tillman, P.G.
Staff Project Manager

Enclosures

cc: Vernon A. Cavin III, P.G.
URS Corporation

MONITORING REPORT

Submittal Date:	November 30, 2007	Monitoring Report #:	2
for Period	April 18, 2007, through	Street Address:	4118 Lavista Road
Covering:	August 23, 2007		
Facility Name:	Motiva Cost Center #100456	City:	Tucker
		Zip Code:	30084
Facility ID:	4440158	County:	Dekalb
Latitude:	N 33° 50' 49"	Longitude:	W 84° 15' 01"

Submitted by UST Owner/Operator

Name:	Anna Tillman		
Company:	Shell Oil Products US		
Address:	P.O. Box 29892		
City:	Atlanta	State:	GA
Zip Code:	30359		
Telephone No.:	(404) 417-1974		

Prepared by Consultant/Contractor

Name:	Michael Asmussen		
Company:	URS Corporation		
Address:	1000 Abernathy Rd., Ste 900		
City:	Atlanta	State:	GA
Zip Code:	30328		
Telephone No.:	(678) 808-8800		

I. REGISTERED PROFESSIONAL ENGINEER OR PROFESSIONAL GEOLOGIST CERTIFICATION

I hereby certify that I have directed and supervised the field work and preparation of this plan, in accordance with State Rules and Regulations. As a registered professional geologist and/or professional engineer, I certify that I am a qualified groundwater professional, as defined by the Georgia State Board of Professional Geologists. All of the information and laboratory data in this plan and in all of the attachments are true, accurate, complete, and in accordance with applicable State Rules and Regulations.

Name: Vernon A. Cavin III, P.G.

Signature:

Date:

Vernon A. Cavin III
12/11/07



Georgia Stamp or Seal

II. PROJECT SUMMARY

(Appendix 1, Figures 1 and 2: Site Location Map and Site Map)

Provide a brief description or explanation of the site and a brief chronology of environmental events leading up to this report.

The site is situated within the northern Piedmont Physiographic Province of northwestern Georgia, a region of igneous and metamorphic bedrock overlain by saprolitic soils. The elevation of the site is approximately 1070 feet above mean sea level. The nearest down gradient surface water body is North Lake, located approximately 2,360 feet north of the site. The site location is illustrated on **Figure 1** (Figures are provided in **Appendix I**). A site map is included as **Figure 2** detailing site features. The area surrounding the site is characterized by commercial development.

Environmental activities were initiated in February 2006 by Pangean-CMD Associates, Inc. (Pangean-CMD). Soil and groundwater assessments were conducted as part of a property divestiture investigation at the site. On February 16 and 17, 2006, Pangean-CMD directed the installation of monitoring well MW-1 and soil borings MW-2 and MW-3 using hollow-stem auger drilling techniques. Utility clearance and soil sampling activities were initiated for proposed monitoring wells MW-2 and MW-3; however, bedrock was encountered at 12 feet and 17.5 feet BLS, respectively. Therefore, a determination was made to abandon further attempts to convert these soil borings into monitoring wells. Monitoring wells MW-4 through MW-7 (already existing on-site), and MW-1 were sampled on March 3, 2006. Benzene, toluene, ethylbenzene, total xylenes (BTEX), methyl tertiary-butyl ether (MTBE), polynuclear aromatic hydrocarbons (PAH), and oxygenates (tert-Amyl methyl ether, tert-Butyl alcohol, and diisopropyl ether) were detected in groundwater during the divestiture investigation. Ethylbenzene and MTBE were detected above laboratory reporting limits in soil during the divestiture investigation.

A Corrective Action Plan – Part A (CAP-A) was prepared by Pangean-CMD in September 2006 and submitted to the Georgia Department of Natural Resources - Environmental Protection Division (GEPD). The CAP-A recommended the installation of one additional down gradient monitoring well to delineate the dissolved-phase hydrocarbon plume, followed by a one to two-year Monitoring Only Plan (MOP). The first comprehensive groundwater gauging and sampling event would be conducted after installation of the wells.

The CAP-A was approved by GEPD in a correspondence dated December 11, 2006. GEPD recommended relocation of the proposed monitoring well to a point north of MW-1 and

adjacent to the UST area. URS Corporation (URS) assumed consulting services for the site in September 2006 and continued work on the proposed environmental activities. Monitoring well MW-8 was installed on January 25, 2007 and a site-wide groundwater gauging and sampling event was conducted on February 6, 2007.

This report summarizes the most recent groundwater sampling event conducted on August 23, 2007.

III. ACTIVITIES AND ASSESSMENT OF EXISTING CONDITIONS

A. Potentiometric Data:

Tabulate all data and illustrate last two monitoring events findings in Figures 3 and 4. (Appendix I, Figure 3 and 4: Potentiometric Surface Maps)

(Appendix II, Table 1: Groundwater Elevations)

Discuss groundwater flow at this site and implications for this project.

Data collected during the August 23, 2007 sampling event indicated depth to water measurements in the on-site monitoring wells ranged from 29.53 feet below the top of casing (BTOC) in MW-7 to 31.29 feet BTOC in MW-8. MW-6 was omitted during the most recent sampling event due to the water in the well being interpreted as being limited to the well end cap. Liquid level measurements and calculated groundwater elevations are provided in **Table 1** (tables are provided in **Appendix II**). According to the potentiometric surface elevations measured on August 23, 2007, groundwater flow is interpreted to be radial, with the predominant flow directions being to the north-northwest and south-southeast which is generally consistent with the February 6, 2007 potentiometric interpretation. However, interpretation of the most recent groundwater elevation data also suggests a south-southeast component to the groundwater flow that was not previously noted. Potentiometric surface maps for the gauging event conducted on August 23, 2007 and for the previous gauging event conducted on February 6, 2007 are provided as **Figures 3 and 4**, respectively.

There was no measurable NAPL associated with any of the monitoring wells during the August 23, 2007 gauging and sampling event.

B. Groundwater Analytical Data:

Tabulate all data and illustrate last two events findings in Figures 5 and 6, and graph the trend of contaminant concentrations in Figures 7A through 7E.

(Appendix 1, Figures 5 and 6: Groundwater Quality Maps)

(Appendix 1, Figures 7A through 7E: Trend of Contaminant Concentrations)

(Appendix II, Table 2: Groundwater Analysis Results)

(Appendix III: Groundwater Laboratory Analysis Results)

Discuss groundwater analysis results, trend of contaminant concentrations, and implications for this project.

On August 23, 2007, groundwater samples were collected from five existing on-site wells (MW-1, MW-4, MW-5, MW-7 and MW-8). Monitoring well MW-6 was purged dry at the time of sampling and did not have sufficient recharge to collect a sample.

The samples were collected using dedicated, disposable bailers and bailer cord, prior to being submitted to Test America in Nashville, Tennessee, under proper chain-of-custody for analysis of benzene, toluene, ethylbenzene, total xylenes (BTEX), and methyl tertiary-butyl ether (MTBE) by Environmental Protection Agency (EPA) Method 8021B.

During the August 23, 2007 sampling event, benzene exceeded the ISWQ standard of 71 micrograms per liter ($\mu\text{g/L}$) in the groundwater sample collected from MW-8 at a concentration of 590 $\mu\text{g/L}$. Benzene concentrations in the remaining site wells sampled did not exceed the ISWQ standard.

Laboratory analytical results for the August 23, 2007 sampling event are provided in **Table 2**. Dissolved-phase benzene groundwater concentrations for the August 23, 2007, groundwater and gauging sampling event are illustrated on **Figure 5**. For comparative purposes, dissolved-phase benzene concentrations for the February 6, 2007 sampling event are provided as **Figure 6**. Hydrographs plotting groundwater elevations versus benzene concentrations are included as **Figures 7A** through **7E**. The groundwater laboratory analytical report is provided in **Appendix III**.

IV. SITE RANKING (Note: re-rank site after each monitoring event) (Appendix IV, Site ranking results)

Environmental Site Sensitivity Score: 50

The current site ranking score, based on the August 23, 2007 site conditions, is 50. The previous score, based on February 6, 2007 site conditions, was also 50. A copy of the site ranking form is included in **Appendix IV**.

V. CONCLUSIONS/RECOMMENDATIONS

Provide justification of no-further-action-required recommendation or briefly discuss monitoring plans for this site.

A no-further-action status is respectfully requested based on the following site data:

- The highest historical dissolved benzene concentration is 590 ug/L from MW-8 on August 23, 2007.
- NAPL has not been identified in any of the groundwater monitoring wells at any point since the installation of the wells in February 2006.
- The nearest down-gradient surface water body is North Lake, located approximately 2,360 feet north of the site.
- The environmental sensitivity score, based on August 23, 2007, site conditions, is 50. The previous score, based on February 6, 2007, site conditions, was also 50.
- Based on a review of current and historical site data, dissolved benzene concentrations appear to be relatively stable or decreasing.

VI. REIMBURSEMENT

This site is eligible for reimbursement under the Georgia UST Trust fund. A copy of the Cost Review Form is included in **Appendix V**.

TABLE 1
SUMMARY OF GROUNDWATER ELEVATION DATA
 (All measurements in feet)

Motiva Cost Center #100456
 4118 LaVista Road
 Tucker, DeKalb County, Georgia
 GEPD Facility ID# 4440158

Well ID	Date Sampled	Top of Casing Elevation	Screen Intervals	Depth to Water	Product Thickness	Corrected Groundwater Elevation*
MW-1	03/03/06	98.66	23.85 - 38.85	29.61	--	69.05
	02/06/07			29.95	--	68.71
	08/23/07			30.58	--	68.08
MW-4	3/3/2006	98.80	20.20 - 35.20	28.51	--	70.29
	2/6/2007			30.50	--	68.30
	8/23/2007			30.73	--	68.07
MW-5	3/3/2006	97.94	18.10 - 33.10	28.03	--	69.91
	2/6/2007			29.40	--	68.54
	8/23/2007			30.03	--	67.91
MW-6	3/3/2006	97.31	13.50 - 28.50	27.74	--	69.57
	2/6/2007			27.63	--	69.68
	8/23/2007*			28.23	--	69.08
MW-7	3/3/2006	97.05	19.00 - 34.00	27.57	--	69.48
	2/6/2007			28.86	--	68.19
	8/23/2007			29.53	--	67.52
MW-8	2/6/2007	98.37	23.50 - 38.50	30.41	--	67.96
	8/23/2007			31.29	--	67.08

Notes:

Wells were not installed in MW-2 and MW-3 due to encountering shallow bedrock

Elevations were surveyed related to Mean Sea Level (U.S.G.S.)

Groundwater elevations are adjusted for the presence of product using the following formula: $[(\text{Top of Casing}) - (\text{Depth to Water})] + [(S.G.) \times (\text{Product Thickness})]$ where S. G. = Specific gravity of product = 0.74

-- = not present / not applicable

* Well MW-6 was omitted from potentiometric surface interpretations for the 8/23/2007 sampling event due to water being interpreted as residual in well end cap.

TABLE 2
SUMMARY OF GROUNDWATER ANALYTICAL RESULTS
(volatile organic compounds)
(all results reported in parts per billion)

Motiva Cost Center #100456
4118 LaVista Road
Tucker, DeKalb County, Georgia
GEPD Facility ID# 4440158

Well ID	Date Sampled	Benzene	Toluene	Ethylbenzene	Total Xylenes	MTBE
MW-1	03/03/06	345	260	181	663 D	23,650 D
	02/06/07	41.2	33.8	24.2	111	2,810
	08/23/07	40.2	36	29.4	123	2,430
MW-4	03/03/06	<1	1.333	2.04	9.191	14.84
	02/06/07	<1	<1	<1	<3	6.50
	08/23/07	<1	<1	<1	<3	6.45
MW-5	03/03/06	<1	1.076	1.327	5.631	5.681
	02/06/07	<1	<1	<1	<3	1.10
	08/23/07	<1	<1	<1	<3	<1
MW-6	03/03/06	1.012	<1	<1	4.157	331
	02/06/07	DRY				
	08/23/07	DRY				
MW-7	03/03/06	<1	<1	<1	2.42	168
	02/06/07	<1	<1	<1	<3	89.9
	08/23/07	<1	<1	<1	<3	59.3
MW-8	02/06/07	327	821	150	787	37,500
	08/23/07	590	1,590	278	1470	20300
ISWQ Standard (ppb)		71	200,000	29,000	NE	NE

Notes:

- Wells were not installed in MW-2 and MW-3 due to encountering shallow bedrock
- ISWQ = in-stream water quality standard
- ppb = parts per billion
- MTBE = Methyl tert-Butyl Ether
- NE = not established
- <RL = less than laboratory-reporting limit
- D = the sample(s) were diluted due to targets detected over the highest point of the calibration curve, or due to matrix interference. Dilution factors are included in the final results. The result is from a diluted sample.
- Dry = Monitoring well had insufficient groundwater recharge for sample collection

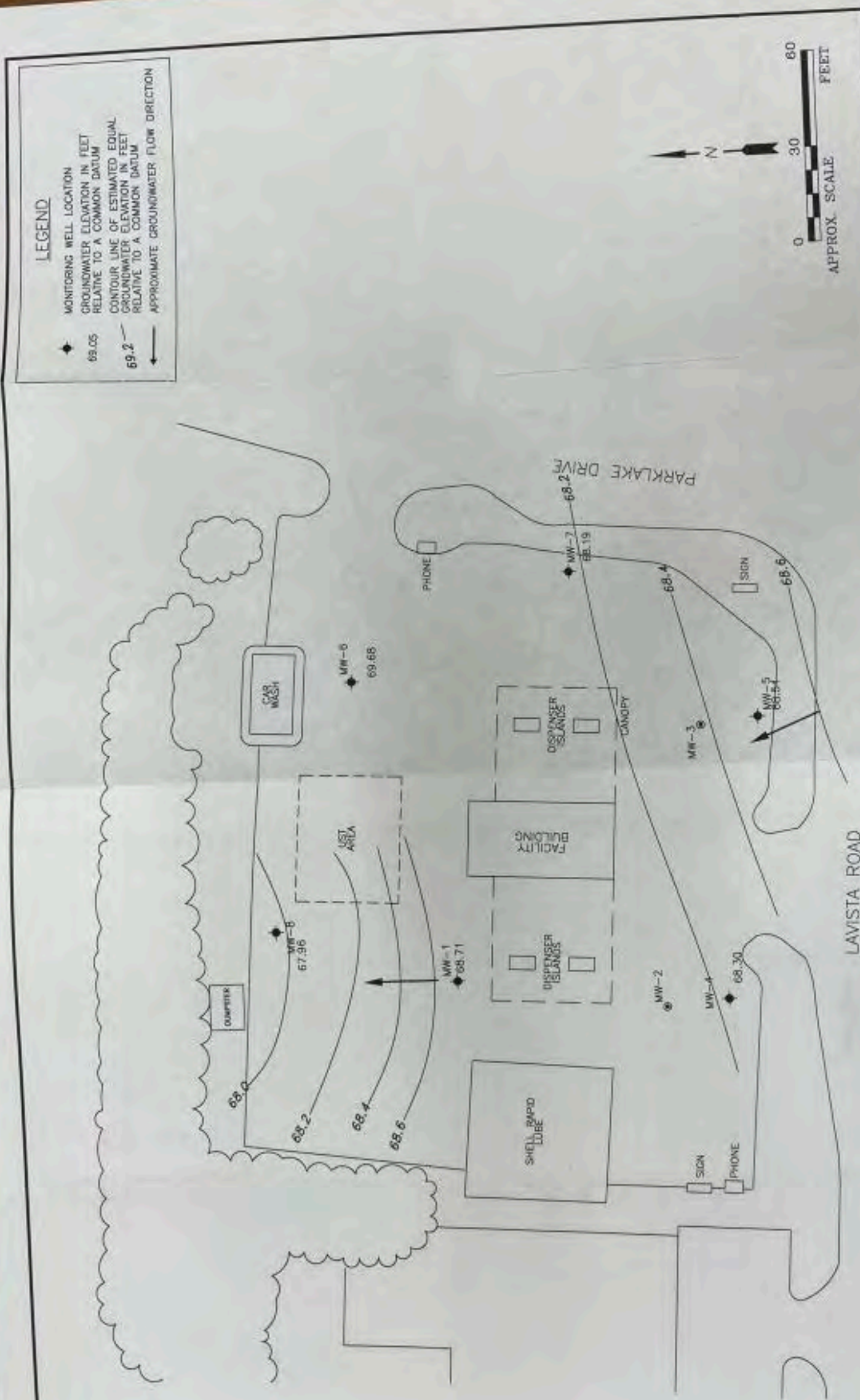


FIGURE 4

POTENTIOMETRIC SURFACE MAP
Data Collected: February 6, 2007

SHELL COST CENTER #100456
4118 LAVISTA ROAD
TUCKER, GEORGIA

DRAWN BY: Jamie Anderson
REVISED BY: Michael Armstrong
APPROVED BY: Chip Covich
DATE: October 2007
SCALE: 1" = 30'

1000 ABERNATHY RD, SUITE 900
ATLANTA, GEORGIA 30328
Phone: 678.808.8800
Fax: 678.808.8400

JRS

GLOBAL IMPEX, INC.

2055 NORTH BROWN ROAD, SUITE 235,

LAWRENCEVILLE, GA 30043

PHONE # 678-584-5345 FAX # 678-584-5347

EMAIL: SUHEL@GLOBALIMPEX.NET

1/17/2017

Mr. Shaheer Muhanna,
Georgia Department of Natural Resources,
EPD, UST Program,
4244 International Parkway, Suite 104,
Atlanta GA 30354

RECEIVED USTMP
Data Management

FEB 15 2017

Route To _____ File _____

RE: Facility ID 4440158 - 4118 Lavista Rd. Tucker, GA 30084.

Dear Mr. Muhanna,

This is to confirm that we only have 4 UST located at our facility ID # 4440158.

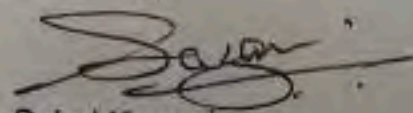
Currently there are 1 UST of 12000 Gallons and 3 UST for 10000 Gallons each.

We purchased the Real Estate of this gas station from Sam's Mart in 2007 and during their time or ownership or before that there were 6 UST at this location. The other two UST have been closed before our purchase of the real estate and we are not aware when these 2 UST were closed and by whom.

We regret inconvenience caused and would like to set the record straight.

We appreciate all Your help and time in the matter.

Sincerely,



Suhel Kazani

Vice President

Global Impex Inc.

Williams, Chandra

n: Muhanna, Shaheer
t: Friday, February 10, 2017 7:12 AM
Williams, Chandra
Strickfaden, Richard; Adowar, Yasra
ject: FW: Facility ID 4440158 - 4118 Lavista Road, Tucker, GA 30084
chments: img-117162712-0001.pdf

is a letter from the owner indicating that he bought the facility before the tank was removed. We need to
ument the information into the database. See if we can follow up with the previous owner.

m: Suhel Kazani [mailto:suhel@globalimpex.net]
t: Wednesday, February 08, 2017 9:03 AM
Muhanna, Shaheer
ject: Facility ID 4440158 - 4118 Lavista Road, Tucker, GA 30084

ur Mr. Muhanna,
ached herewith is our letter and signed and corrected form 7530-1.
hope the matter will now be closed to your satisfaction.
really appreciate Your help and time in the matter.
nks,

EL KAZANI
678-656-6662
NORTH BROWN ROAD,
TE 235,
VRENCEVILLE, GA 30043

Notification for Underground Storage Tanks

FORM APPROVED
OMB NO. 2050-0049
APPROVAL EXPIRES 6-30-88

FOR
TANKS
IN
GA

RETURN
COMPLETED
FORM
TO

Georgia Department of Natural Resources
Environmental Protection Div., UST Program
3420 Norman Berry Drive
Hapeville, GA 30354

STATE USE ONLY
I.D. Number 0440 158
Date Received 021286

GENERAL INFORMATION

Notification is required by Federal law for all underground tanks that have been used to store regulated substances since January 1, 1974, that are in the ground as of May 8, 1986, or that are brought into use after May 8, 1986. The information requested is required by Section 9002 of the Resource Conservation and Recovery Act, (RCRA), as amended.

The primary purpose of this notification program is to locate and evaluate underground tanks that store or have stored petroleum or hazardous substances. It is expected that the information you provide will be based on reasonably available records, or, in the absence of such records, your knowledge, belief, or recollection.

Who Must Notify? Section 9002 of RCRA, as amended, requires that, unless exempted, owners of underground tanks that store regulated substances must notify designated State or local agencies of the existence of their tanks. Owner means—

(a) in the case of an underground storage tank in use on November 8, 1984, or brought into use after that date, any person who owns an underground storage tank used for the storage, use, or dispensing of regulated substances; and

(b) in the case of any underground storage tank in use before November 8, 1984, but no longer in use on that date, any person who owned such tank immediately before the discontinuation of its use.

What Tanks Are Included? Underground storage tank is defined as any one or combination of tanks that (1) is used to contain an accumulation of "regulated substances," and (2) whose volume (including connected underground piping) is 10% or more beneath the ground. Some examples are underground tanks storing: 1. gasoline, used oil, or diesel fuel, and 2. industrial solvents, pesticides, herbicides or fumigants.

What Tanks Are Excluded? Tanks removed from the ground are not subject to notification. Other tanks excluded from notification are:

1. farm or residential tanks of 1,100 gallons or less capacity used for storing motor fuel for noncommercial purposes;
2. tanks used for storing heating oil for consumptive use on the premises where stored;
3. septic tanks;

4. pipeline facilities (including gathering lines) regulated under the Natural Gas Pipeline Safety Act of 1968, or the Hazardous Liquid Pipeline Safety Act of 1979, or which is an intrastate pipeline facility regulated under State laws;
5. surface impoundments, pits, ponds, or lagoons;
6. storm water or waste water collection systems;
7. flow-through process tanks;
8. liquid traps or associated gathering lines directly related to oil or gas production and gathering operations;
9. storage tanks situated in an underground area (such as a basement, cellar, mineworking, drift, shaft, or tunnel) if the storage tank is situated upon or above the surface of the floor.

What Substances Are Covered? The notification requirements apply to underground storage tanks that contain regulated substances. This includes any substance defined as hazardous in section 101 (14) of the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (CERCLA), with the exception of those substances regulated as hazardous waste under Subtitle C of RCRA. It also includes petroleum, e.g., crude oil or any fraction thereof which is liquid at standard conditions of temperature and pressure (60 degrees Fahrenheit and 14.7 pounds per square inch absolute).

Where To Notify? Completed notification forms should be sent to the address given at the top of this page.

When To Notify? 1. Owners of underground storage tanks in use or that have been taken out of operation after January 1, 1974, but still in the ground, must notify by May 8, 1986. 2. Owners who bring underground storage tanks into use after May 8, 1986, must notify within 30 days of bringing the tanks into use.

Penalties: Any owner who knowingly fails to notify or submits false information shall be subject to a civil penalty not to exceed \$10,000 for each tank for which notification is not given or for which false information is submitted.

INSTRUCTIONS

Please type or print in ink all items except "signature" in Section V. This form must be completed for each location containing underground storage tanks. If more than 5 tanks are owned at this location, photocopy the reverse side, and staple continuation sheets to this form.

Indicate number of continuation sheets attached 1

I. OWNERSHIP OF TANK(S)

Owner Name (Corporation, Individual, Public Agency, or Other Entity)

TEXACO Refining & Marketing Inc

Street Address
P.O. Box 4582

County
DeKalb

City
Atlanta

State
Ga

ZIP Code
30302

Area Code
404

Phone Number
321 4411

Type of Owner (Mark all that apply ☒)

☐ Current

☐ State or Local Gov't

☒ Private or Corporate

☐ Former

☐ Federal Gov't (GSA facility I.D. no. _____)

☐ Ownership uncertain

II. LOCATION OF TANK(S)

(If same as Section I, mark box here ☒)

Facility Name or Company Site Identifier, as applicable

4118 Lavista Rd. (Northlake Texaco)

Street Address or State Road, as applicable

DeKalb

County
Tucker

Ga

City (nearest)

State

ZIP Code

Indicate number of tanks at this location 6

Mark box here if tank(s) are located on land within an Indian reservation or on other Indian trust lands ☐

III. CONTACT PERSON AT TANK LOCATION

Name (If same as Section I, mark box here ☒)

P. L. Williams 1/24/86

Job Title

Field Maintenance Supervisor

Area Code

404

Phone Number

320 3794

IV. TYPE OF NOTIFICATION

☐ Mark box here only if this is an amended or subsequent notification for this location.

V. CERTIFICATION (Read and sign after completing Section VI.)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete.

Name and official title of owner or owner's authorized representative

J. W. NAY DIVISION MANAGER

Signature

[Signature]

Date Signed

2-8-86

CONTINUE ON REVERSE SIDE

VI. DESCRIPTION OF UNDERGROUND STORAGE TANKS (Complete for each tank at this location.)

Tank Identification No. (e.g., ABC-123), or Arbitrarily Assigned Sequential Number (e.g., 1,2,3...)	Tank No. 1	Tank No. 2	Tank No. 3	Tank No. 4	Tank No. 5
1. Status of Tank (Mark all that apply <input checked="" type="checkbox"/>)					
Currently in Use	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Temporarily Out of Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Permanently Out of Use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brought into Use after 5/8/86	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Estimated Age (Years)	-1	-1	-1	-1	-1
3. Estimated Total Capacity (Gallons)	12,000	10,000	10,000	8,000	1,000
4. Material of Construction (Mark one <input checked="" type="checkbox"/>)					
Steel	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Concrete	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fiberglass Reinforced Plastic	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Unknown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other, Please Specify					
5. Internal Protection (Mark all that apply <input checked="" type="checkbox"/>)					
Cathodic Protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Lining (e.g., epoxy resins)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
None	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other, Please Specify	ATG	ATG	ATG	ATG	-
6. External Protection (Mark all that apply <input checked="" type="checkbox"/>)					
Cathodic Protection	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Painted (e.g., asphaltic)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fiberglass Reinforced Plastic Coated	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
None	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other, Please Specify	MW	MW	MW	MW	-
7. Piping (Mark all that apply <input checked="" type="checkbox"/>)					
Bare Steel	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Galvanized Steel	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fiberglass Reinforced Plastic	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Cathodically Protected	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other, Please Specify					Copper
8. Substance Currently or Last Stored in Greatest Quantity by Volume (Mark all that apply <input checked="" type="checkbox"/>)					
a. Empty	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Petroleum					
Diesel	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Kerosene	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gasoline (including alcohol blends)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Used Oil	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other, Please Specify					Fuel Oil
c. Hazardous Substance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Please Indicate Name of Principal CERCLA Substance OR Chemical Abstract Service (CAS) No.					
Mark box <input checked="" type="checkbox"/> if tank stores a mixture of substances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Unknown	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Additional Information (for tanks permanently taken out of service)					
a. Estimated date last used (mo/yr)	/	/	/	/	/
b. Estimated quantity of substance remaining (gal.)					
c. Mark box <input checked="" type="checkbox"/> if tank was filled with inert material (e.g., sand, concrete)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

VI. DESCRIPTION OF UNDERGROUND STORAGE TANKS (Complete for each tank at this location.)

Tank Identification No. (e.g., ABC-123), or Arbitrarily Assigned Sequential Number (e.g., 1,2,3...)	Tank No. 6	Tank No.	Tank No.	Tank No.	Tank No.
Status of Tank (Mark all that apply <input checked="" type="checkbox"/>) <div> <input type="checkbox"/> Currently in Use <input type="checkbox"/> Temporarily Out of Use <input type="checkbox"/> Permanently Out of Use <input type="checkbox"/> Brought into Use after 5/8/86 </div>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Estimated Age (Years)	1				
3. Estimated Total Capacity (Gallons)					
4. Material of Construction (Mark one <input checked="" type="checkbox"/>) <div> <input type="checkbox"/> Steel <input type="checkbox"/> Concrete <input checked="" type="checkbox"/> Fiberglass Reinforced Plastic <input type="checkbox"/> Unknown Other, Please Specify _____ </div>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Internal Protection (Mark all that apply <input checked="" type="checkbox"/>) <div> <input type="checkbox"/> Cathodic Protection <input checked="" type="checkbox"/> Interior Lining (e.g., epoxy resins) <input type="checkbox"/> None <input type="checkbox"/> Unknown Other, Please Specify _____ </div>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. External Protection (Mark all that apply <input checked="" type="checkbox"/>) <div> <input type="checkbox"/> Cathodic Protection <input type="checkbox"/> Painted (e.g., asphaltic) <input checked="" type="checkbox"/> Fiberglass Reinforced Plastic Coated <input type="checkbox"/> None <input type="checkbox"/> Unknown Other, Please Specify _____ </div>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Piping (Mark all that apply <input checked="" type="checkbox"/>) <div> <input type="checkbox"/> Bare Steel <input checked="" type="checkbox"/> Galvanized Steel <input type="checkbox"/> Fiberglass Reinforced Plastic <input type="checkbox"/> Cathodically Protected <input type="checkbox"/> Unknown Other, Please Specify _____ </div>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Substance Currently or Last Stored in Greatest Quantity by Volume (Mark all that apply <input checked="" type="checkbox"/>) <div> <div> <input type="checkbox"/> a. Empty <input type="checkbox"/> b. Petroleum <input type="checkbox"/> Diesel <input type="checkbox"/> Kerosene <input type="checkbox"/> Gasoline (including alcohol blends) <input checked="" type="checkbox"/> Used Oil <input type="checkbox"/> Other, Please Specify _____ </div> <input type="checkbox"/> c. Hazardous Substance Please Indicate Name of Principal CERCLA Substance OR Chemical Abstract Service (CAS) No. Mark box <input checked="" type="checkbox"/> if tank stores a mixture of substances <input type="checkbox"/> d. Unknown </div>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Additional Information (for tanks permanently taken out of service) <div> <input type="checkbox"/> a. Estimated date last used (mo/yr) <input type="checkbox"/> b. Estimated quantity of substance remaining (gal.) <input type="checkbox"/> c. Mark box <input checked="" type="checkbox"/> if tank was filled with inert material (e.g., sand, concrete) </div>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

APPENDIX 3

INTERVIEW RECORDS

Owner/Occupant Suhel kazaniContact Info 678-656-6662

- Use-Business, Length of Occupancy
- Year Developed
- Previous Uses and Duration
- Redevelopments/Structural Changes/Renovation
- Previous environmental assessments/issues
- Notifications of release at adjacent properties
- Fill dirt used during development
- Water service/Well
- Sewer Service/Septic

- Grease Trap, Oil/water separator
- Hazardous Waste Disposal
- Chemicals
- Dumpster/Waste Oil
- UST/AST/Totes/Drums
- Air Conditioning/Heating System/
Fuel Source

7/21/2021
AM
by LAD

- owns both business & property, since 2007, was gas station at that time
- no notifications of releases at adjacent properties
- refinanced w/Piedmont Bank multiple times, they may have prior reports
- water & sewer provided by Dekalb county
- Lube place is a tenant,
- 4 UST for petroleum, no knowledge about Lube place USTs
- No knowledge about oil/H₂O separator

Site Address:

Site Inspection

- Buildings/Sections/Remnants
- Use/Businesses
- Staining/Mounds/Damaged Vegetation
- Odors/Monitoring Wells/Soil Borings
- Engineering Controls/Silt fencing
- Topography
- Hazardous Waste Generator/Disposal
- Dumpster/Used Oil/Drums
- On-site burial/dumping/Surface Debris
- Chemical storage/containers
- Parts Washer/Paint Booth/Oil/Antifreeze
- Manifests/Frequency of pick-up

- UST/AST/Totes/Drums/Containment/Leak Detection
- Water/Well/Depth/Location/Age
- Sewer/Septic/Location
- Grease Trap/Oil-water Separator/Location/Emptied
- Wastewater Treatment/Discharges/Sumps/Drains
- Storm water/Retention Pond/Catch basins/drains
- Electrical lines/Transformers
- Power Generation/Back-up Generator/Fuel
- Heating/Cooling System/Location/Fuel Source
- Asbestos-Containing Materials/Wetlands
- Surrounding Properties/Business/Year Built/Wastes/Topographical relationship

4118 Lavista Rd Tucker GA P592-01 Sunny 90°F & LD+LB

- veeder root machine TLS 350 Model, got TT tests tanks 1-4
- conv. store building large coolers E+W sides of building, register counter, aisles, game area, + small office w/RR, detached fuel canopy over building + to E+W, 4 total dispensers (2E + 2W)
- metal plate access port by SE dispenser + 2x2 concrete patches over old monitoring wells throughout parking lot
- Lube place: Castrol Premium Lube Express building W-SW
- 2 subgrade service pits, 2 bay garage w/bay doors N+S sides
- S side building at right-hand bay = access for UST, vent pipe on roof

Manager Larry Wilson, supervisor 1 year, in/out of shop 5 years
 -used oil collected weekly by Universal Waste, used filters monthly by ^{ES} ~~Universal~~ ^{UES} ~~Universal~~

- 3 large tanks subgrade, Kitty litter to absorb small spill
- 4 ASTs 1000 gal Motor oil
- H₂O -oil/H₂O sep. subgrade + sump, floor drains
- chemicals: ✓ 2 plastic totes 330 gal used oil, several 5 gal gear oil, 6 totes 110 gal motor oil, 7 drums motor oil, oil drip to 25 gal catch pans then to totes for weekly pickup
- out of use AST transmission fluid end use 4.5 ga
- waste bin for used filters ^{NW} NE corner, ✓ dumpster N central
- pad trans. NW ✓ -standing oil in below grade basement
- common tank pit, 4 petro tanks + 1 additional UST, vent pipe N
- several monitoring wells in concrete over tank pit
- graded S to N, topo generally slopes E-NE
- gas plumbed to lube place but not in use
- car wash w/trench drains, sediment trap in enclosure, 2 drums shine + cleaning chem, all chem 5-55 gallons, 2 vacuum stations, surface litter + 4ft retaining wall N boundary

APPENDIX 4

ELECTRONIC DATABASE REPORT

Radius Report

[GeoLens by GeoSearch](#)

Target Property:

**Gas Station
4118 Lavista Rd
Tucker, Dekalb County, Georgia 30345**

Prepared For:

Logic Environmental

Order #: 167396

Job #: 416053

Project #: P592-01

Date: 07/07/2021

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Disclaimer

This report was designed by GeoSearch to meet or exceed the records search requirements of the All Appropriate Inquiries Rule (40 CFR § 312.26) and the current version of the ASTM International E1527, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process or, if applicable, the custom requirements requested by the entity that ordered this report. The records and databases of records used to compile this report were collected from various federal, state and local governmental entities. It is the goal of GeoSearch to meet or exceed the 40 CFR § 312.26 and E1527 requirements for updating records by using the best available technology. GeoSearch contacts the appropriate governmental entities on a recurring basis. Depending on the frequency with which a record source or database of records is updated by the governmental entity, the data used to prepare this report may be updated monthly, quarterly, semi-annually, or annually.

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Target Property Summary

Target Property Information

Gas Station

4118 Lavista Rd

Tucker, Georgia 30345

Coordinates

Area centroid (-84.250309, 33.8468852)

1,070 feet above sea level

USGS Quadrangle

Northeast Atlanta, GA

Stone Mountain, GA

Geographic Coverage Information

County/Parish: DeKalb (GA)

ZipCode(s):

Decatur GA: 30033

Tucker GA: 30084

Atlanta GA: 30341, 30345

Database Summary

FEDERAL LISTING

Standard Environmental Records

Database	Acronym	Locatable	Unlocatable	Search Radius (miles)
EMERGENCY RESPONSE NOTIFICATION SYSTEM	ERNSGA	0	0	TP/AP
FEDERAL ENGINEERING INSTITUTIONAL CONTROL SITES	EC	0	0	TP/AP
LAND USE CONTROL INFORMATION SYSTEM	LUCIS	0	0	TP/AP
RCRA SITES WITH CONTROLS	RCRASC	0	0	TP/AP
RESOURCE CONSERVATION & RECOVERY ACT - GENERATOR	RCRAGR04	3	0	0.1250
RESOURCE CONSERVATION & RECOVERY ACT - NON-GENERATOR	RCRANGR04	5	0	0.1250
BROWNFIELDS MANAGEMENT SYSTEM	BF	0	0	0.5000
DELISTED NATIONAL PRIORITIES LIST	DNPL	0	0	0.5000
NO LONGER REGULATED RCRA NON-CORRACTS TSD FACILITIES	NLRRCRAT	0	0	0.5000
RESOURCE CONSERVATION & RECOVERY ACT - NON-CORRACTS TREATMENT, STORAGE & DISPOSAL FACILITIES	RCRAT	0	0	0.5000
SUPERFUND ENTERPRISE MANAGEMENT SYSTEM	SEMS	0	0	0.5000
SUPERFUND ENTERPRISE MANAGEMENT SYSTEM ARCHIVED SITE INVENTORY	SEMSARCH	1	0	0.5000
NATIONAL PRIORITIES LIST	NPL	0	0	1.0000
NO LONGER REGULATED RCRA CORRECTIVE ACTION FACILITIES	NLRRCRAC	0	0	1.0000
PROPOSED NATIONAL PRIORITIES LIST	PNPL	0	0	1.0000
RESOURCE CONSERVATION & RECOVERY ACT - CORRECTIVE ACTION FACILITIES	RCRAC	1	0	1.0000
RESOURCE CONSERVATION & RECOVERY ACT - SUBJECT TO CORRECTIVE ACTION FACILITIES	RCRASUBC	0	0	1.0000
SUB-TOTAL		10	0	

Additional Environmental Records

Database	Acronym	Locatable	Unlocatable	Search Radius (miles)
AEROMETRIC INFORMATION RETRIEVAL SYSTEM / AIR FACILITY SUBSYSTEM	AIRSAFS	0	0	TP/AP
BIENNIAL REPORTING SYSTEM	BRS	0	0	TP/AP
CERCLIS LIENS	SFLIENS	0	0	TP/AP
CLANDESTINE DRUG LABORATORY LOCATIONS	CDL	0	0	TP/AP
EPA DOCKET DATA	DOCKETS	0	0	TP/AP
ENFORCEMENT AND COMPLIANCE HISTORY INFORMATION	ECHOR04	1	0	TP/AP
FACILITY REGISTRY SYSTEM	FRSGA	2	0	TP/AP

Database Summary

Database	Acronym	Locatable	Unlocatable	Search Radius (miles)
HAZARDOUS MATERIALS INCIDENT REPORTING SYSTEM	HMIRSR04	0	0	TP/AP
HAZARDOUS WASTE COMPLIANCE DOCKET FACILITIES	HWCD	0	0	TP/AP
INTEGRATED COMPLIANCE INFORMATION SYSTEM (FORMERLY DOCKETS)	ICIS	0	0	TP/AP
INTEGRATED COMPLIANCE INFORMATION SYSTEM NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM	ICISNPDES	0	0	TP/AP
MATERIAL LICENSING TRACKING SYSTEM	MLTS	0	0	TP/AP
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM	NPDESR04	0	0	TP/AP
PCB ACTIVITY DATABASE SYSTEM	PADS	0	0	TP/AP
PERMIT COMPLIANCE SYSTEM	PCSR04	0	0	TP/AP
SEMS LIEN ON PROPERTY	SEMSLIENS	0	0	TP/AP
SSEHRI PFAS CONTAMINATION SITES	SSEHRIPFAS	0	0	TP/AP
SECTION SEVEN TRACKING SYSTEM	SSTS	0	0	TP/AP
TOXIC SUBSTANCE CONTROL ACT INVENTORY	TSCA	0	0	TP/AP
TOXICS RELEASE INVENTORY	TRI	0	0	TP/AP
ALTERNATIVE FUELING STATIONS	ALTFUELS	1	0	0.2500
FEMA OWNED STORAGE TANKS	FEMAUST	0	0	0.2500
HISTORICAL GAS STATIONS	HISTPST	0	0	0.2500
INTEGRATED COMPLIANCE INFORMATION SYSTEM DRYCLEANERS	ICISCLEANERS	0	0	0.2500
MINE SAFETY AND HEALTH ADMINISTRATION MASTER INDEX FILE	MSHA	0	0	0.2500
MINERAL RESOURCE DATA SYSTEM	MRDS	0	0	0.2500
OPEN DUMP INVENTORY	ODI	0	0	0.5000
SURFACE MINING CONTROL AND RECLAMATION ACT SITES	SMCRA	0	0	0.5000
URANIUM MILL TAILINGS RADIATION CONTROL ACT SITES	USUMTRCA	0	0	0.5000
DEPARTMENT OF DEFENSE SITES	DOD	0	0	1.0000
FORMER MILITARY NIKE MISSILE SITES	NMS	0	0	1.0000
FORMERLY USED DEFENSE SITES	FUDS	0	0	1.0000
FORMERLY UTILIZED SITES REMEDIAL ACTION PROGRAM	FUSRAP	0	0	1.0000
RECORD OF DECISION SYSTEM	RODS	0	0	1.0000
SUB-TOTAL		4	0	

Database Summary

STATE (GA) LISTING

Standard Environmental Records

Database	Acronym	Locatable	Unlocatable	Search Radius (miles)
UNIFORM ENVIRONMENTAL COVENANT PROPERTIES	UEC	0	0	TP/AP
UNDERGROUND STORAGE TANKS	UST	8	0	0.2500
BROWNFIELD PROPERTIES	BF	5	0	0.5000
CLOSED LANDFILLS	CLF	0	0	0.5000
DELISTED HAZARDOUS SITE INVENTORY SITES	DHSI	0	0	0.5000
HISTORIC SOLID WASTE FACILITIES	HISTSWE	0	0	0.5000
LEAKING UNDERGROUND STORAGE TANKS	LUST	13	0	0.5000
SOLID WASTE FACILITIES	SWF	0	0	0.5000
VOLUNTARY REMEDIATION PROGRAM SITES	VRP	0	0	0.5000
HAZARDOUS SITE INVENTORY	HSI	0	0	1.0000
SUB-TOTAL		26	0	

Additional Environmental Records

Database	Acronym	Locatable	Unlocatable	Search Radius (miles)
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMITS	NPDES	0	0	TP/AP
SPILLS LISTING	SPILLS	1	0	TP/AP
TIER II CHEMICAL REPORTING PROGRAM FACILITIES	TIERII	0	0	TP/AP
HISTORIC NON-HAZARDOUS SITE INVENTORY	HISTNONHSI	8	0	1.0000
NON HAZARDOUS SITE INVENTORY	NONHSI	15	0	1.0000
SUB-TOTAL		24	0	

Database Summary

TRIBAL LISTING

Standard Environmental Records

Database	Acronym	Locatable	Unlocatable	Search Radius (miles)
UNDERGROUND STORAGE TANKS ON TRIBAL LANDS	USTR04	0	0	0.2500
LEAKING UNDERGROUND STORAGE TANKS ON TRIBAL LANDS	LUSTR04	0	0	0.5000
OPEN DUMP INVENTORY ON TRIBAL LANDS	ODINDIAN	0	0	0.5000

SUB-TOTAL		0	0	
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Additional Environmental Records

Database	Acronym	Locatable	Unlocatable	Search Radius (miles)
INDIAN RESERVATIONS	INDIANRES	0	0	1.0000

SUB-TOTAL		0	0	
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TOTAL		64	0	
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Database Radius Summary

FEDERAL LISTING

Standard environmental records are displayed in **bold**.

Acronym	Search Radius (miles)	TP/AP (0 - 0.02)	1/8 Mile (> TP/AP)	1/4 Mile (> 1/8)	1/2 Mile (> 1/4)	1 Mile (> 1/2)	> 1 Mile	Total
AIRSAFS	0.0200	0	NS	NS	NS	NS	NS	0
BRS	0.0200	0	NS	NS	NS	NS	NS	0
CDL	0.0200	0	NS	NS	NS	NS	NS	0
DOCKETS	0.0200	0	NS	NS	NS	NS	NS	0
EC	0.0200	0	NS	NS	NS	NS	NS	0
ECHOR04	0.0200	1	NS	NS	NS	NS	NS	1
ERNSGA	0.0200	0	NS	NS	NS	NS	NS	0
FRSGA	0.0200	2	NS	NS	NS	NS	NS	2
HMIRSR04	0.0200	0	NS	NS	NS	NS	NS	0
HWCD	0.0200	0	NS	NS	NS	NS	NS	0
ICIS	0.0200	0	NS	NS	NS	NS	NS	0
ICISNPDES	0.0200	0	NS	NS	NS	NS	NS	0
LUCIS	0.0200	0	NS	NS	NS	NS	NS	0
MLTS	0.0200	0	NS	NS	NS	NS	NS	0
NPDESR04	0.0200	0	NS	NS	NS	NS	NS	0
PADS	0.0200	0	NS	NS	NS	NS	NS	0
PCSR04	0.0200	0	NS	NS	NS	NS	NS	0
RCRASC	0.0200	0	NS	NS	NS	NS	NS	0
SEMSLIENS	0.0200	0	NS	NS	NS	NS	NS	0
SFLIENS	0.0200	0	NS	NS	NS	NS	NS	0
SSEHRIPFAS	0.0200	0	NS	NS	NS	NS	NS	0
SSTS	0.0200	0	NS	NS	NS	NS	NS	0
TRI	0.0200	0	NS	NS	NS	NS	NS	0
TSCA	0.0200	0	NS	NS	NS	NS	NS	0
RCRAGR04	0.1250	0	3	NS	NS	NS	NS	3
RCRANGR04	0.1250	1	4	NS	NS	NS	NS	5
ALTFUELS	0.2500	0	1	0	NS	NS	NS	1
FEMAUST	0.2500	0	0	0	NS	NS	NS	0
HISTPST	0.2500	0	0	0	NS	NS	NS	0
ICISCLEANERS	0.2500	0	0	0	NS	NS	NS	0
MRDS	0.2500	0	0	0	NS	NS	NS	0
MSHA	0.2500	0	0	0	NS	NS	NS	0
BF	0.5000	0	0	0	0	NS	NS	0
DNPL	0.5000	0	0	0	0	NS	NS	0
NLRRCRAT	0.5000	0	0	0	0	NS	NS	0

Database Radius Summary

Acronym	Search Radius (miles)	TP/AP (0 - 0.02)	1/8 Mile (> TP/AP)	1/4 Mile (> 1/8)	1/2 Mile (> 1/4)	1 Mile (> 1/2)	> 1 Mile	Total
ODI	0.5000	0	0	0	0	NS	NS	0
RCRAT	0.5000	0	0	0	0	NS	NS	0
SEMS	0.5000	0	0	0	0	NS	NS	0
SEMSARCH	0.5000	0	0	1	0	NS	NS	1
SMCRA	0.5000	0	0	0	0	NS	NS	0
USUMTRCA	0.5000	0	0	0	0	NS	NS	0
DOD	1.0000	0	0	0	0	0	NS	0
FUDS	1.0000	0	0	0	0	0	NS	0
FUSRAP	1.0000	0	0	0	0	0	NS	0
NLRRCRAC	1.0000	0	0	0	0	0	NS	0
NMS	1.0000	0	0	0	0	0	NS	0
NPL	1.0000	0	0	0	0	0	NS	0
PNPL	1.0000	0	0	0	0	0	NS	0
RCRAC	1.0000	0	0	0	0	1	NS	1
RCRASUBC	1.0000	0	0	0	0	0	NS	0
RODS	1.0000	0	0	0	0	0	NS	0
SUB-TOTAL		4	8	1	0	1	0	14

Database Radius Summary

STATE (GA) LISTING

Standard environmental records are displayed in **bold**.

Acronym	Search Radius (miles)	TP/AP (0 - 0.02)	1/8 Mile (> TP/AP)	1/4 Mile (> 1/8)	1/2 Mile (> 1/4)	1 Mile (> 1/2)	> 1 Mile	Total
NPDES	0.0200	0	NS	NS	NS	NS	NS	0
SPILLS	0.0200	1	NS	NS	NS	NS	NS	1
TIERII	0.0200	0	NS	NS	NS	NS	NS	0
UEC	0.0200	0	NS	NS	NS	NS	NS	0
UST	0.2500	1	3	4	NS	NS	NS	8
BF	0.5000	0	0	2	3	NS	NS	5
CLF	0.5000	0	0	0	0	NS	NS	0
DHSI	0.5000	0	0	0	0	NS	NS	0
HISTSWF	0.5000	0	0	0	0	NS	NS	0
LUST	0.5000	1	3	3	6	NS	NS	13
SWF	0.5000	0	0	0	0	NS	NS	0
VRP	0.5000	0	0	0	0	NS	NS	0
HISTNONHSI	1.0000	0	2	1	3	2	NS	8
HSI	1.0000	0	0	0	0	0	NS	0
NONHSI	1.0000	0	2	3	4	6	NS	15

SUB-TOTAL		3	10	13	16	8	0	50
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Database Radius Summary

TRIBAL LISTING

Standard environmental records are displayed in **bold**.

Acronym	Search Radius (miles)	TP/AP (0 - 0.02)	1/8 Mile (> TP/AP)	1/4 Mile (> 1/8)	1/2 Mile (> 1/4)	1 Mile (> 1/2)	> 1 Mile	Total
USTR04	0.2500	0	0	0	NS	NS	NS	0
LUSTR04	0.5000	0	0	0	0	NS	NS	0
ODINDIAN	0.5000	0	0	0	0	NS	NS	0
INDIANRES	1.0000	0	0	0	0	0	NS	0

SUB-TOTAL		0	0	0	0	0	0	0
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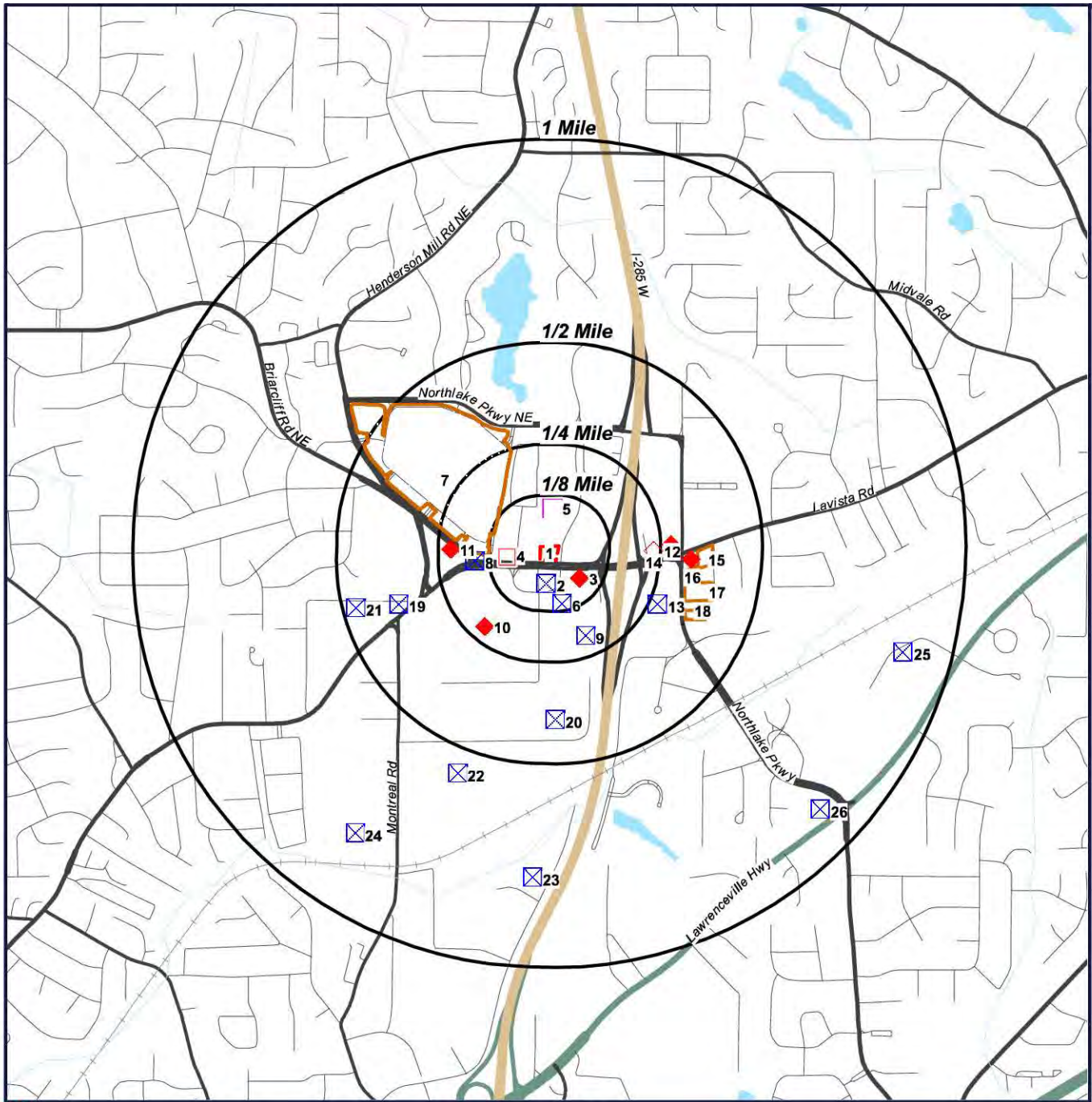
TOTAL		7	18	14	16	9	0	64
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NOTES:

NS = NOT SEARCHED

TP/AP = TARGET PROPERTY/ADJACENT PROPERTY

Radius Map 1



Target Property (TP)

NONHSI

LUST

RCRAGR04

RCRAGR04

RCRAGR04

RCRAGR04

LUST

UST

ALTFUELS

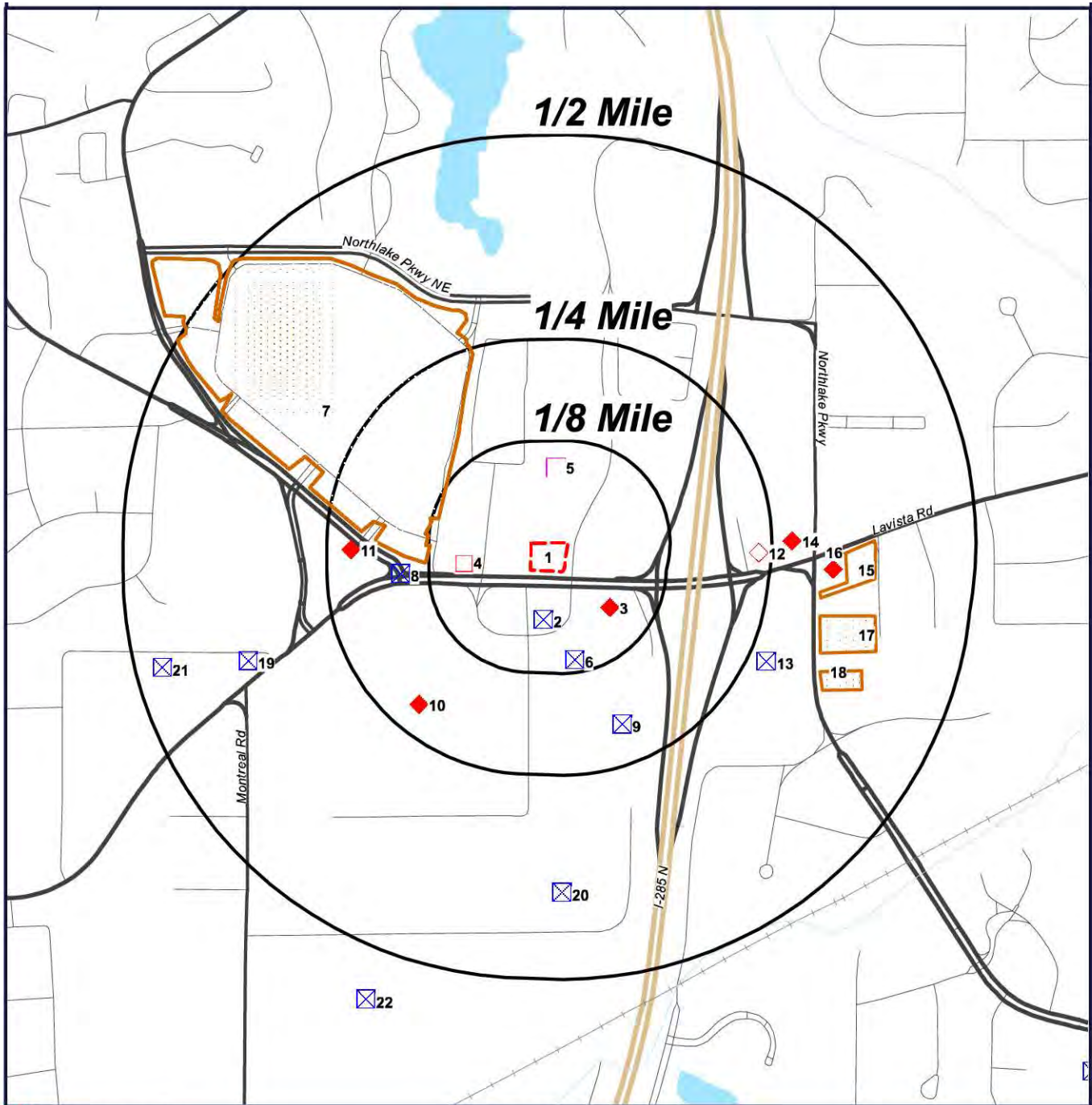
UST

Gas Station
4118 Lavista Rd
Tucker, Georgia
30345



0' 1000' 2000' 3000'
SCALE: 1" = 2000'

Radius Map 2



- 1 Target Property (TP)
- X NONHSI
- ◆ LUST
- 4 RCRAGR04
- 5 RCRANGR04
- 7 RCRAGR04
- 17 RCRANGR04
- 18 LUST
- 19 UST
- 20 UST

Gas Station
4118 Lavista Rd
Tucker, Georgia
30345



0' 500' 1000' 1500'
 SCALE: 1" = 1000'

Ortho Map



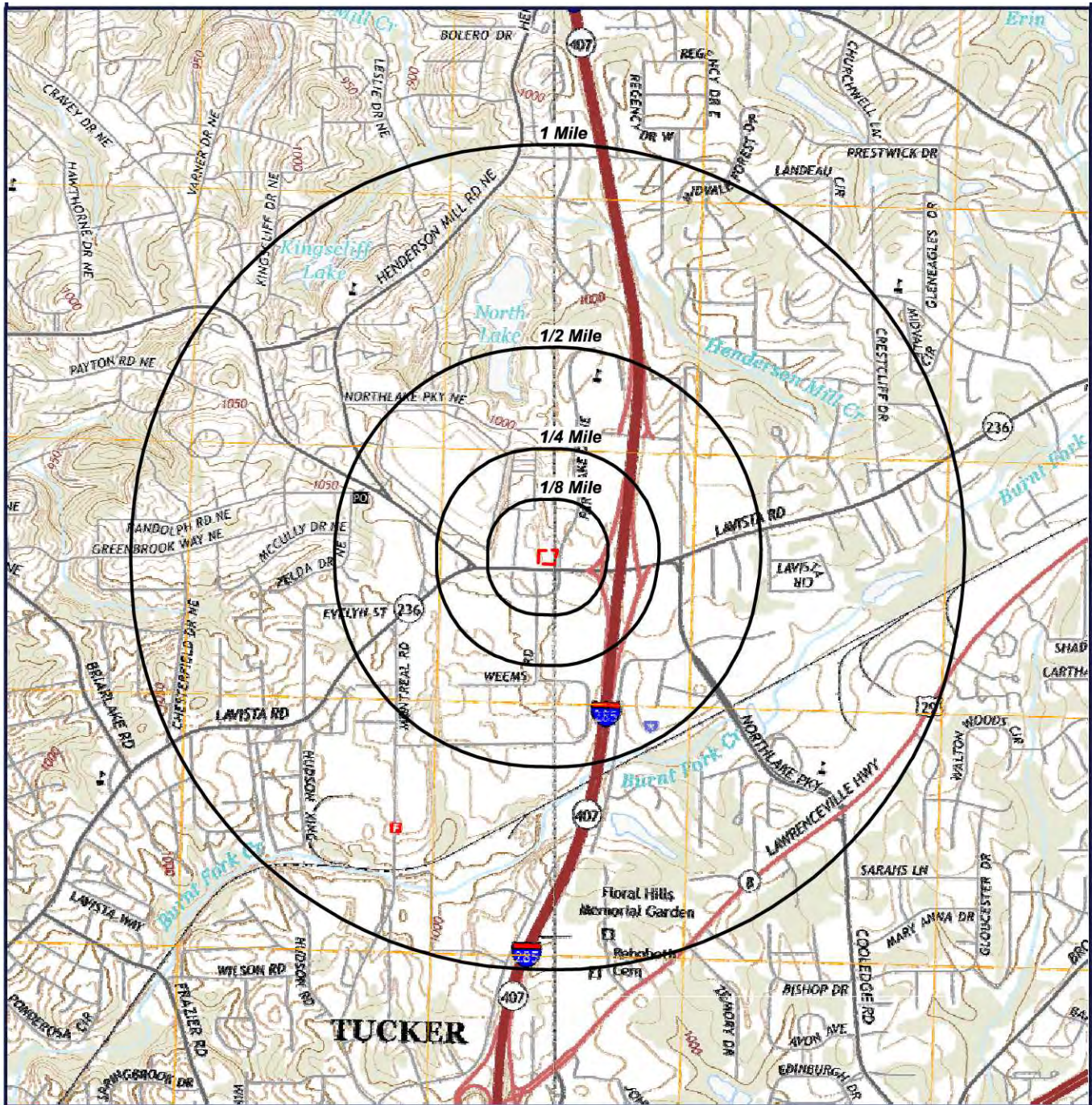
- 1 Target Property (TP)
- X NONHSI
- ◆ LUST
- R RCRAGR04
- R RCRAGR04
- R RCRAGR04
- R RCRAGR04
- ◆ LUST
- ◆ UST


Quadrangle(s):
Northeast
Atlanta, Stone
Mountain
Gas Station
4118 Lavista Rd
Tucker, Georgia
30345



0' 500' 1000' 1500'
 SCALE: 1" = 1000'

Topographic Map



 Target Property (TP)

Quadrangle(s): Northeast
Atlanta, Stone Mountain
Source: USGS, 03/28/2014
Gas Station
4118 Lavista Rd
Tucker, Georgia
30345



0' 1000' 2000' 3000'
SCALE: 1" = 2000'

Located Sites Summary

NOTE: Standard environmental records are displayed in **bold**.

Map ID#	Database Name	Site ID#	Relative Elevation	Distance From Site	Site Name	Address	PAGE #
1	ECHOR04	110007494130	Equal (1,070 ft.)	TP	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084	25
1	FRSGA	110007494130	Equal (1,070 ft.)	TP	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084	26
1	FRSGA	110013426382	Equal (1,070 ft.)	TP	SHELL STATION # 100456	4118 LAVISTA RD, TUCKER, GA 30084	27
1	LUST	4440158	Equal (1,070 ft.)	TP	SHELL	4118 LAVISTA RD, TUCKER, GA 30084	28
1	RCRANGR04	GAD984294678	Equal (1,070 ft.)	TP	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084	29
1	SPILLS	74307	Equal (1,070 ft.)	TP	MR. FOAMY	4118 LAVISTA ROAD, TUCKER, GA 30084	31
1	UST	4440158	Equal (1,070 ft.)	TP	SHELL	4118 LAVISTA RD, TUCKER, GA 30084	32
2	HISTNONHSI	3320212980	Equal (1,070 ft.)	0.062 mi. S (327 ft.)	NORTHLAKE SHOPPING CENTER (SUPPLEMENTAL NOTIFICATION)	4131 LA VISTA ROAD, TUCKER, GA 30084	35
2	LUST	4440227	Equal (1,070 ft.)	0.033 mi. S (174 ft.)	LAVISTA OIL 957 LLC	4121 LAVISTA RD, TUCKER, GA 30084	36
2	NONHSI	3912	Equal (1,070 ft.)	0.062 mi. S (327 ft.)	4131 LA VISTA ROAD TRACT(NORTHLAKE SHOPPING CNTR)	4131 LA VISTA ROAD, TUCKER, GA 30084	37
2	RCRANGR04	GAD984290700	Equal (1,070 ft.)	0.033 mi. S (174 ft.)	BP OIL CO	4121 LAVISTA ROAD, TUCKER, GA 30084	38
2	UST	4440227	Equal (1,070 ft.)	0.033 mi. S (174 ft.)	LAVISTA OIL 957 LLC	4121 LAVISTA RD, TUCKER, GA 30084	39
3	LUST	4440808	Lower (1,064 ft.)	0.073 mi. ESE (385 ft.)	CITGO FOOD MART	4153 LAVISTA RD & COOLEEDGE RD, TUCKER, GA 30084	44
3	RCRANGR04	GAD984299289	Lower (1,064 ft.)	0.073 mi. ESE (385 ft.)	S R COUCH AMOCO	4153 LAVISTA RD, TUCKER, GA 30084	46
3	UST	4440808	Lower (1,064 ft.)	0.073 mi. ESE (385 ft.)	CITGO FOOD MART	4153 LAVISTA RD & COOLEEDGE RD, TUCKER, GA 30084	48
4	RCRAGR04	GAR000081661	Lower (1,066 ft.)	0.082 mi. W (433 ft.)	ASPEN DENTAL	4076 LAVISTA RD., SUITE #102, TUCKER, GA 30084	52
5	RCRANGR04	GAD984313593	Lower (1,046 ft.)	0.092 mi. N (486 ft.)	STONE CONTAINER CORPORATION	2150 PARKLAKE DR, ATLANTA, GA 30345	54
6	HISTNONHSI	2965362204	Lower (1,064 ft.)	0.111 mi. S (586 ft.)	NORTHLAKE SHOPPING CENTER #2	4135/4145 LAVISTA ROAD, TUCKER, GA 30084	56
6	NONHSI	3911	Lower (1,064 ft.)	0.111 mi. S (586 ft.)	4135/4145 LA VISTA ROAD TRACT(NORTHLAKE SHOPPING CNTR)	4135/4145 LA VISTA ROAD, TUCKER, GA 30084	57
7	ALTFUELS	74343	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	NORTHLAKE MALL	4800 BRIARCLIFF RD NE, ATLANTA, GA 30345	58
7	LUST	9044225	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	SEARS #1275	NORTHLAKE MALL, ATLANTA, GA 30345	59

Located Sites Summary

NOTE: Standard environmental records are displayed in **bold**.

Map ID#	Database Name	Site ID#	Relative Elevation	Distance From Site	Site Name	Address	PAGE #
7	RCRAGR04	GAR000002006	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	SEARS ROEBUCK AND CO #1275/6405	2201 HENDERSON MILL RD NORTHLAKE MALL, ATLANTA, GA 30345	60
7	RCRAGR04	GAR000082172	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	MACY'S - NORTHLAKE (GA)	4800 BRIARCLIFF ROAD, ATLANTA, GA 30345	62
7	RCRANGR04	GAR000008730	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	JIFFY LUBE STORE #1618	2201 HENDERSON MILL RD NE, ATLANTA, GA 30345	64
7	UST	9044225	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	SEARS #1275	NORTHLAKE MALL, ATLANTA, GA 30345	66
8	NONHSI	5175	Lower (1,066 ft.)	0.159 mi. W (840 ft.)	FINA (FORMER)	LAVISTA RD & BRIARCLIFF RD, ATLANTA, GA	67
9	BF	1524345484	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	WEEMS ROAD REDEVELOPMENT PARCELS	2037 WEEMS RD., TUCKER, GA 30084	68
9	BF	1524345484A	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	2037 WEEMS ROAD	2037 WEEMS RD., TUCKER, GA 30084	69
9	HISTNONHSI	1856588217	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	SIEMENS ENERGY & AUTOMATION	2037 WEEMS ROAD, TUCKER, GA 30084	70
9	LUST	9044198	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	SIEMENS ENERGY & AUTOMATION	2037 WEEMS RD, TUCKER, GA 30084	71
9	NONHSI	4574	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	SIEMENS ENERGY & AUTOMATION (SUPPLEMENTAL)	2037 WEEMS ROAD, TUCKER, GA 30084	72
9	NONHSI	5620	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	GOULD, INC.	2037 WEEMS ROAD, TUCKER, GA	73
9	SEMSARCH	GAD086961620	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	GOULD INC	2037 WEEMS RD, TUCKER, GA 30084	74
9	UST	9044198	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	SIEMENS ENERGY & AUTOMATION	2037 WEEMS RD, TUCKER, GA 30084	75
10	LUST	4440016	Lower (1,040 ft.)	0.214 mi. SW (1130 ft.)	WSB-AM RADIO TRANSMITTER SITE	4111 LAVISTA RD, TUCKER, GA 30084	76
10	UST	4440016	Lower (1,040 ft.)	0.214 mi. SW (1130 ft.)	WSB-AM RADIO TRANSMITTER SITE	4111 LAVISTA RD, TUCKER, GA 30084	77
11	LUST	10000457	Lower (1,057 ft.)	0.220 mi. W (1162 ft.)	FORMER SHELL COST CENTER #168895	4030 LAVISTA RD, TUCKER, GA 30084	78
11	UST	10000457	Lower (1,057 ft.)	0.220 mi. W (1162 ft.)	FORMER SHELL COST CENTER #168895	4030 LAVISTA RD, TUCKER, GA 30084	79
12	UST	4440090	Equal (1,070 ft.)	0.234 mi. E (1236 ft.)	BUDGET RENT A CAR OF ATLANTA	4232 LAVISTA RD, TUCKER, GA 30084	80
13	BF	2595967084	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	POLLO TROPICAL	4241 LAVISTA ROAD, TUCKER, GA 30084	81

Located Sites Summary

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Map ID#	Database Name	Site ID#	Relative Elevation	Distance From Site	Site Name	Address	PAGE #
13	BF	2782619488	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	POLLO TROPICAL	4241 LAVISTA RD., TUCKER, GA	82
13	HISTNONHSI	2924991007	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	MCNAMARA PONTIAC	4241 LAVISTA ROAD, TUCKER, GA 30084	83
13	LUST	4440718	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	MCNAMARA PONTIAC	4241 LAVISTA RD, TUCKER, GA 30084	84
13	NONHSI	3651	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	MCNAMARA PONTIAC	4241 LAVISTA ROAD, TUCKER, GA	85
14	LUST	4440496	Equal (1,070 ft.)	0.275 mi. E (1452 ft.)	MZZZ COM INC	4246 LAVISTA RD & I-285, TUCKER, GA 30084	86
15	LUST	9000230	Higher (1,073 ft.)	0.315 mi. E (1663 ft.)	MAJIK MARKET/TENNECO #11709	4279 LAVISTA RD, TUCKER, GA 30084	87
16	LUST	9000250	Higher (1,073 ft.)	0.327 mi. E (1727 ft.)	STALLION INVESTMENT II LLC	4271 LAVISTA RD, TUCKER, GA 30084	88
17	LUST	9044221	Lower (1,050 ft.)	0.319 mi. E (1684 ft.)	DWIGHT HARRISON VOLKSWAGEN	2101 NORTHLAKE PARKWAY, TUCKER, GA 30084	91
18	LUST	601128	Lower (1,050 ft.)	0.338 mi. ESE (1785 ft.)	MR PRIDE CARWASH (NORTHLAKE)	2081 NORTHLAKE PKWY, TUCKER, GA 30084	92
19	HISTNONHSI	844251851	Lower (1,055 ft.)	0.363 mi. WSW (1917 ft.)	HONEY BAKED HAM	3936 LAVISTA ROAD, TUCKER, GA 30084	93
19	NONHSI	4201	Lower (1,055 ft.)	0.363 mi. WSW (1917 ft.)	HONEY BAKED HAM	3936 LAVISTA RD, TUCKER, GA 30084	94
20	HISTNONHSI	4048577983	Lower (1,039 ft.)	0.395 mi. S (2086 ft.)	FORMER MCEWEN LUMBER CO.	3434 MONTREAL INDUSTRIAL WAY, TUCKER, GA 30084	95
20	NONHSI	5176	Lower (1,039 ft.)	0.395 mi. S (2086 ft.)	MCEWEN LUMBER COMPANY (FORMER)	3434 MONTREAL INDUSTRIAL WAY, TUCKER, GA	96
21	BF	824281072	Lower (1,046 ft.)	0.467 mi. WSW (2466 ft.)	NORTHLAKE CENTER	3900 LAVISTA RD., TUCKER, GA 30084	97
21	NONHSI	6090	Lower (1,046 ft.)	0.467 mi. WSW (2466 ft.)	NORTHLAKE PLAZA SHOPPING CENTER	3900 LAVISTA ROAD, TUCKER, GA 30084	98
22	NONHSI	5498	Lower (1,015 ft.)	0.565 mi. SSW (2983 ft.)	3289 MONTREAL INDUSTRIAL WAY	3289 MONTREAL INDUSTRIAL WAY, TUCKER, GA 30084	99
23	NONHSI	5188	Lower (1,034 ft.)	0.784 mi. S (4140 ft.)	MONTREAL COURT DRUM SITE	1804 MONTREAL COURT, TUCKER, GA	100
24	HISTNONHSI	4261758012	Lower (1,014 ft.)	0.813 mi. SW (4293 ft.)	DWERSEY CORP.	1846 MONTREAL RD., TUCKER, GA 30084	101
24	NONHSI	2509	Lower (1,014 ft.)	0.813 mi. SW (4293 ft.)	DIVERSEY CORP	1846 MONTREAL ROAD, TUCKER, GA 30085	102
24	NONHSI	5609	Lower (1,014 ft.)	0.813 mi. SW (4293 ft.)	DIVERSEY CORP.	1846 MONTREAL ROAD, TUCKER, GA 30085	103
24	RCRAC	GAD057270274	Lower (1,014 ft.)	0.813 mi. SW (4293 ft.)	DIVERSEY CORP	1846 MONTREAL RD, TUCKER, GA 30085	104

Located Sites Summary

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Map ID#	Database Name	Site ID#	Relative Elevation	Distance From Site	Site Name	Address	PAGE #
25	HISTNONHSI	1468219186	Higher (1,072 ft.)	0.882 mi. ESE (4657 ft.)	VCAR EMULSION SYSTEMS	2043 STEEL DR., TUCKER, GA 30084	107
25	NONHSI	2523	Higher (1,072 ft.)	0.882 mi. ESE (4657 ft.)	UCAR EMULSION SYSTEMS	2043 STEEL DRIVE, TUCKER, GA 30084	108
26	NONHSI	5911	Equal (1,070 ft.)	0.894 mi. SE (4720 ft.)	MARATHON FOOD MART (FORMER)	3356 LAWRENCEVILLE HIGHWAY, TUCKER, GA 30084	109

Site Summary By Database

NOTE: Standard environmental records are displayed in **bold**.

Map ID#	Database Name	Site ID#	Relative Elevation	Distance From Site	Site Name	Address
7	ALTFUELS	74343	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	NORTHLAKE MALL	4800 BRIARCLIFF RD NE, ATLANTA, GA 30345
9	BF	1524345484	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	WEEMS ROAD REDEVELOPMENT PARCELS	2037 WEEMS RD., TUCKER, GA 30084
9	BF	1524345484A	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	2037 WEEMS ROAD	2037 WEEMS RD., TUCKER, GA 30084
13	BF	2595967084	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	POLLO TROPICAL	4241 LAVISTA ROAD, TUCKER, GA 30084
13	BF	2782619488	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	POLLO TROPICAL	4241 LAVISTA RD., TUCKER, GA
21	BF	824281072	Lower (1,046 ft.)	0.467 mi. WSW (2466 ft.)	NORTHLAKE CENTER	3900 LAVISTA RD., TUCKER, GA 30084
1	ECHOR04	110007494130	Equal (1,070 ft.)	TP	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084
1	FRSGA	110007494130	Equal (1,070 ft.)	TP	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084
1	FRSGA	110013426382	Equal (1,070 ft.)	TP	SHELL STATION # 100456	4118 LAVISTA RD, TUCKER, GA 30084
2	HISTNONHSI	3320212980	Equal (1,070 ft.)	0.062 mi. S (327 ft.)	NORTHLAKE SHOPPING CENTER (SUPPLEMENTAL NOTIFICATION)	4131 LA VISTA ROAD, TUCKER, GA 30084
6	HISTNONHSI	2965362204	Lower (1,064 ft.)	0.111 mi. S (586 ft.)	NORTHLAKE SHOPPING CENTER #2	4135/4145 LAVISTA ROAD, TUCKER, GA 30084
9	HISTNONHSI	1856588217	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	SIEMENS ENERGY & AUTOMATION	2037 WEEMS ROAD, TUCKER, GA 30084
13	HISTNONHSI	2924991007	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	MCMAMARA PONTIAC	4241 LAVISTA ROAD, TUCKER, GA 30084
19	HISTNONHSI	844251851	Lower (1,055 ft.)	0.363 mi. WSW (1917 ft.)	HONEY BAKED HAM	3936 LAVISTA ROAD, TUCKER, GA 30084
20	HISTNONHSI	4048577983	Lower (1,039 ft.)	0.395 mi. S (2086 ft.)	FORMER MCEWEN LUMBER CO.	3434 MONTREAL INDUSTRIAL WAY, TUCKER, GA 30084
24	HISTNONHSI	4261758012	Lower (1,014 ft.)	0.813 mi. SW (4293 ft.)	DWERSEY CORP.	1846 MONTREAL RD., TUCKER, GA 30084
25	HISTNONHSI	1468219186	Higher (1,072 ft.)	0.882 mi. ESE (4657 ft.)	VCAR EMULSION SYSTEMS	2043 STEEL DR., TUCKER, GA 30084
1	LUST	4440158	Equal (1,070 ft.)	TP	SHELL	4118 LAVISTA RD, TUCKER, GA 30084
2	LUST	4440227	Equal (1,070 ft.)	0.033 mi. S (174 ft.)	LAVISTA OIL 957 LLC	4121 LAVISTA RD, TUCKER, GA 30084
3	LUST	4440808	Lower (1,064 ft.)	0.073 mi. ESE (385 ft.)	CITGO FOOD MART	4153 LAVISTA RD & COOLEDGE RD, TUCKER, GA 30084

Site Summary By Database

NOTE: Standard environmental records are displayed in **bold**.

Map ID#	Database Name	Site ID#	Relative Elevation	Distance From Site	Site Name	Address
7	LUST	9044225	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	SEARS #1275	NORTHLAKE MALL, ATLANTA, GA 30345
9	LUST	9044198	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	SIEMENS ENERGY & AUTOMATION	2037 WEEMS RD, TUCKER, GA 30084
10	LUST	4440016	Lower (1,040 ft.)	0.214 mi. SW (1130 ft.)	WSB-AM RADIO TRANSMITTER SITE	4111 LAVISTA RD, TUCKER, GA 30084
11	LUST	10000457	Lower (1,057 ft.)	0.220 mi. W (1162 ft.)	FORMER SHELL COST CENTER #168895	4030 LAVISTA RD, TUCKER, GA 30084
13	LUST	4440718	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	MCMAMARA PONTIAC	4241 LAVISTA RD, TUCKER, GA 30084
14	LUST	4440496	Equal (1,070 ft.)	0.275 mi. E (1452 ft.)	MZZZ COM INC	4246 LAVISTA RD & I-285, TUCKER, GA 30084
15	LUST	9000230	Higher (1,073 ft.)	0.315 mi. E (1663 ft.)	MAJIK MARKET/TENNECO #11709	4279 LAVISTA RD, TUCKER, GA 30084
16	LUST	9000250	Higher (1,073 ft.)	0.327 mi. E (1727 ft.)	STALLION INVESTMENT II LLC	4271 LAVISTA RD, TUCKER, GA 30084
17	LUST	9044221	Lower (1,050 ft.)	0.319 mi. E (1684 ft.)	DWIGHT HARRISON VOLKSWAGEN	2101 NORTHLAKE PARKWAY, TUCKER, GA 30084
18	LUST	601128	Lower (1,050 ft.)	0.338 mi. ESE (1785 ft.)	MR PRIDE CARWASH (NORTHLAKE)	2081 NORTHLAKE PKWY, TUCKER, GA 30084
2	NONHSI	3912	Equal (1,070 ft.)	0.062 mi. S (327 ft.)	4131 LA VISTA ROAD TRACT(NORTHLAKE SHOPPING CNTR)	4131 LA VISTA ROAD, TUCKER, GA 30084
6	NONHSI	3911	Lower (1,064 ft.)	0.111 mi. S (586 ft.)	4135/4145 LA VISTA ROAD TRACT(NORTHLAKE SHOPPING CNTR)	4135/4145 LA VISTA ROAD, TUCKER, GA 30084
8	NONHSI	5175	Lower (1,066 ft.)	0.159 mi. W (840 ft.)	FINA (FORMER)	LAVISTA RD & BRIARCLIFF RD, ATLANTA, GA
9	NONHSI	4574	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	SIEMENS ENERGY & AUTOMATION (SUPPLEMENTAL)	2037 WEEMS ROAD, TUCKER, GA 30084
9	NONHSI	5620	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	GOULD, INC.	2037 WEEMS ROAD, TUCKER, GA
13	NONHSI	3651	Lower (1,055 ft.)	0.274 mi. ESE (1447 ft.)	MCMAMARA PONTIAC	4241 LAVISTA ROAD, TUCKER, GA
19	NONHSI	4201	Lower (1,055 ft.)	0.363 mi. WSW (1917 ft.)	HONEY BAKED HAM	3936 LAVISTA RD, TUCKER, GA 30084
20	NONHSI	5176	Lower (1,039 ft.)	0.395 mi. S (2086 ft.)	MCEWEN LUMBER COMPANY (FORMER)	3434 MONTREAL INDUSTRIAL WAY, TUCKER, GA
21	NONHSI	6090	Lower (1,046 ft.)	0.467 mi. WSW (2466 ft.)	NORTHLAKE PLAZA SHOPPING CENTER	3900 LAVISTA ROAD, TUCKER, GA 30084

Site Summary By Database

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Map ID#	Database Name	Site ID#	Relative Elevation	Distance From Site	Site Name	Address
22	NONHSI	5498	Lower (1,015 ft.)	0.565 mi. SSW (2983 ft.)	3289 MONTREAL INDUSTRIAL WAY	3289 MONTREAL INDUSTRIAL WAY, TUCKER, GA 30084
23	NONHSI	5188	Lower (1,034 ft.)	0.784 mi. S (4140 ft.)	MONTREAL COURT DRUM SITE	1804 MONTREAL COURT, TUCKER, GA
24	NONHSI	2509	Lower (1,014 ft.)	0.813 mi. SW (4293 ft.)	DIVERSEY CORP	1846 MONTREAL ROAD, TUCKER, GA 30085
24	NONHSI	5609	Lower (1,014 ft.)	0.813 mi. SW (4293 ft.)	DIVERSEY CORP.	1846 MONTREAL ROAD, TUCKER, GA 30085
25	NONHSI	2523	Higher (1,072 ft.)	0.882 mi. ESE (4657 ft.)	UCAR EMULSION SYSTEMS	2043 STEEL DRIVE, TUCKER, GA 30084
26	NONHSI	5911	Equal (1,070 ft.)	0.894 mi. SE (4720 ft.)	MARATHON FOOD MART (FORMER)	3356 LAWRENCEVILLE HIGHWAY, TUCKER, GA 30084
24	RCRAC	GAD057270274	Lower (1,014 ft.)	0.813 mi. SW (4293 ft.)	DIVERSEY CORP	1846 MONTREAL RD, TUCKER, GA 30085
4	RCRAGR04	GAR000081661	Lower (1,066 ft.)	0.082 mi. W (433 ft.)	ASPEN DENTAL	4076 LAVISTA RD., SUITE #102, TUCKER, GA 30084
7	RCRAGR04	GAR000002006	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	SEARS ROEBUCK AND CO #1275/6405	2201 HENDERSON MILL RD NORTHLAKE MALL, ATLANTA, GA 30345
7	RCRAGR04	GAR000082172	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	MACY'S - NORTHLAKE (GA)	4800 BRIARCLIFF ROAD, ATLANTA, GA 30345
1	RCRANGR04	GAD984294678	Equal (1,070 ft.)	TP	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084
2	RCRANGR04	GAD984290700	Equal (1,070 ft.)	0.033 mi. S (174 ft.)	BP OIL CO	4121 LAVISTA ROAD, TUCKER, GA 30084
3	RCRANGR04	GAD984299289	Lower (1,064 ft.)	0.073 mi. ESE (385 ft.)	S R COUCH AMOCO	4153 LAVISTA RD, TUCKER, GA 30084
5	RCRANGR04	GAD984313593	Lower (1,046 ft.)	0.092 mi. N (486 ft.)	STONE CONTAINER CORPORATION	2150 PARKLAKE DR, ATLANTA, GA 30345
7	RCRANGR04	GAR000008730	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	JIFFY LUBE STORE #1618	2201 HENDERSON MILL RD NE, ATLANTA, GA 30345
9	SEMSARCH	GAD086961620	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	GOULD INC	2037 WEEMS RD, TUCKER, GA 30084
1	SPILLS	74307	Equal (1,070 ft.)	TP	MR. FOAMY	4118 LAVISTA ROAD, TUCKER, GA 30084
1	UST	4440158	Equal (1,070 ft.)	TP	SHELL	4118 LAVISTA RD, TUCKER, GA 30084
2	UST	4440227	Equal (1,070 ft.)	0.033 mi. S (174 ft.)	LAVISTA OIL 957 LLC	4121 LAVISTA RD, TUCKER, GA 30084
3	UST	4440808	Lower (1,064 ft.)	0.073 mi. ESE (385 ft.)	CITGO FOOD MART	4153 LAVISTA RD & COOLEDGE RD, TUCKER, GA 30084
7	UST	9044225	Lower (1,040 ft.)	0.117 mi. WNW (618 ft.)	SEARS #1275	NORTHLAKE MALL, ATLANTA, GA 30345

Site Summary By Database

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Map ID#	Database Name	Site ID#	Relative Elevation	Distance From Site	Site Name	Address
9	UST	9044198	Lower (1,047 ft.)	0.203 mi. SSE (1072 ft.)	SIEMENS ENERGY & AUTOMATION	2037 WEEMS RD, TUCKER, GA 30084
10	UST	4440016	Lower (1,040 ft.)	0.214 mi. SW (1130 ft.)	WSB-AM RADIO TRANSMITTER SITE	4111 LAVISTA RD, TUCKER, GA 30084
11	UST	10000457	Lower (1,057 ft.)	0.220 mi. W (1162 ft.)	FORMER SHELL COST CENTER #168895	4030 LAVISTA RD, TUCKER, GA 30084
12	UST	4440090	Equal (1,070 ft.)	0.234 mi. E (1236 ft.)	BUDGET RENT A CAR OF ATLANTA	4232 LAVISTA RD, TUCKER, GA 30084

Elevation Summary

Elevations are collected from the USGS 3D Elevation Program 1/3 arc-second (approximately 10 meters) layer hosted at the NGTOC. .

Target Property Elevation: 1070 ft.

NOTE: Standard environmental records are displayed in **bold**.

EQUAL/HIGHER ELEVATION

Map ID#	Database Name	Elevation	Site Name	Address	Page #
1	ECHOR04	1,070 ft.	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084	25
1	FRSGA	1,070 ft.	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084	26
1	FRSGA	1,070 ft.	SHELL STATION # 100456	4118 LAVISTA RD, TUCKER, GA 30084	27
1	LUST	1,070 ft.	SHELL	4118 LAVISTA RD, TUCKER, GA 30084	28
1	RCRANGR04	1,070 ft.	STAR ENTERPRISE	4118 LAVISTA RD, TUCKER, GA 30084	29
1	SPILLS	1,070 ft.	MR. FOAMY	4118 LAVISTA ROAD, TUCKER, GA 30084	31
1	UST	1,070 ft.	SHELL	4118 LAVISTA RD, TUCKER, GA 30084	32
2	HISTNONHSI	1,070 ft.	NORTHLAKE SHOPPING CENTER (SUPPLEMENTAL NOTIFICATION)	4131 LA VISTA ROAD, TUCKER, GA 30084	35
2	LUST	1,070 ft.	LAVISTA OIL 957 LLC	4121 LAVISTA RD, TUCKER, GA 30084	36
2	NONHSI	1,070 ft.	4131 LA VISTA ROAD TRACT(NORTHLAKE SHOPPING CNTR)	4131 LA VISTA ROAD, TUCKER, GA 30084	37
2	RCRANGR04	1,070 ft.	BP OIL CO	4121 LAVISTA ROAD, TUCKER, GA 30084	38
2	UST	1,070 ft.	LAVISTA OIL 957 LLC	4121 LAVISTA RD, TUCKER, GA 30084	39
12	UST	1,070 ft.	BUDGET RENT A CAR OF ATLANTA	4232 LAVISTA RD, TUCKER, GA 30084	80
14	LUST	1,070 ft.	MZZZ COM INC	4246 LAVISTA RD & I-285, TUCKER, GA 30084	86
15	LUST	1,073 ft.	MAJIK MARKET/TENNECO #11709	4279 LAVISTA RD, TUCKER, GA 30084	87
16	LUST	1,073 ft.	STALLION INVESTMENT II LLC	4271 LAVISTA RD, TUCKER, GA 30084	88
25	HISTNONHSI	1,072 ft.	VCAR EMULSION SYSTEMS	2043 STEEL DR., TUCKER, GA 30084	107
25	NONHSI	1,072 ft.	UCAR EMULSION SYSTEMS	2043 STEEL DRIVE, TUCKER, GA 30084	108
26	NONHSI	1,070 ft.	MARATHON FOOD MART (FORMER)	3356 LAWRENCEVILLE HIGHWAY, TUCKER, GA 30084	109

LOWER ELEVATION

Map ID#	Database Name	Elevation	Site Name	Address	Page #
3	LUST	1,064 ft.	CITGO FOOD MART	4153 LAVISTA RD & COOLEDGE RD, TUCKER, GA 30084	44
3	RCRANGR04	1,064 ft.	S R COUCH AMOCO	4153 LAVISTA RD, TUCKER, GA 30084	46
3	UST	1,064 ft.	CITGO FOOD MART	4153 LAVISTA RD & COOLEDGE RD, TUCKER, GA 30084	48
4	RCRAGR04	1,066 ft.	ASPEN DENTAL	4076 LAVISTA RD., SUITE #102, TUCKER, GA 30084	52
5	RCRANGR04	1,046 ft.	STONE CONTAINER CORPORATION	2150 PARKLAKE DR, ATLANTA, GA 30345	54
6	HISTNONHSI	1,064 ft.	NORTHLAKE SHOPPING CENTER #2	4135/4145 LAVISTA ROAD, TUCKER, GA 30084	56

Elevation Summary

Map ID#	Database Name	Elevation	Site Name	Address	Page #
6	NONHSI	1,064 ft.	4135/4145 LA VISTA ROAD TRACT(NORTHLAKE SHOPPING CNTR)	4135/4145 LA VISTA ROAD, TUCKER, GA 30084	57
7	ALTFUELS	1,040 ft.	NORTHLAKE MALL	4800 BRIARCLIFF RD NE, ATLANTA, GA 30345	58
7	LUST	1,040 ft.	SEARS #1275	NORTHLAKE MALL, ATLANTA, GA 30345	59
7	RCRAGR04	1,040 ft.	SEARS ROEBUCK AND CO #1275/6405	2201 HENDERSON MILL RD NORTHLAKE MALL, ATLANTA, GA 30345	60
7	RCRAGR04	1,040 ft.	MACY'S - NORTHLAKE (GA)	4800 BRIARCLIFF ROAD, ATLANTA, GA 30345	62
7	RCRANGR04	1,040 ft.	JIFFY LUBE STORE #1618	2201 HENDERSON MILL RD NE, ATLANTA, GA 30345	64
7	UST	1,040 ft.	SEARS #1275	NORTHLAKE MALL, ATLANTA, GA 30345	66
8	NONHSI	1,066 ft.	FINA (FORMER)	LAVISTA RD & BRIARCLIFF RD, ATLANTA, GA	67
9	BF	1,047 ft.	WEEMS ROAD REDEVELOPMENT PARCELS	2037 WEEMS RD., TUCKER, GA 30084	68
9	BF	1,047 ft.	2037 WEEMS ROAD	2037 WEEMS RD., TUCKER, GA 30084	69
9	HISTNONHSI	1,047 ft.	SIEMENS ENERGY & AUTOMATION	2037 WEEMS ROAD, TUCKER, GA 30084	70
9	LUST	1,047 ft.	SIEMENS ENERGY & AUTOMATION	2037 WEEMS RD, TUCKER, GA 30084	71
9	NONHSI	1,047 ft.	SIEMENS ENERGY & AUTOMATION (SUPPLEMENTAL)	2037 WEEMS ROAD, TUCKER, GA 30084	72
9	NONHSI	1,047 ft.	GOULD, INC.	2037 WEEMS ROAD, TUCKER, GA	73
9	SEMSARCH	1,047 ft.	GOULD INC	2037 WEEMS RD, TUCKER, GA 30084	74
9	UST	1,047 ft.	SIEMENS ENERGY & AUTOMATION	2037 WEEMS RD, TUCKER, GA 30084	75
10	LUST	1,040 ft.	WSB-AM RADIO TRANSMITTER SITE	4111 LAVISTA RD, TUCKER, GA 30084	76
10	UST	1,040 ft.	WSB-AM RADIO TRANSMITTER SITE	4111 LAVISTA RD, TUCKER, GA 30084	77
11	LUST	1,057 ft.	FORMER SHELL COST CENTER #168895	4030 LAVISTA RD, TUCKER, GA 30084	78
11	UST	1,057 ft.	FORMER SHELL COST CENTER #168895	4030 LAVISTA RD, TUCKER, GA 30084	79
13	BF	1,055 ft.	POLLO TROPICAL	4241 LAVISTA ROAD, TUCKER, GA 30084	81
13	BF	1,055 ft.	POLLO TROPICAL	4241 LAVISTA RD., TUCKER, GA	82
13	HISTNONHSI	1,055 ft.	MCNAMARA PONTIAC	4241 LAVISTA ROAD, TUCKER, GA 30084	83
13	LUST	1,055 ft.	MCNAMARA PONTIAC	4241 LAVISTA RD, TUCKER, GA 30084	84
13	NONHSI	1,055 ft.	MCNAMARA PONTIAC	4241 LAVISTA ROAD, TUCKER, GA	85
17	LUST	1,050 ft.	DWIGHT HARRISON VOLKSWAGEN	2101 NORTHLAKE PARKWAY, TUCKER, GA 30084	91
18	LUST	1,050 ft.	MR PRIDE CARWASH (NORTHLAKE)	2081 NORTHLAKE PKWY, TUCKER, GA 30084	92
19	HISTNONHSI	1,055 ft.	HONEY BAKED HAM	3936 LAVISTA ROAD, TUCKER, GA 30084	93
19	NONHSI	1,055 ft.	HONEY BAKED HAM	3936 LAVISTA RD, TUCKER, GA 30084	94

Elevation Summary

Map ID#	Database Name	Elevation	Site Name	Address	Page #
20	HISTNONHSI	1,039 ft.	FORMER MCEWEN LUMBER CO.	3434 MONTREAL INDUSTRIAL WAY, TUCKER, GA 30084	95
20	NONHSI	1,039 ft.	MCEWEN LUMBER COMPANY (FORMER)	3434 MONTREAL INDUSTRIAL WAY, TUCKER, GA	96
21	BF	1,046 ft.	NORTHLAKE CENTER	3900 LAVISTA RD., TUCKER, GA 30084	97
21	NONHSI	1,046 ft.	NORTHLAKE PLAZA SHOPPING CENTER	3900 LAVISTA ROAD, TUCKER, GA 30084	98
22	NONHSI	1,015 ft.	3289 MONTREAL INDUSTRIAL WAY	3289 MONTREAL INDUSTRIAL WAY, TUCKER, GA 30084	99
23	NONHSI	1,034 ft.	MONTREAL COURT DRUM SITE	1804 MONTREAL COURT, TUCKER, GA	100
24	HISTNONHSI	1,014 ft.	DIVERSEY CORP.	1846 MONTREAL RD., TUCKER, GA 30084	101
24	NONHSI	1,014 ft.	DIVERSEY CORP	1846 MONTREAL ROAD, TUCKER, GA 30085	102
24	NONHSI	1,014 ft.	DIVERSEY CORP.	1846 MONTREAL ROAD, TUCKER, GA 30085	103
24	RCRAC	1,014 ft.	DIVERSEY CORP	1846 MONTREAL RD, TUCKER, GA 30085	104

Enforcement and Compliance History Information (ECHOR04)

[MAP ID# 1](#)

Distance from Property: 0.000 mi. (0 ft.) X
Elevation: 1,070 ft. (Equal to TP)

FACILITY INFORMATION

UNIQUE ID: 110007494130

REGISTRY ID: 110007494130

NAME: STAR ENTERPRISE

ADDRESS: 4118 LAVISTA RD
TUCKER, GA 30084

COUNTY: DE KALB

FACILITY LINK: [Facility Detail Report](#)

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Facility Registry System (FRSGA)

[MAP ID# 1](#)

Distance from Property: 0.000 mi. (0 ft.) X
Elevation: 1,070 ft. (Equal to TP)

FACILITY INFORMATION

REGISTRY ID: 110007494130

NAME: STAR ENTERPRISE

LOCATION ADDRESS: 4118 LAVISTA RD
TUCKER, GA 30084

COUNTY: DE KALB

EPA REGION: 04

FEDERAL FACILITY:

TRIBAL LAND:

ALTERNATIVE NAME/S:

STAR ENTERPRISE

PROGRAM/S LISTED FOR THIS FACILITY

RCRAINFO - RESOURCE CONSERVATION AND RECOVERY ACT INFORMATION SYSTEM

STANDARD INDUSTRIAL CLASSIFICATION/S (SIC)

NO SIC DATA REPORTED

NORTH AMERICAN INDUSTRY CLASSIFICATION/S (NAICS)

44512 - CONVENIENCE STORES

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Facility Registry System (FRSGA)

[MAP ID# 1](#)

Distance from Property: 0.000 mi. (0 ft.) X
Elevation: 1,070 ft. (Equal to TP)

FACILITY INFORMATION

REGISTRY ID: 110013426382

NAME: SHELL STATION # 100456

LOCATION ADDRESS: 4118 LAVISTA RD
TUCKER, GA 30084

COUNTY: DEKALB

EPA REGION: 04

FEDERAL FACILITY:

TRIBAL LAND:

ALTERNATIVE NAME/S:

NORTHLAKE TEXACO

PROGRAM/S LISTED FOR THIS FACILITY

GEIMS - GEIMS

STANDARD INDUSTRIAL CLASSIFICATION/S (SIC)

NO SIC DATA REPORTED

NORTH AMERICAN INDUSTRY CLASSIFICATION/S (NAICS)

NO NAICS DATA REPORTED

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Leaking Underground Storage Tanks (LUST)

[MAP ID# 1](#)

Distance from Property: 0.000 mi. (0 ft.) X
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

FACILITY ID: 4440158
NAME: SHELL
ADDRESS: 4118 LAVISTA RD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 1
DESCRIPTION: CONFIRMED RELEASE
DATE RECEIVED: 03/15/2006
CONFIRM RELEASE DATE: 3/15/2006
NO FURTHER ACTION DATE: 2/28/2008
PROJECT NAME: UST - 1 - SHELL
SITE CODE DESCRIPTION: ELIGIBLE GUST TRUST FUND REIMBURSEMENT SITE
PROJECT OFFICER: JUNE LI
CLEANUP STATUS: NFA -MONITORING ONLY (MNA)

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Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

MAP ID# 1

Distance from Property: 0.000 mi. (0 ft.) X
Elevation: 1,070 ft. (Equal to TP)

FACILITY INFORMATION

EPA ID#: GAD984294678

NAME: STAR ENTERPRISE

ADDRESS: 4118 LAVISTA RD

TUCKER, GA 30084

CONTACT NAME: VICKIE WALKER

CONTACT ADDRESS: 4 EXECUTIVE PARK EAST

ATLANTA GA 30329

CONTACT PHONE: 281-874-1488

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 09/13/2007

OWNER TYPE: PRIVATE

OWNER NAME: MOTIVA ENTERPRISES LLC

OPERATOR TYPE: PRIVATE

OPERATOR NAME: MOTIVA ENTERPRISES LLC

CERTIFICATION

CERTIFICATION NAME:

VICKIE WALKER

CERTIFICATION TITLE:

AUTH REP

CERTIFICATION SIGNED DATE:

09/05/2007

INDUSTRY CLASSIFICATION (NAICS)

44512 - CONVENIENCE STORES

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: **NON-GENERATOR** LAST UPDATED DATE: 09/13/2007

SUBJECT TO CORRECTIVE ACTION UNIVERSE: **NO**

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: **NO**

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: **NO**

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: **NO**

CORRECTIVE ACTION WORKLOAD UNIVERSE: **NO**

IMPORTER: **NO**

UNDERGROUND INJECTION: **NO**

MIXED WASTE GENERATOR: **NO**

UNIVERSAL WASTE DESTINATION FACILITY: **NO**

RECYCLER: **NO**

TRANSFER FACILITY: **NO**

TRANSPORTER: **NO**

USED OIL FUEL BURNER: **NO**

ONSITE BURNER EXEMPTION: **NO**

USED OIL PROCESSOR: **NO**

FURNACE EXEMPTION: **NO**

USED OIL FUEL MARKETER TO BURNER: **NO**

USED OIL REFINER: **NO**

SPECIFICATION USED OIL MARKETER: **NO**

USED OIL TRANSFER FACILITY: **NO**

USED OIL TRANSPORTER: **NO**

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS - **NO EVALUATIONS REPORTED -**

VIOLATIONS - **NO VIOLATIONS REPORTED -**

ENFORCEMENTS - **NO ENFORCEMENTS REPORTED -**

HAZARDOUS WASTE

D001 IGNITABLE WASTE

D018 BENZENE

UNIVERSAL WASTE - **NO UNIVERSAL WASTE REPORTED -**

CORRECTIVE ACTION AREA - **NO CORRECTIVE ACTION AREA INFORMATION REPORTED -**

Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

CORRECTIVE ACTION EVENT

NO CORRECTIVE ACTION EVENT(S) REPORTED

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Spills Listing (SPILLS)

[MAP ID# 1](#)

Distance from Property: 0.000 mi. (0 ft.) X
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

COMPLAINT ID: 74307

SOURCE ADDRESS: 4118 LAVISTA ROAD
TUCKER, GA 30084

COUNTY:

SOURCE FACILITY NAME: MR. FOAMY

LOCATION OF COMPLAINT:

4118 LAVISTA RD.

TUCKER

NATURE:

AN OLD CARWASH BEHIND GAS STATION IS DISCHARGING WASH WATER INTO THE STORM DRAIN.

CURRENT OWNER:

BISHOP, JEFFERY

DATE COMPLAINT CLOSED: 10/17/2014 0:00

DATE CURRENT OWNER ACCEPTED: 7/10/2014 0:00

DATE CURRENT OWNER ASSIGNED: 7/8/2014 0:00

DATE ENTERED: 7/8/2014 9:59

DATE RECEIVED: 7/8/2014 9:55

PRIMARY CONCERN: WATER QUALITY CONTROL

SECONDARY CONCERN:

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Underground Storage Tanks (UST)

MAP ID# 1

Distance from Property: 0.000 mi. (0 ft.) X
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

FACILITY ID: 4440158

NAME: SHELL

ADDRESS: 4118 LAVISTA RD
TUCKER, GA 30084

REGION: PIRT 3

FACILITY TYPE: GAS STATION

STATUS: CURRENTLY IN USE

ORGANIZATION NAME:

CONTACT ADDRESS: 2055 NORTH BROWN RD SUITE 235
LAWRENCEVILLE, GA 30043

CONTACT PHONE: 678 6566662

DESCRIPTION: G.U.S.T. TRUST FUND

TANK DETAILS

TANK ID: 1

STATUS: CURRENTLY IN USE

STATUS DATE: 2/6/1985

PRODUCT: REGULAR

CAPACITY: 12000

MATERIAL TANK CONSTRUCTION: FIBERGLASS

MATERIAL PIPE CONSTRUCTION: FIBERGLASS REINFORCED PLASTIC

PIPE TYPE: PRESSURIZED

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE

OVERFILL INSTALLED DATE: 1/1/1994

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE

SPILL DEVICE INSTALLED DATE: 1/1/1987

TANK ID: 2

STATUS: CURRENTLY IN USE

STATUS DATE: 2/6/1985

PRODUCT: REGULAR

CAPACITY: 10000

MATERIAL TANK CONSTRUCTION: FIBERGLASS

MATERIAL PIPE CONSTRUCTION: FIBERGLASS REINFORCED PLASTIC

PIPE TYPE: PRESSURIZED

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE

OVERFILL INSTALLED DATE: 1/1/1994

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE

SPILL DEVICE INSTALLED DATE: 1/1/1987

TANK ID: 3

STATUS: CURRENTLY IN USE

STATUS DATE: 2/6/1985

PRODUCT: PREMIUM

Underground Storage Tanks (UST)

CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: FIBERGLASS
MATERIAL PIPE CONSTRUCTION: FIBERGLASS REINFORCED PLASTIC
PIPE TYPE: PRESSURIZED
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE
OVERFILL INSTALLED DATE: 1/1/1994
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE
SPILL DEVICE INSTALLED DATE: 1/1/1987

TANK ID: 4
STATUS: CURRENTLY IN USE
STATUS DATE: 2/6/1985
PRODUCT: DIESEL
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: FIBERGLASS
MATERIAL PIPE CONSTRUCTION: FIBERGLASS REINFORCED PLASTIC
PIPE TYPE: PRESSURIZED
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE: 1/1/1994
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE: 1/1/1987

TANK ID: 5
STATUS: TEMPORARILY OUT OF USE
STATUS DATE: 2/6/1985
PRODUCT: OTHER
CAPACITY: 1000
MATERIAL TANK CONSTRUCTION: FIBERGLASS
MATERIAL PIPE CONSTRUCTION: DOUBLE-WALLED FLEX
PIPE TYPE: PRESSURIZED
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE: 1/1/1994
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE: 1/1/1994

TANK ID: 6
STATUS: TEMPORARILY OUT OF USE
STATUS DATE: 2/6/1985
PRODUCT: USED OIL
CAPACITY: 550
MATERIAL TANK CONSTRUCTION: FIBERGLASS
MATERIAL PIPE CONSTRUCTION: DOUBLE-WALLED FLEX
PIPE TYPE: PRESSURIZED
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): TRUE
OVERFILL INSTALLED DATE: 1/1/1994
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): TRUE
SPILL DEVICE INSTALLED DATE: 1/1/1994

Underground Storage Tanks (UST)

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Historic Non-Hazardous Site Inventory (HISTNONHSI)

[MAP ID# 2](#)

Distance from Property: 0.062 mi. (327 ft.) S
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

GS ID: 3320212980

NAME: NORTHLAKE SHOPPING CENTER (SUPPLEMENTAL NOTIFICATION)

ADDRESS: 4131 LA VISTA ROAD

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

EPD'S RISK SCORES FOR GROUNDWATER: 6.50

EPD'S RISK SCORES FOR ON-SITE SOIL: 13.33

DATE: NOV-03

CONTAMINANTS: TETRACHKOROETHENE

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Leaking Underground Storage Tanks (LUST)

MAP ID# 2

Distance from Property: 0.033 mi. (174 ft.) S
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

FACILITY ID: 4440227
NAME: LAVISTA OIL 957 LLC
ADDRESS: 4121 LAVISTA RD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 2
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 02/03/2004
CONFIRM RELEASE DATE: 2/3/2004
NO FURTHER ACTION DATE: 2/21/2004
PROJECT NAME: UST - 2 - LAVISTA OIL 957 LLC
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: JUNE LI
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

LEAK ID: 1
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 07/01/1993
CONFIRM RELEASE DATE: 7/1/1993
NO FURTHER ACTION DATE: 6/27/2002
PROJECT NAME: UST - 1 - LAVISTA OIL 957 LLC
SITE CODE DESCRIPTION: **ELIGIBLE GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: JUNE LI
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 2

Distance from Property: 0.062 mi. (327 ft.) S
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

UNIQUEID: 3912
NOTIFICATION ID: 3912
NAME: 4131 LA VISTA ROAD TRACT(NORTHLAKE SHOPPING CNTR)
ADDRESS: 4131 LA VISTA ROAD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 12/18/2002
NON HSRA UNIT: CLEARY
NON HSRA CONTACT: DAVIS
HSRA CONTACT: DAVIS
DATE ASSND: 1/2/2003
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 2/21/2003
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NOT REPORTED

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Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

MAP ID# 2

Distance from Property: 0.033 mi. (174 ft.) S
Elevation: 1,070 ft. (Equal to TP)

FACILITY INFORMATION

EPA ID#: GAD984290700

NAME: BP OIL CO

ADDRESS: 4121 LAVISTA ROAD

TUCKER, GA 30084

CONTACT NAME: RICH BUTELA

CONTACT ADDRESS: 2555 WESTSIDE PKWY SUITE 300

ALPHARETTA GA 30004

CONTACT PHONE: 770-641-2404

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 05/29/2008

CERTIFICATION - NO CERTIFICATION REPORTED -

INDUSTRY CLASSIFICATION (NAICS) - NO NAICS INFORMATION REPORTED -

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: **NON-GENERATOR** LAST UPDATED DATE: 06/03/2008

SUBJECT TO CORRECTIVE ACTION UNIVERSE: **NO**

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: **NO**

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: **NO**

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: **NO**

CORRECTIVE ACTION WORKLOAD UNIVERSE: **NO**

IMPORTER: **NO**

UNDERGROUND INJECTION: **NO**

MIXED WASTE GENERATOR: **NO**

UNIVERSAL WASTE DESTINATION FACILITY: **NO**

RECYCLER: **NO**

TRANSFER FACILITY: **NO**

TRANSPORTER: **NO**

USED OIL FUEL BURNER: **NO**

ONSITE BURNER EXEMPTION: **NO**

USED OIL PROCESSOR: **NO**

FURNACE EXEMPTION: **NO**

USED OIL FUEL MARKETER TO BURNER: **NO**

USED OIL REFINER: **NO**

SPECIFICATION USED OIL MARKETER: **NO**

USED OIL TRANSFER FACILITY: **NO**

USED OIL TRANSPORTER: **NO**

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS - NO EVALUATIONS REPORTED -

VIOLATIONS - NO VIOLATIONS REPORTED -

ENFORCEMENTS - NO ENFORCEMENTS REPORTED -

HAZARDOUS WASTE

D001 IGNITABLE WASTE

D018 BENZENE

UNIVERSAL WASTE - NO UNIVERSAL WASTE REPORTED -

CORRECTIVE ACTION AREA - NO CORRECTIVE ACTION AREA INFORMATION REPORTED -

CORRECTIVE ACTION EVENT

NO CORRECTIVE ACTION EVENT(S) REPORTED

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Underground Storage Tanks (UST)

MAP ID# 2

Distance from Property: 0.033 mi. (174 ft.) S
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

FACILITY ID: 4440227

NAME: LAVISTA OIL 957 LLC

ADDRESS: 4121 LAVISTA RD
TUCKER, GA 30084

REGION: PIRT 3

FACILITY TYPE: GAS STATION

STATUS: REMOVED FROM GROUND

ORGANIZATION NAME:

CONTACT ADDRESS: 8924 E. PINNACLE PEAK ROAD
SCOTTSDALE, AZ 85255

CONTACT PHONE:

DESCRIPTION: G.U.S.T. TRUST FUND

TANK DETAILS

TANK ID: 1

STATUS: REMOVED FROM GROUND

STATUS DATE: 4/30/1968

PRODUCT: USED OIL

CAPACITY: 1000

MATERIAL TANK CONSTRUCTION: BARE STEEL

MATERIAL PIPE CONSTRUCTION: GALVANIZED STEEL

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): TRUE

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): TRUE

SPILL DEVICE INSTALLED DATE:

TANK ID: 10

STATUS: REMOVED FROM GROUND

STATUS DATE: 1/1/1989

PRODUCT: GAS (HISTORICAL USE)

CAPACITY: 10000

MATERIAL TANK CONSTRUCTION: FIBERGLASS

MATERIAL PIPE CONSTRUCTION: FIBERGLASS REINFORCED PLASTIC

PIPE TYPE: PRESSURIZED

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE

OVERFILL INSTALLED DATE: 1/1/1989

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE

SPILL DEVICE INSTALLED DATE: 1/1/1989

TANK ID: 11

STATUS: REMOVED FROM GROUND

STATUS DATE: 1/1/1989

PRODUCT: GAS (HISTORICAL USE)

Underground Storage Tanks (UST)

CAPACITY: **10000**
MATERIAL TANK CONSTRUCTION: **FIBERGLASS**
MATERIAL PIPE CONSTRUCTION: **FIBERGLASS REINFORCED PLASTIC**
PIPE TYPE: **PRESSURIZED**
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**
OVERFILL INSTALLED DATE: **1/1/1989**
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**
SPILL DEVICE INSTALLED DATE: **1/1/1989**

TANK ID: **12**
STATUS: **REMOVED FROM GROUND**
STATUS DATE: **1/1/1988**
PRODUCT: **USED OIL**
CAPACITY: **1000**
MATERIAL TANK CONSTRUCTION: **FIBERGLASS**
MATERIAL PIPE CONSTRUCTION: **FIBERGLASS REINFORCED PLASTIC**
PIPE TYPE:
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **TRUE**
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **TRUE**
SPILL DEVICE INSTALLED DATE:

TANK ID: **13**
STATUS: **CURRENTLY IN USE**
STATUS DATE: **12/8/2003**
PRODUCT: **REGULAR**
CAPACITY: **10000**
MATERIAL TANK CONSTRUCTION: **FIBERGLASS DOUBLE WALLED**
MATERIAL PIPE CONSTRUCTION: **DOUBLE-WALLED FLEX**
PIPE TYPE: **PRESSURIZED**
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**
OVERFILL INSTALLED DATE: **2/10/2004**
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**
SPILL DEVICE INSTALLED DATE: **2/10/2004**

TANK ID: **14**
STATUS: **CURRENTLY IN USE**
STATUS DATE: **12/8/2003**
PRODUCT: **REGULAR**
CAPACITY: **10000**
MATERIAL TANK CONSTRUCTION: **FIBERGLASS DOUBLE WALLED**
MATERIAL PIPE CONSTRUCTION: **DOUBLE-WALLED FLEX**
PIPE TYPE: **PRESSURIZED**
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**
OVERFILL INSTALLED DATE: **2/10/2004**
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**
SPILL DEVICE INSTALLED DATE: **2/10/2004**

Underground Storage Tanks (UST)

TANK ID: 15
STATUS: **CURRENTLY IN USE**
STATUS DATE: 12/8/2003
PRODUCT: **PREMIUM**
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: **FIBERGLASS DOUBLE WALLED**
MATERIAL PIPE CONSTRUCTION: **DOUBLE-WALLED FLEX**
PIPE TYPE: **PRESSURIZED**
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**
OVERFILL INSTALLED DATE: 2/10/2004
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**
SPILL DEVICE INSTALLED DATE: 2/10/2004

TANK ID: 16
STATUS: **CURRENTLY IN USE**
STATUS DATE: 12/8/2003
PRODUCT: **PREMIUM**
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: **FIBERGLASS DOUBLE WALLED**
MATERIAL PIPE CONSTRUCTION: **DOUBLE-WALLED FLEX**
PIPE TYPE: **PRESSURIZED**
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**
OVERFILL INSTALLED DATE: 2/10/2004
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**
SPILL DEVICE INSTALLED DATE: 2/10/2004

TANK ID: 2
STATUS: **REMOVED FROM GROUND**
STATUS DATE: 4/30/1968
PRODUCT: **GAS (HISTORICAL USE)**
CAPACITY: 6000
MATERIAL TANK CONSTRUCTION: **BARE STEEL**
MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**
PIPE TYPE:
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**
SPILL DEVICE INSTALLED DATE:

TANK ID: 3
STATUS: **REMOVED FROM GROUND**
STATUS DATE: 4/30/1968
PRODUCT: **GAS (HISTORICAL USE)**
CAPACITY: 6000
MATERIAL TANK CONSTRUCTION: **BARE STEEL**
MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**

Underground Storage Tanks (UST)

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**

SPILL DEVICE INSTALLED DATE:

TANK ID: **4**

STATUS: **REMOVED FROM GROUND**

STATUS DATE: **4/30/1968**

PRODUCT: **GAS (HISTORICAL USE)**

CAPACITY: **6000**

MATERIAL TANK CONSTRUCTION: **BARE STEEL**

MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**

SPILL DEVICE INSTALLED DATE:

TANK ID: **5**

STATUS: **REMOVED FROM GROUND**

STATUS DATE: **4/30/1968**

PRODUCT: **GAS (HISTORICAL USE)**

CAPACITY: **6000**

MATERIAL TANK CONSTRUCTION: **BARE STEEL**

MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**

SPILL DEVICE INSTALLED DATE:

TANK ID: **6**

STATUS: **REMOVED FROM GROUND**

STATUS DATE: **4/30/1968**

PRODUCT: **DIESEL**

CAPACITY: **6000**

MATERIAL TANK CONSTRUCTION: **BARE STEEL**

MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **FALSE**

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **FALSE**

SPILL DEVICE INSTALLED DATE:

TANK ID: **7**

STATUS: **REMOVED FROM GROUND**

Underground Storage Tanks (UST)

STATUS DATE: 5/1/1971
PRODUCT: GAS (HISTORICAL USE)
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: BARE STEEL
MATERIAL PIPE CONSTRUCTION: GALVANIZED STEEL
PIPE TYPE:
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE
SPILL DEVICE INSTALLED DATE:

TANK ID: 8
STATUS: REMOVED FROM GROUND
STATUS DATE: 4/30/1974
PRODUCT: GAS (HISTORICAL USE)
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: BARE STEEL
MATERIAL PIPE CONSTRUCTION: GALVANIZED STEEL
PIPE TYPE:
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE
SPILL DEVICE INSTALLED DATE:

TANK ID: 9
STATUS: REMOVED FROM GROUND
STATUS DATE: 1/1/1989
PRODUCT: GAS (HISTORICAL USE)
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: FIBERGLASS
MATERIAL PIPE CONSTRUCTION: FIBERGLASS REINFORCED PLASTIC
PIPE TYPE: PRESSURIZED
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE
OVERFILL INSTALLED DATE: 1/1/1989
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE
SPILL DEVICE INSTALLED DATE: 1/1/1989

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Leaking Underground Storage Tanks (LUST)

MAP ID# 3

Distance from Property: 0.073 mi. (385 ft.) ESE
Elevation: 1,064 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 4440808
NAME: CITGO FOOD MART
ADDRESS: 4153 LAVISTA RD & COOLEDGE RD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 8
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 04/25/2007
CONFIRM RELEASE DATE: 4/25/2007
NO FURTHER ACTION DATE: 5/7/2007
PROJECT NAME: UST - 8 - CITGO FOOD MART
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **RON WALLACE**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

LEAK ID: 6
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 09/11/2002
CONFIRM RELEASE DATE: 9/11/2002
NO FURTHER ACTION DATE: 7/5/2005
PROJECT NAME: UST - 6 - CITGO FOOD MART
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **CALVIN JONES**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

LEAK ID: 1
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: 04/03/2000
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: UST - 1 - CITGO FOOD MART
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **SHAHEER MUHANNA**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: 2
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: 04/16/2002
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: UST - 2 - CITGO FOOD MART
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**

Leaking Underground Storage Tanks (LUST)

PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **3**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **05/21/2002**
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: **UST - 3 - CITGO FOOD MART**
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **4**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **07/09/2002**
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: **UST - 4 - CITGO FOOD MART**
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **5**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **08/05/2002**
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: **UST - 5 - CITGO FOOD MART**
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **7**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **11/12/2002**
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: **UST - 7 - CITGO FOOD MART**
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

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Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

MAP ID# 3

Distance from Property: 0.073 mi. (385 ft.) ESE
Elevation: 1,064 ft. (Lower than TP)

FACILITY INFORMATION

EPA ID#: GAD984299289

NAME: S R COUCH AMOCO

ADDRESS: 4153 LAVISTA RD

TUCKER, GA 30084

CONTACT NAME: STEPHEN COUCH

CONTACT ADDRESS: 4153 LAVISTA RD

TUCKER GA 30084

CONTACT PHONE: 404-939-4444

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 05/31/2005

CERTIFICATION - NO CERTIFICATION REPORTED -

INDUSTRY CLASSIFICATION (NAICS) - NO NAICS INFORMATION REPORTED -

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: NON-GENERATOR LAST UPDATED DATE: 07/29/2005

SUBJECT TO CORRECTIVE ACTION UNIVERSE: NO

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: NO

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: NO

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: NO

CORRECTIVE ACTION WORKLOAD UNIVERSE: NO

IMPORTER: NO

UNDERGROUND INJECTION: NO

MIXED WASTE GENERATOR: NO

UNIVERSAL WASTE DESTINATION FACILITY: NO

RECYCLER: NO

TRANSFER FACILITY: NO

TRANSPORTER: NO

USED OIL FUEL BURNER: NO

ONSITE BURNER EXEMPTION: NO

USED OIL PROCESSOR: NO

FURNACE EXEMPTION: NO

USED OIL FUEL MARKETER TO BURNER: NO

USED OIL REFINER: NO

SPECIFICATION USED OIL MARKETER: NO

USED OIL TRANSFER FACILITY: NO

USED OIL TRANSPORTER: NO

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS - NO EVALUATIONS REPORTED -

VIOLATIONS - NO VIOLATIONS REPORTED -

ENFORCEMENTS - NO ENFORCEMENTS REPORTED -

HAZARDOUS WASTE

D000

D001 IGNITABLE WASTE

D002 CORROSIVE WASTE

D008 LEAD

D018 BENZENE

UNIVERSAL WASTE - NO UNIVERSAL WASTE REPORTED -

CORRECTIVE ACTION AREA - NO CORRECTIVE ACTION AREA INFORMATION REPORTED -

Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

CORRECTIVE ACTION EVENT

NO CORRECTIVE ACTION EVENT(S) REPORTED

[Back to Report Summary](#)

Underground Storage Tanks (UST)

MAP ID# 3

Distance from Property: 0.073 mi. (385 ft.) ESE
Elevation: 1,064 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 4440808
NAME: CITGO FOOD MART
ADDRESS: 4153 LAVISTA RD & COOLEDGE RD
TUCKER, GA 30084
REGION: PIRT 3
FACILITY TYPE: GAS STATION
STATUS: REMOVED FROM GROUND
ORGANIZATION NAME: SWIFT STOP INC
CONTACT ADDRESS: 1875 GRAMERCY COURT
DUNWOODY, GA 30338
CONTACT PHONE: 770 3299622
DESCRIPTION: G.U.S.T. TRUST FUND

TANK DETAILS

TANK ID: 1
STATUS: REMOVED FROM GROUND
STATUS DATE: 4/30/1969
PRODUCT: GAS (HISTORICAL USE)
CAPACITY: 4000
MATERIAL TANK CONSTRUCTION: BARE STEEL
MATERIAL PIPE CONSTRUCTION: GALVANIZED STEEL
PIPE TYPE:
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE:

TANK ID: 10
STATUS: REMOVED FROM GROUND
STATUS DATE: 3/20/2007
PRODUCT: NOT MARKED/TANK REMOVED
CAPACITY: 500
MATERIAL TANK CONSTRUCTION: UNKNOWN
MATERIAL PIPE CONSTRUCTION:
PIPE TYPE:
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE
SPILL DEVICE INSTALLED DATE:

TANK ID: 2
STATUS: REMOVED FROM GROUND
STATUS DATE: 4/30/1969
PRODUCT: GAS (HISTORICAL USE)

Underground Storage Tanks (UST)

CAPACITY: **4000**

MATERIAL TANK CONSTRUCTION: **BARE STEEL**

MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):

SPILL DEVICE INSTALLED DATE:

TANK ID: **3**

STATUS: **REMOVED FROM GROUND**

STATUS DATE: **4/30/1969**

PRODUCT: **GAS (HISTORICAL USE)**

CAPACITY: **4000**

MATERIAL TANK CONSTRUCTION: **BARE STEEL**

MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):

SPILL DEVICE INSTALLED DATE:

TANK ID: **4**

STATUS: **REMOVED FROM GROUND**

STATUS DATE: **4/30/1969**

PRODUCT: **GAS (HISTORICAL USE)**

CAPACITY: **4000**

MATERIAL TANK CONSTRUCTION: **BARE STEEL**

MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):

SPILL DEVICE INSTALLED DATE:

TANK ID: **5**

STATUS: **REMOVED FROM GROUND**

STATUS DATE: **4/30/1969**

PRODUCT: **USED OIL**

CAPACITY: **500**

MATERIAL TANK CONSTRUCTION: **BARE STEEL**

MATERIAL PIPE CONSTRUCTION: **GALVANIZED STEEL**

PIPE TYPE:

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): **TRUE**

OVERFILL INSTALLED DATE:

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): **TRUE**

SPILL DEVICE INSTALLED DATE:

Underground Storage Tanks (UST)

TANK ID: 6
STATUS: **REMOVED FROM GROUND**
STATUS DATE: 8/26/1987
PRODUCT: **GAS (HISTORICAL USE)**
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: **CATHODICALLY PROTECTED STEEL**
MATERIAL PIPE CONSTRUCTION: **CATHODICALLY PROTECTED**
PIPE TYPE: **PRESSURIZED**
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE: 8/26/1987
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE: 8/26/1987

TANK ID: 7
STATUS: **REMOVED FROM GROUND**
STATUS DATE: 8/26/1987
PRODUCT: **GAS (HISTORICAL USE)**
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: **CATHODICALLY PROTECTED STEEL**
MATERIAL PIPE CONSTRUCTION: **CATHODICALLY PROTECTED**
PIPE TYPE: **PRESSURIZED**
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE: 8/26/1987
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE: 8/26/1987

TANK ID: 8
STATUS: **REMOVED FROM GROUND**
STATUS DATE: 8/26/1987
PRODUCT: **GAS (HISTORICAL USE)**
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: **CATHODICALLY PROTECTED STEEL**
MATERIAL PIPE CONSTRUCTION: **CATHODICALLY PROTECTED**
PIPE TYPE: **PRESSURIZED**
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE: 8/26/1987
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE: 8/26/1987

TANK ID: 9
STATUS: **REMOVED FROM GROUND**
STATUS DATE: 8/26/1987
PRODUCT: **GAS (HISTORICAL USE)**
CAPACITY: 10000
MATERIAL TANK CONSTRUCTION: **CATHODICALLY PROTECTED STEEL**
MATERIAL PIPE CONSTRUCTION: **CATHODICALLY PROTECTED**

Underground Storage Tanks (UST)

PIPE TYPE: **PRESSURIZED**

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):

OVERFILL INSTALLED DATE: **8/26/1987**

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):

SPILL DEVICE INSTALLED DATE: **8/26/1987**

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Resource Conservation & Recovery Act - Generator (RCRAGR04)

MAP ID# 4

Distance from Property: 0.082 mi. (433 ft.) W
Elevation: 1,066 ft. (Lower than TP)

FACILITY INFORMATION

EPA ID#: GAR000081661

NAME: ASPEN DENTAL

ADDRESS: 4076 LAVISTA RD., SUITE #102
TUCKER, GA 30084

OWNER TYPE: PRIVATE

OWNER NAME: 30 AIP TUCKER LLC

OPERATOR TYPE: PRIVATE

OPERATOR NAME: ASPEN DENTAL

CONTACT NAME: STEPHANIE L NAUGHTON

CONTACT ADDRESS: 281 SANDERS CREEK PKWY
EAST SYRACUSE NY 13057

CONTACT PHONE: 315-454-6000 1437

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 05/23/2017

CERTIFICATION

CERTIFICATION NAME:

CERTIFICATION TITLE:

CERTIFICATION SIGNED DATE:

STEPHANIE L NAUGHTON

RISK-COMPLIANCE ASST

05/17/2017

INDUSTRY CLASSIFICATION (NAICS)

62121 - OFFICES OF DENTISTS

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: **CONDITIONALLY EXEMPT SMALL QUANTITY GENERATOR** LAST UPDATED DATE: 05/25/2017

SUBJECT TO CORRECTIVE ACTION UNIVERSE: **NO**

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: **NO**

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: **NO**

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: **NO**

CORRECTIVE ACTION WORKLOAD UNIVERSE: **NO**

IMPORTER: **NO**

UNDERGROUND INJECTION: **NO**

MIXED WASTE GENERATOR: **NO**

UNIVERSAL WASTE DESTINATION FACILITY: **NO**

RECYCLER: **NO**

TRANSFER FACILITY: **NO**

TRANSPORTER: **NO**

USED OIL FUEL BURNER: **NO**

ONSITE BURNER EXEMPTION: **NO**

USED OIL PROCESSOR: **NO**

FURNACE EXEMPTION: **NO**

USED OIL FUEL MARKETER TO BURNER: **NO**

USED OIL REFINER: **NO**

SPECIFICATION USED OIL MARKETER: **NO**

USED OIL TRANSFER FACILITY: **NO**

USED OIL TRANSPORTER: **NO**

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS - **NO EVALUATIONS REPORTED -**

VIOLATIONS - **NO VIOLATIONS REPORTED -**

ENFORCEMENTS - **NO ENFORCEMENTS REPORTED -**

HAZARDOUS WASTE

D009 MERCURY

UNIVERSAL WASTE - **NO UNIVERSAL WASTE REPORTED -**

CORRECTIVE ACTION AREA - **NO CORRECTIVE ACTION AREA INFORMATION REPORTED -**

CORRECTIVE ACTION EVENT

Resource Conservation & Recovery Act - Generator (RCRAGR04)

NO CORRECTIVE ACTION EVENT(S) REPORTED

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Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

MAP ID# 5

Distance from Property: 0.092 mi. (486 ft.) N
Elevation: 1,046 ft. (Lower than TP)

FACILITY INFORMATION

EPA ID#: GAD984313593

NAME: STONE CONTAINER CORPORATION

ADDRESS: 2150 PARKLAKE DR

ATLANTA, GA 30345

CONTACT NAME: ORA W JOHNSON

CONTACT ADDRESS: 2150 PARKLAKE DR

ATLANTA GA 30345

CONTACT PHONE: 404-621-6700

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 07/12/2007

OWNER TYPE: PRIVATE

OWNER NAME: NORTHLAKE OFFICE PARTNERS LP

OPERATOR TYPE: PRIVATE

OPERATOR NAME: UNKNOWN

CERTIFICATION

CERTIFICATION NAME:

CERTIFICATION TITLE:

CERTIFICATION SIGNED DATE:

UNKNOWN UNKNOWN

UNKNOWN

07/12/2007

INDUSTRY CLASSIFICATION (NAICS)

32221 - PAPERBOARD CONTAINER MANUFACTURING

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: **NON-GENERATOR** LAST UPDATED DATE: 07/13/2007

SUBJECT TO CORRECTIVE ACTION UNIVERSE: **NO**

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: **NO**

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: **NO**

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: **NO**

CORRECTIVE ACTION WORKLOAD UNIVERSE: **NO**

IMPORTER: **NO**

UNDERGROUND INJECTION: **NO**

MIXED WASTE GENERATOR: **NO**

UNIVERSAL WASTE DESTINATION FACILITY: **NO**

RECYCLER: **NO**

TRANSFER FACILITY: **NO**

TRANSPORTER: **NO**

USED OIL FUEL BURNER: **NO**

ONSITE BURNER EXEMPTION: **NO**

USED OIL PROCESSOR: **NO**

FURNACE EXEMPTION: **NO**

USED OIL FUEL MARKETER TO BURNER: **NO**

USED OIL REFINER: **NO**

SPECIFICATION USED OIL MARKETER: **NO**

USED OIL TRANSFER FACILITY: **NO**

USED OIL TRANSPORTER: **NO**

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS - **NO EVALUATIONS REPORTED -**

VIOLATIONS - **NO VIOLATIONS REPORTED -**

ENFORCEMENTS - **NO ENFORCEMENTS REPORTED -**

HAZARDOUS WASTE

D001 IGNITABLE WASTE

D002 CORROSIVE WASTE

Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

- F001 THE FOLLOWING SPENT HALOGENATED SOLVENTS USED IN DEGREASING:
TETRACHLOROETHYLENE, TRICHLOROETHYLENE, METHYLENE CHLORIDE, 1,1,1-TRICHLOROETHANE, CARBON
TETRACHLORIDE AND CHLORINATED FLUOROCARBONS; ALL SPENT SOLVENT MIXTURES/BLENDS USED IN
DEGREASING CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF ONE OR MORE
OF THE ABOVE HALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F002, F004, AND F005; AND STILL
BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.
- F005 THE FOLLOWING SPENT NONHALOGENATED SOLVENTS: TOLUENE, METHYL ETHYL KETONE, CARBON
DISULFIDE, ISOBUTANOL, PYRIDINE, BENZENE, 2-ETHOXYETHANOL, AND 2-NITROPROPANE; ALL SPENT
SOLVENT MIXTURES/BLENDS CONTAINING, BEFORE USE, A TOTAL OF TEN PERCENT OR MORE (BY VOLUME) OF
ONE OR MORE OF THE ABOVE NONHALOGENATED SOLVENTS OR THOSE SOLVENTS LISTED IN F001, F002, OR
F004; AND STILL BOTTOMS FROM THE RECOVERY OF THESE SPENT SOLVENTS AND SPENT SOLVENT MIXTURES.

UNIVERSAL WASTE - NO UNIVERSAL WASTE REPORTED -

CORRECTIVE ACTION AREA - NO CORRECTIVE ACTION AREA INFORMATION REPORTED -

CORRECTIVE ACTION EVENT

NO CORRECTIVE ACTION EVENT(S) REPORTED

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Historic Non-Hazardous Site Inventory (HISTNONHSI)

[MAP ID# 6](#)

Distance from Property: 0.111 mi. (586 ft.) S
Elevation: 1,064 ft. (Lower than TP)

SITE INFORMATION

GS ID: 2965362204

NAME: NORTHLAKE SHOPPING CENTER #2

ADDRESS: 4135/4145 LAVISTA ROAD

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

EPD'S RISK SCORES FOR GROUNDWATER: 6.50

EPD'S RISK SCORES FOR ON-SITE SOIL: 9.38

DATE: FEB-03

CONTAMINANTS: TETRACHLOROETHENE

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 6

Distance from Property: 0.111 mi. (586 ft.) S
Elevation: 1,064 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 3911
NOTIFICATION ID: 3911
NAME: 4135/4145 LA VISTA ROAD TRACT(NORTHLAKE SHOPPING CNTR)
ADDRESS: 4135/4145 LA VISTA ROAD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 12/18/2002
NON HSRA UNIT: CLEARY
NON HSRA CONTACT: DAVIS
HSRA CONTACT: DAVIS
DATE ASSND: 1/2/2003
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 2/21/2003
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NOT REPORTED

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Alternative Fueling Stations (ALTFUELS)

[MAP ID# 7](#)

Distance from Property: 0.117 mi. (618 ft.) WNW
Elevation: 1,040 ft. (Lower than TP)

FACILITY INFORMATION

GEOSEARCH ID: 74343

UNIQUE IDENTIFIER FOR THIS SPECIFIC STATION: 74343

STATION NAME: NORTHLAKE MALL

ADDRESS: 4800 BRIARCLIFF RD NE

ATLANTA, GA 30345

INTERSECTION DIRECTIONS: NOT REPORTED

STATION PHONE: 877-455-3833

STATION CURRENT STATUS: OPEN: THE STATION IS OPEN.

TYPE OF ALTERNATIVE FUEL THE STATION PROVIDES: NOT REPORTED

OWNER TYPE: NOT REPORTED

FEDERAL AGENCY ID: NOT REPORTED

FEDERAL AGENCY NAME: NOT REPORTED

DATE THAT THE STATION BEGAN OFFERING THE FUEL: NOT REPORTED

DATE THE STATION'S DETAILS WERE LAST CONFIRMED: 1/4/2018

TIME THE STATION'S DETAILS WERE LAST UPDATED (ISO 8601 FORMAT): 2018-01-04 21:48:18 UTC

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Leaking Underground Storage Tanks (LUST)

[MAP ID# 7](#)

Distance from Property: 0.117 mi. (618 ft.) WNW
Elevation: 1,040 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 9044225
NAME: SEARS #1275
ADDRESS: NORTHLAKE MALL
ATLANTA, GA 30345
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 1
DESCRIPTION: CONFIRMED RELEASE
DATE RECEIVED: 12/15/1993
CONFIRM RELEASE DATE: 12/15/1993
NO FURTHER ACTION DATE: 2/14/1995
PROJECT NAME: UST - 1 - SEARS #1275
SITE CODE DESCRIPTION: OWNER/OPERATOR FUNDED SITE
PROJECT OFFICER: EPD MIGRATION
CLEANUP STATUS: NFA - NO FURTHER ACTION

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Resource Conservation & Recovery Act - Generator (RCRAGR04)

MAP ID# 7

Distance from Property: 0.117 mi. (618 ft.) WNW
Elevation: 1,040 ft. (Lower than TP)

FACILITY INFORMATION

EPA ID#: GAR000002006

NAME: SEARS ROEBUCK AND CO #1275/6405

ADDRESS: 2201 HENDERSON MILL RD NORTHLAKE MALL
ATLANTA, GA 30345

CONTACT NAME: MIKE OLSEN

CONTACT ADDRESS: 3333 BEVERLY RD B5-339A
HOFFMAN ESTATE IL 60179

CONTACT PHONE: 847-286-7222

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 06/25/2007

OWNER TYPE: PRIVATE

OWNER NAME: SEARS HOLDINGS CORPORATION

OPERATOR TYPE: PRIVATE

OPERATOR NAME: SEARS HOLDINGS CORPORATION

CERTIFICATION

CERTIFICATION NAME:	CERTIFICATION TITLE:	CERTIFICATION SIGNED DATE:
KATHLEEN M FLAHERTY	ENV SPEC	02/25/2004
MICHAEL OLSEN	ENV COMPL MGR	06/05/2006
MICHAEL OLSEN	ENV COMPL MGR	06/13/2007

INDUSTRY CLASSIFICATION (NAICS)

45211 - DEPARTMENT STORES

45299 - ALL OTHER GENERAL MERCHANDISE STORES

811191 - AUTOMOTIVE OIL CHANGE AND LUBRICATION SHOPS

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: **CONDITIONALLY EXEMPT SMALL QUANTITY GENERATOR** LAST UPDATED DATE: **07/10/2007**

SUBJECT TO CORRECTIVE ACTION UNIVERSE: **NO**

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: **NO**

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: **NO**

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: **NO**

CORRECTIVE ACTION WORKLOAD UNIVERSE: **NO**

IMPORTER: **NO**

UNDERGROUND INJECTION: **NO**

MIXED WASTE GENERATOR: **NO**

UNIVERSAL WASTE DESTINATION FACILITY: **NO**

RECYCLER: **NO**

TRANSFER FACILITY: **NO**

TRANSPORTER: **NO**

USED OIL FUEL BURNER: **NO**

ONSITE BURNER EXEMPTION: **NO**

USED OIL PROCESSOR: **NO**

FURNACE EXEMPTION: **NO**

USED OIL FUEL MARKETER TO BURNER: **NO**

USED OIL REFINER: **NO**

SPECIFICATION USED OIL MARKETER: **NO**

USED OIL TRANSFER FACILITY: **NO**

USED OIL TRANSPORTER: **NO**

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS

07/11/1995 CEI COMPLIANCE EVALUATION INSPECTION ON-SITE

VIOLATIONS - NO VIOLATIONS REPORTED -

ENFORCEMENTS - NO ENFORCEMENTS REPORTED -

HAZARDOUS WASTE

Resource Conservation & Recovery Act - Generator (RCRAGR04)

D001 IGNITABLE WASTE
D018 BENZENE
D039 TETRACHLOROETHYLENE
D040 TRICHLORETHYLENE

UNIVERSAL WASTE - NO UNIVERSAL WASTE REPORTED -

CORRECTIVE ACTION AREA - NO CORRECTIVE ACTION AREA INFORMATION REPORTED -

CORRECTIVE ACTION EVENT

NO CORRECTIVE ACTION EVENT(S) REPORTED

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Resource Conservation & Recovery Act - Generator (RCRAGR04)

MAP ID# 7

Distance from Property: 0.117 mi. (618 ft.) WNW
Elevation: 1,040 ft. (Lower than TP)

FACILITY INFORMATION

EPA ID#: GAR000082172

OWNER TYPE: PRIVATE

NAME: MACY'S - NORTHLAKE (GA)

OWNER NAME: MACY'S RETAIL HOLDINGS INC.

ADDRESS: 4800 BRIAIRCLIFF ROAD

OPERATOR TYPE: PRIVATE

ATLANTA, GA 30345

OPERATOR NAME: MACY'S RETAIL HOLDINGS INC.

CONTACT NAME: ASHIKO MOORE

CONTACT ADDRESS: 7 WEST 7TH STREET 15TH FLOOR ENVIRONMENTAL SERVICES
CINCINNATI OH 45202

CONTACT PHONE: 770-491-2822 738

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 04/02/2019

CERTIFICATION

CERTIFICATION NAME:

CERTIFICATION TITLE:

CERTIFICATION SIGNED DATE:

TIA WENRICH

ENV SERVICES MANAGER

07/24/2017

TIA WENRICH

ENV SERVICES MANAGER

03/21/2019

INDUSTRY CLASSIFICATION (NAICS)

452210 -

45399 - ALL OTHER MISCELLANEOUS STORE RETAILERS

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: VSG LAST UPDATED DATE: 04/02/2019

SUBJECT TO CORRECTIVE ACTION UNIVERSE: NO

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: NO

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: NO

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: NO

CORRECTIVE ACTION WORKLOAD UNIVERSE: NO

IMPORTER: NO

UNDERGROUND INJECTION: NO

MIXED WASTE GENERATOR: NO

UNIVERSAL WASTE DESTINATION FACILITY: NO

RECYCLER: NO

TRANSFER FACILITY: NO

TRANSPORTER: NO

USED OIL FUEL BURNER: NO

ONSITE BURNER EXEMPTION: NO

USED OIL PROCESSOR: NO

FURNACE EXEMPTION: NO

USED OIL FUEL MARKETER TO BURNER: NO

USED OIL REFINER: NO

SPECIFICATION USED OIL MARKETER: NO

USED OIL TRANSFER FACILITY: NO

USED OIL TRANSPORTER: NO

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS - NO EVALUATIONS REPORTED -

VIOLATIONS - NO VIOLATIONS REPORTED -

ENFORCEMENTS - NO ENFORCEMENTS REPORTED -

HAZARDOUS WASTE

D001 IGNITABLE WASTE

UNIVERSAL WASTE - NO UNIVERSAL WASTE REPORTED -

Resource Conservation & Recovery Act - Generator (RCRAGR04)

CORRECTIVE ACTION AREA - NO CORRECTIVE ACTION AREA INFORMATION REPORTED -

CORRECTIVE ACTION EVENT

NO CORRECTIVE ACTION EVENT(S) REPORTED

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Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

MAP ID# 7

Distance from Property: 0.117 mi. (618 ft.) WNW
Elevation: 1,040 ft. (Lower than TP)

FACILITY INFORMATION

EPA ID#: GAR000008730

NAME: JIFFY LUBE STORE #1618

ADDRESS: 2201 HENDERSON MILL RD NE

ATLANTA, GA 30345-2711

CONTACT NAME: ELLEN THOMSON

CONTACT ADDRESS: PO BOX 4427

HOUSTON TX 77210-4427

CONTACT PHONE: 713-546-8147

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 09/03/2003

OWNER TYPE: PRIVATE

OWNER NAME: JIFFY LUBE INTERNATIONAL INC

OPERATOR TYPE: PRIVATE

OPERATOR NAME: UNKN

CERTIFICATION

CERTIFICATION NAME:

ELLEN THOMSON

CERTIFICATION TITLE:

HSE COORD

CERTIFICATION SIGNED DATE:

07/08/2003

INDUSTRY CLASSIFICATION (NAICS)

11111 - SOYBEAN FARMING

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: **NON-GENERATOR** LAST UPDATED DATE: **09/22/2003**

SUBJECT TO CORRECTIVE ACTION UNIVERSE: **NO**

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: **NO**

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: **NO**

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: **NO**

CORRECTIVE ACTION WORKLOAD UNIVERSE: **NO**

IMPORTER: **NO**

MIXED WASTE GENERATOR: **NO**

RECYCLER: **NO**

TRANSPORTER: **NO**

ONSITE BURNER EXEMPTION: **NO**

FURNACE EXEMPTION: **NO**

USED OIL REFINER: **NO**

USED OIL TRANSFER FACILITY: **NO**

UNDERGROUND INJECTION: **NO**

UNIVERSAL WASTE DESTINATION FACILITY: **NO**

TRANSFER FACILITY: **NO**

USED OIL FUEL BURNER: **NO**

USED OIL PROCESSOR: **NO**

USED OIL FUEL MARKETER TO BURNER: **NO**

SPECIFICATION USED OIL MARKETER: **NO**

USED OIL TRANSPORTER: **NO**

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS - **NO EVALUATIONS REPORTED -**

VIOLATIONS - **NO VIOLATIONS REPORTED -**

ENFORCEMENTS - **NO ENFORCEMENTS REPORTED -**

HAZARDOUS WASTE

D000

D001 IGNITABLE WASTE

D008 LEAD

UNIVERSAL WASTE - **NO UNIVERSAL WASTE REPORTED -**

Resource Conservation & Recovery Act - Non-Generator (RCRANGR04)

CORRECTIVE ACTION AREA - NO CORRECTIVE ACTION AREA INFORMATION REPORTED -

CORRECTIVE ACTION EVENT

NO CORRECTIVE ACTION EVENT(S) REPORTED

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Underground Storage Tanks (UST)

[MAP ID# 7](#)

Distance from Property: 0.117 mi. (618 ft.) WNW
Elevation: 1,040 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 9044225
NAME: SEARS #1275
ADDRESS: NORTHLAKE MALL
ATLANTA, GA 30345
REGION: PIRT 3
FACILITY TYPE: GAS STATION
STATUS: REMOVED FROM GROUND
ORGANIZATION NAME: SEARS ROEBUCK & COMPANY
CONTACT ADDRESS: 3333 BEVERLY RD
HOFFMAN ESTATES, GA 60179
CONTACT PHONE: 708 2868864
DESCRIPTION: G.U.S.T. TRUST FUND

TANK DETAILS

TANK ID: 1
STATUS: REMOVED FROM GROUND
STATUS DATE: 11/30/1993
PRODUCT: USED OIL
CAPACITY: 500
MATERIAL TANK CONSTRUCTION: BARE STEEL
MATERIAL PIPE CONSTRUCTION: NOT MARKED
PIPE TYPE: GRAVITY FED
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): TRUE
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): TRUE
SPILL DEVICE INSTALLED DATE:

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 8

Distance from Property: 0.159 mi. (840 ft.) W
Elevation: 1,066 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 5175
NOTIFICATION ID: 5175
NAME: FINA (FORMER)
ADDRESS: LAVISTA RD & BRIARCLIFF RD
ATLANTA, GA
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 12/19/1994
NON HSRA UNIT: NOT REPORTED
NON HSRA CONTACT: NOT REPORTED
HSRA CONTACT: NOT REPORTED
DATE ASSND: NOT REPORTED
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 12/19/1994
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NOT REPORTED

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Brownfield Properties (BF)

MAP ID# 9

Distance from Property: 0.203 mi. (1,072 ft.) SSE

Elevation: 1,047 ft. (Lower than TP)

SITE INFORMATION

GEOSEARCH ID: 1524345484

FACILITY ID: 1518

NAME: **WEEMS ROAD REDEVELOPMENT PARCELS**

ADDRESS: **2037 WEEMS RD.**

TUCKER, GA 30084

COUNTY: **DEKALB**

TYPE: **NON-HAZARDOUS SITE INVENTORY**

ACRE: **15.568**

CLEANUP PLAN: **4/10/2014**

CLEANUP COMPLETE: **5/19/2015**

RISK STANDARD: **RESIDENTIAL**

USE RESTRICTED: **NOT RESTRICTED**

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Brownfield Properties (BF)

MAP ID# 9

Distance from Property: 0.203 mi. (1,072 ft.) SSE

Elevation: 1,047 ft. (Lower than TP)

SITE INFORMATION

GEOSEARCH ID: 1524345484A

FACILITY ID: 1248

NAME: 2037 WEEMS ROAD

ADDRESS: 2037 WEEMS RD.
TUCKER, GA 30084

COUNTY: DEKALB

TYPE: NON-HAZARDOUS SITE INVENTORY

ACRE: 15

CLEANUP PLAN:

CLEANUP COMPLETE: 6/27/2008

RISK STANDARD: RESIDENTIAL

USE RESTRICTED: NOT RESTRICTED

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Historic Non-Hazardous Site Inventory (HISTNONHSI)

[MAP ID# 9](#)

Distance from Property: 0.203 mi. (1,072 ft.) SSE
Elevation: 1,047 ft. (Lower than TP)

SITE INFORMATION

GS ID: 1856588217
NAME: SIEMENS ENERGY & AUTOMATION
ADDRESS: 2037 WEEMS ROAD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

EPD'S RISK SCORES FOR GROUNDWATER: 4.07
EPD'S RISK SCORES FOR ON-SITE SOIL: 0.00
DATE: JUL-04
CONTAMINANTS: TETRACHLOROETHYLENE

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Leaking Underground Storage Tanks (LUST)

MAP ID# 9

Distance from Property: 0.203 mi. (1,072 ft.) SSE
Elevation: 1,047 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 9044198
NAME: SIEMENS ENERGY & AUTOMATION
ADDRESS: 2037 WEEMS RD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 1
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 11/21/1995
CONFIRM RELEASE DATE: 11/21/1995
NO FURTHER ACTION DATE: 12/31/1996
PROJECT NAME: **UST - 1 - SIEMENS ENERGY & AUTOMATION**
SITE CODE DESCRIPTION: **OWNER/OPERATOR FUNDED SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

LEAK ID: **CLOSURE**
DESCRIPTION:
DATE RECEIVED:
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE: 2/17/1993
PROJECT NAME: **UST - CLOSURE - SIEMENS ENERGY & AUTOMATION**
SITE CODE DESCRIPTION: **OWNER/OPERATOR FUNDED SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - CLEAN CLOSURE**

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 9

Distance from Property: 0.203 mi. (1,072 ft.) SSE
Elevation: 1,047 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 4574
NOTIFICATION ID: 4574
NAME: SIEMENS ENERGY & AUTOMATION (SUPPLEMENTAL)
ADDRESS: 2037 WEEMS ROAD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 9/17/2007
NON HSRA UNIT: KHALEGHI
NON HSRA CONTACT: NOT REPORTED
HSRA CONTACT: SCARBARY
DATE ASSND: 9/18/2007
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 12/13/2007
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NON-HSI LETTER MAILED (12/13/2007)

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 9

Distance from Property: 0.203 mi. (1,072 ft.) SSE
Elevation: 1,047 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 5620
NOTIFICATION ID: 5620
NAME: GOULD, INC.
ADDRESS: 2037 WEEMS ROAD
TUCKER, GA
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 4/12/1994
NON HSRA UNIT: NOT REPORTED
NON HSRA CONTACT: NOT REPORTED
HSRA CONTACT: NOT REPORTED
DATE ASSND: NOT REPORTED
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 4/12/1994
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NOT REPORTED

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Superfund Enterprise Management System Archived Site Inventory (SEMSARCH)

[MAP ID# 9](#)

Distance from Property: 0.203 mi. (1,072 ft.) SSE
Elevation: 1,047 ft. (Lower than TP)

FACILITY INFORMATION

EPA ID#: GAD086961620

SITE ID#: 0401599

NAME: GOULD INC

ADDRESS: 2037 WEEMS RD
TUCKER, GA 30084

COUNTY: DEKALB

FEDERAL FACILITY: NOT A FEDERAL FACILITY

SUPERFUND ALTERNATIVE AGREEMENT IN PLACE?: NO

NPL: NOT ON THE NPL

NON NPL STATUS: NFRAP-SITE DOES NOT QUALIFY FOR THE NPL BASED ON EXISTING INFORMATION

SUPERFUND SITE INFORMATION: [CLICK HERE](#)

Below information was gathered from the prior NFRAP update completed in 10/2013 update:

ACTION	START DATE	COMPLETION DATE	RESPONSIBILITY
DS - DISCOVERY	NOT REPORTED	8/1/1980	EPA FUND
PA - PRELIMINARY ASSESSMENT	NOT REPORTED	12/1/1982	EPA FUND
SI - SITE INSPECTION	NOT REPORTED	9/25/1989	EPA FUND
VS - ARCHIVE SITE	NOT REPORTED	9/25/1989	EPA IN-HOUSE

ACTION DESCRIPTIONS

DS - (DISCOVERY) - THE PROCESS BY WHICH A POTENTIAL HAZARDOUS WASTE SITE IS BROUGHT TO THE ATTENTION OF THE EPA. THE PROCESS CAN OCCUR THROUGH THE USE OF SEVERAL MECHANISMS SUCH AS A PHONE CALL OR REFERRAL BY ANOTHER GOVERNMENT AGENCY.

PA - (PRELIMINARY ASSESSMENT) - COLLECTION OF DIVERSE EXISTING INFORMATION ABOUT THE SOURCE AND NATURE OF THE SITE HAZARD. IT IS EPA POLICY TO COMPLETE THE PRELIMINARY ASSESSMENT WITHIN ONE YEAR OF SITE DISCOVERY.

SI - (SITE INSPECTION) - THE PROCESS OF COLLECTING SITE DATA AND SAMPLES TO CHARACTERIZE THE SEVERITY OF THE HAZARD FOR THE HAZARD RANKING SCORE AND/OR ENFORCEMENT SUPPORT.

VS - (ARCHIVE SITE) - THE DECISION IS MADE THAT NO FURTHER ACTIVITY IS PLANNED AT THE SITE.

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Underground Storage Tanks (UST)

MAP ID# 9

Distance from Property: 0.203 mi. (1,072 ft.) SSE
Elevation: 1,047 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 9044198
NAME: SIEMENS ENERGY & AUTOMATION
ADDRESS: 2037 WEEMS RD
TUCKER, GA 30084
REGION: PIRT 3
FACILITY TYPE: COMMERCIAL
STATUS: REMOVED FROM GROUND
ORGANIZATION NAME: SIEMENS ENERGY & AUTOMATION
CONTACT ADDRESS: 2037 WEEMS RD
TUCKER, GA 30084
CONTACT PHONE: 404 7236638
DESCRIPTION: NOT MARKED

TANK DETAILS

TANK ID: 1
STATUS: REMOVED FROM GROUND
STATUS DATE: 8/1/1992
PRODUCT: GAS (HISTORICAL USE)
CAPACITY: 1000
MATERIAL TANK CONSTRUCTION: NOT MARKED/UNKNOWN
MATERIAL PIPE CONSTRUCTION: NOT MARKED
PIPE TYPE:
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE:

TANK ID: 2
STATUS: REMOVED FROM GROUND
STATUS DATE: 11/14/1995
PRODUCT: DIESEL
CAPACITY: 20000
MATERIAL TANK CONSTRUCTION: BARE STEEL
MATERIAL PIPE CONSTRUCTION: BARE STEEL
PIPE TYPE: SAFE SUCTION (EURO)
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE:

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Leaking Underground Storage Tanks (LUST)

MAP ID# 10

Distance from Property: 0.214 mi. (1,130 ft.) SW

Elevation: 1,040 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 4440016

NAME: WSB-AM RADIO TRANSMITTER SITE

ADDRESS: 4111 LAVISTA RD

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

LEAK ID: CLOSURE

DESCRIPTION:

DATE RECEIVED:

CONFIRM RELEASE DATE:

NO FURTHER ACTION DATE: 7/19/1999

PROJECT NAME: UST - CLOSURE - WSB-AM RADIO TRANSMITTER SITE

SITE CODE DESCRIPTION: OWNER/OPERATOR FUNDED SITE

PROJECT OFFICER: RON WALLACE

CLEANUP STATUS: NFA - CLEAN CLOSURE

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Underground Storage Tanks (UST)

MAP ID# 10

Distance from Property: 0.214 mi. (1,130 ft.) SW
Elevation: 1,040 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 4440016
NAME: WSB-AM RADIO TRANSMITTER SITE
ADDRESS: 4111 LAVISTA RD
TUCKER, GA 30084
REGION: PIRT 3
FACILITY TYPE: COMMERCIAL
STATUS: CLOSED IN GROUND
ORGANIZATION NAME: FEMA
CONTACT ADDRESS: 1601 W PEACHTREE ST NE
ATLANTA, GA 30309
CONTACT PHONE: 404 8977000
DESCRIPTION: TRUST FUND (OTHER THAN GUST)

TANK DETAILS

TANK ID: 1
STATUS: CLOSED IN GROUND
STATUS DATE: 5/13/1984
PRODUCT: DIESEL
CAPACITY: 6000
MATERIAL TANK CONSTRUCTION: BARE STEEL
MATERIAL PIPE CONSTRUCTION: BARE STEEL
PIPE TYPE: SAFE SUCTION (EURO)
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):
SPILL DEVICE INSTALLED DATE:

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Leaking Underground Storage Tanks (LUST)

MAP ID# 11

Distance from Property: 0.220 mi. (1,162 ft.) W

Elevation: 1,057 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 10000457

NAME: FORMER SHELL COST CENTER #168895

ADDRESS: 4030 LAVISTA RD

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

LEAK ID: 1

DESCRIPTION: CONFIRMED RELEASE

DATE RECEIVED: 05/12/2002

CONFIRM RELEASE DATE: 5/12/2002

NO FURTHER ACTION DATE: 10/20/2003

PROJECT NAME: UST - 1 - FORMER SHELL COST CENTER #168895

SITE CODE DESCRIPTION: OWNER/OPERATOR FUNDED SITE

PROJECT OFFICER: RON WALLACE

CLEANUP STATUS: NFA - NO FURTHER ACTION

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Underground Storage Tanks (UST)

MAP ID# 11

Distance from Property: 0.220 mi. (1,162 ft.) W
Elevation: 1,057 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 10000457
NAME: FORMER SHELL COST CENTER #168895
ADDRESS: 4030 LAVISTA RD
TUCKER, GA 30084
REGION: PIRT 3
FACILITY TYPE: NOT MARKED
STATUS: REMOVED FROM GROUND
ORGANIZATION NAME: EQUIVA SERVICES LLC
CONTACT ADDRESS: 1691 ARROWHEAD TRAIL NE
ATLANTA, GA 30345
CONTACT PHONE: 404 4171974
DESCRIPTION:

TANK DETAILS

TANK ID: 1
STATUS: REMOVED FROM GROUND
STATUS DATE:
PRODUCT: NOT MARKED
CAPACITY: 0
MATERIAL TANK CONSTRUCTION: UNKNOWN
MATERIAL PIPE CONSTRUCTION:
PIPE TYPE:
OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank): FALSE
OVERFILL INSTALLED DATE:
SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank): FALSE
SPILL DEVICE INSTALLED DATE:

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Underground Storage Tanks (UST)

MAP ID# 12

Distance from Property: 0.234 mi. (1,236 ft.) E
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

FACILITY ID: 4440090

NAME: BUDGET RENT A CAR OF ATLANTA

ADDRESS: 4232 LAVISTA RD
TUCKER, GA 30084

REGION: PIRT 3

FACILITY TYPE: COMMERCIAL

STATUS: CURRENTLY IN USE

ORGANIZATION NAME:

CONTACT ADDRESS: 1110 NORTHCHASE PARKWAY
MARIETTA, GA 30067

CONTACT PHONE: 770 2403317

DESCRIPTION: G.U.S.T. TRUST FUND

TANK DETAILS

TANK ID: 1

STATUS: CURRENTLY IN USE

STATUS DATE: 2/19/1985

PRODUCT: GAS (HISTORICAL USE)

CAPACITY: 10000

MATERIAL TANK CONSTRUCTION: STEEL-IMPRESSED CURRENT

MATERIAL PIPE CONSTRUCTION: STEEL (IMPRESSED CURRENT)

PIPE TYPE: PRESSURIZED

OVERFILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Overfill for this tank):

OVERFILL INSTALLED DATE: 7/25/1998

SPILL EXEMPT (a 'TRUE' indicates that it is not necessary to have Spill for this tank):

SPILL DEVICE INSTALLED DATE: 7/25/1998

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Brownfield Properties (BF)

MAP ID# 13

Distance from Property: 0.274 mi. (1,447 ft.) ESE

Elevation: 1,055 ft. (Lower than TP)

SITE INFORMATION

GEOSEARCH ID: 2595967084

FACILITY ID: 1639

NAME: POLLO TROPICAL

ADDRESS: 4241 LAVISTA ROAD

TUCKER, GA 30084

COUNTY: DEKALB

TYPE: NON-HAZARDOUS SITE INVENTORY

ACRE: 0.79

CLEANUP PLAN: 9/8/2015

CLEANUP COMPLETE: 9/9/2016

RISK STANDARD: NON-RESIDENTIAL

USE RESTRICTED: RESTRICTED

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Brownfield Properties (BF)

MAP ID# 13

Distance from Property: 0.274 mi. (1,447 ft.) ESE

Elevation: 1,055 ft. (Lower than TP)

SITE INFORMATION

GEOSEARCH ID: 2782619488

FACILITY ID:

NAME: POLLO TROPICAL

ADDRESS: 4241 LAVISTA RD.

TUCKER, GA

COUNTY: DEKALB

TYPE: NON-HAZARDOUS SITE INVENTORY

ACRE: 0.79

CLEANUP PLAN: 9/8/2015

CLEANUP COMPLETE: 9/9/2016

RISK STANDARD: NON-RESIDENTIAL

USE RESTRICTED: RESTRICTED

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Historic Non-Hazardous Site Inventory (HISTNONHSI)

[MAP ID# 13](#)

Distance from Property: 0.274 mi. (1,447 ft.) ESE

Elevation: 1,055 ft. (Lower than TP)

SITE INFORMATION

GS ID: 2924991007

NAME: MCNAMARA PONTIAC

ADDRESS: 4241 LAVISTA ROAD

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

EPD'S RISK SCORES FOR GROUNDWATER: 6.50

EPD'S RISK SCORES FOR ON-SITE SOIL: 19.75

DATE: OCT-00

CONTAMINANTS: TETRACHLOROETHENE

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Leaking Underground Storage Tanks (LUST)

MAP ID# 13

Distance from Property: 0.274 mi. (1,447 ft.) ESE
Elevation: 1,055 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 4440718
NAME: MCNAMARA PONTIAC
ADDRESS: 4241 LAVISTA RD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 2
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 12/13/2000
CONFIRM RELEASE DATE: 12/13/2000
NO FURTHER ACTION DATE: 1/24/2003
PROJECT NAME: **UST - 2 - MCNAMARA PONTIAC**
SITE CODE DESCRIPTION: **OWNER/OPERATOR FUNDED SITE**
PROJECT OFFICER: **RON WALLACE**
CLEANUP STATUS: **NFA -MONITORING ONLY (MNA)**

LEAK ID: 1
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 10/10/1997
CONFIRM RELEASE DATE: 10/10/1997
NO FURTHER ACTION DATE: 11/16/1998
PROJECT NAME: **UST - 1 - MCNAMARA PONTIAC**
SITE CODE DESCRIPTION: **OWNER/OPERATOR FUNDED SITE**
PROJECT OFFICER: **WILLIAM LOGAN**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 13

Distance from Property: 0.274 mi. (1,447 ft.) ESE

Elevation: 1,055 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 3651

NOTIFICATION ID: 3651

NAME: MCNAMARA PONTIAC

ADDRESS: 4241 LAVISTA ROAD

TUCKER, GA

COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 8/24/2000

NON HSRA UNIT: KHALEGHI

NON HSRA CONTACT: HENDRICKS, B

HSRA CONTACT: NOT REPORTED

DATE ASSND: 8/28/2000

DATE BACK: NOT REPORTED

HSI?: NO

HSI#: 0

DATE TO DIRECTOR: NOT REPORTED

DATE LTR: 10/26/2000

PRE-RQSM CLEANUP: FALSE

DEFERRED ON SITE SCORING:FALSE

ADDITIONAL DATA REQUESTED:FALSE

COMMENTS:

RECV LTR STATING THAT OWNER HAS CHANGED FROM MAR-MAR CONCORD TO TARGET CORP

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Leaking Underground Storage Tanks (LUST)

MAP ID# 14

Distance from Property: 0.275 mi. (1,452 ft.) E
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

FACILITY ID: 4440496
NAME: MZZZ COM INC
ADDRESS: 4246 LAVISTA RD & I-285
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 1
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 01/08/92
CONFIRM RELEASE DATE: 11/13/1991
NO FURTHER ACTION DATE: 2/21/2003
PROJECT NAME: UST - 1 - MZZZ COM INC
SITE CODE DESCRIPTION: **ELIGIBLE GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **STEPHEN BURRIS**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

LEAK ID:
DESCRIPTION:
DATE RECEIVED:
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: 4440496 RELEASE 3
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **YASRA ADOWAR**
CLEANUP STATUS: **SUSPECTED RELEASE**

LEAK ID: 2
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: 03/03/1999
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: UST - 2 - MZZZ COM INC
SITE CODE DESCRIPTION: **OWNER/OPERATOR FUNDED SITE**
PROJECT OFFICER: **SHAHEER MUHANNA**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

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Leaking Underground Storage Tanks (LUST)

MAP ID# 15

Distance from Property: 0.315 mi. (1,663 ft.) E
Elevation: 1,073 ft. (Higher than TP)

SITE INFORMATION

FACILITY ID: 9000230
NAME: MAJIK MARKET/TENNECO #11709
ADDRESS: 4279 LAVISTA RD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 2
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 04/21/1992
CONFIRM RELEASE DATE: 4/21/1992
NO FURTHER ACTION DATE: 2/23/1995
PROJECT NAME: UST - 2 - MAJIK MARKET/TENNECO #11709
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

LEAK ID: 1
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 12/04/1991
CONFIRM RELEASE DATE: 12/4/1991
NO FURTHER ACTION DATE: 2/23/1995
PROJECT NAME: UST - 1 - MAJIK MARKET/TENNECO #11709
SITE CODE DESCRIPTION: **ELIGIBLE GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **CALVIN JONES**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

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Leaking Underground Storage Tanks (LUST)

MAP ID# 16

Distance from Property: 0.327 mi. (1,727 ft.) E
Elevation: 1,073 ft. (Higher than TP)

SITE INFORMATION

FACILITY ID: 9000250
NAME: STALLION INVESTMENT II LLC
ADDRESS: 4271 LAVISTA RD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 10
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 11/23/2005
CONFIRM RELEASE DATE: 11/23/2005
NO FURTHER ACTION DATE: 12/6/2005
PROJECT NAME: UST - 10 - STALLION INVESTMENT II LLC
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **RON WALLACE**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

LEAK ID: 9
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 03/11/2004
CONFIRM RELEASE DATE: 3/11/2004
NO FURTHER ACTION DATE: 3/21/2013
PROJECT NAME: UST - 9 - STALLION INVESTMENT II LLC
SITE CODE DESCRIPTION: **ELIGIBLE GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **STEPHEN BURRIS**
CLEANUP STATUS: **NFA - REMEDIATION**

LEAK ID: 1
DESCRIPTION: **CONFIRMED RELEASE**
DATE RECEIVED: 06/02/1989
CONFIRM RELEASE DATE: 6/2/1989
NO FURTHER ACTION DATE: 1/23/1998
PROJECT NAME: UST - 1 - STALLION INVESTMENT II LLC
SITE CODE DESCRIPTION: **ELIGIBLE GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **STEPHEN BURRIS**
CLEANUP STATUS: **NFA - NO FURTHER ACTION**

LEAK ID: 2
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: 01/13/1997
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: UST - 2 - STALLION INVESTMENT II LLC
SITE CODE DESCRIPTION: **OWNER/OPERATOR FUNDED SITE**

Leaking Underground Storage Tanks (LUST)

PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **3**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **04/21/1997**
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: **UST - 3 - STALLION INVESTMENT II LLC**
SITE CODE DESCRIPTION: **OWNER/OPERATOR FUNDED SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **4**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **07/22/1997**
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: **UST - 4 - STALLION INVESTMENT II LLC**
SITE CODE DESCRIPTION: **OWNER/OPERATOR FUNDED SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **5**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **02/19/1999**
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: **UST - 5 - STALLION INVESTMENT II LLC**
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **EPD MIGRATION**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **6**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **01/25/2000**
CONFIRM RELEASE DATE:
NO FURTHER ACTION DATE:
PROJECT NAME: **UST - 6 - STALLION INVESTMENT II LLC**
SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**
PROJECT OFFICER: **SHAHEER MUHANNA**
CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **7**
DESCRIPTION: **SUSPECTED RELEASE**
DATE RECEIVED: **02/22/2000**

Leaking Underground Storage Tanks (LUST)

CONFIRM RELEASE DATE:

NO FURTHER ACTION DATE:

PROJECT NAME: **UST - 7 - STALLION INVESTMENT II LLC**

SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**

PROJECT OFFICER: **SHAHEER MUHANNA**

CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

LEAK ID: **8**

DESCRIPTION: **SUSPECTED RELEASE**

DATE RECEIVED: **03/21/2000**

CONFIRM RELEASE DATE:

NO FURTHER ACTION DATE:

PROJECT NAME: **UST - 8 - STALLION INVESTMENT II LLC**

SITE CODE DESCRIPTION: **POTENTIAL GUST TRUST FUND REIMBURSEMENT SITE**

PROJECT OFFICER: **SHAHEER MUHANNA**

CLEANUP STATUS: **NFA - SUSPECTED RELEASE**

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Leaking Underground Storage Tanks (LUST)

[MAP ID# 17](#)

Distance from Property: 0.319 mi. (1,684 ft.) E
Elevation: 1,050 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 9044221
NAME: DWIGHT HARRISON VOLKSWAGEN
ADDRESS: 2101 NORTHLAKE PARKWAY
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

LEAK ID: 1
DESCRIPTION: CONFIRMED RELEASE
DATE RECEIVED: 01/05/1990
CONFIRM RELEASE DATE: 1/5/1990
NO FURTHER ACTION DATE: 3/19/1990
PROJECT NAME: UST - 1 - DWIGHT HARRISON VOLKSWAGEN
SITE CODE DESCRIPTION: OWNER/OPERATOR FUNDED SITE
PROJECT OFFICER: EPD MIGRATION
CLEANUP STATUS: NFA - NO FURTHER ACTION

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Leaking Underground Storage Tanks (LUST)

MAP ID# 18

Distance from Property: 0.338 mi. (1,785 ft.) ESE

Elevation: 1,050 ft. (Lower than TP)

SITE INFORMATION

FACILITY ID: 601128

NAME: MR PRIDE CARWASH (NORTHLAKE)

ADDRESS: 2081 NORTHLAKE PKWY

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

LEAK ID: 1

DESCRIPTION: CONFIRMED RELEASE

DATE RECEIVED: 01/15/1991

CONFIRM RELEASE DATE: 1/15/1991

NO FURTHER ACTION DATE: 5/20/1994

PROJECT NAME: UST - 1 - MR PRIDE CARWASH (NORTHLAKE)

SITE CODE DESCRIPTION: ELIGIBLE GUST TRUST FUND REIMBURSEMENT SITE

PROJECT OFFICER: EPD MIGRATION

CLEANUP STATUS: NFA - NO FURTHER ACTION

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Historic Non-Hazardous Site Inventory (HISTNONHSI)

[MAP ID# 19](#)

Distance from Property: 0.363 mi. (1,917 ft.) WSW
Elevation: 1,055 ft. (Lower than TP)

SITE INFORMATION

GS ID: 844251851
NAME: HONEY BAKED HAM
ADDRESS: 3936 LAVISTA ROAD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

EPD'S RISK SCORES FOR GROUNDWATER: 6.50
EPD'S RISK SCORES FOR ON-SITE SOIL: 18.77
DATE: JUN-05
CONTAMINANTS: TETRACHLOROETHENE

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 19

Distance from Property: 0.363 mi. (1,917 ft.) WSW
Elevation: 1,055 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 4201
NOTIFICATION ID: 4201
NAME: HONEY BAKED HAM
ADDRESS: 3936 LAVISTA RD
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 5/24/2005
NON HSRA UNIT: CLEARY
NON HSRA CONTACT: BEAVERS
HSRA CONTACT: BEAVERS
DATE ASSND: 5/25/2005
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 6/22/2005
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NON HSI 06-22-2005

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Historic Non-Hazardous Site Inventory (HISTNONHSI)

[MAP ID# 20](#)

Distance from Property: 0.395 mi. (2,086 ft.) S
Elevation: 1,039 ft. (Lower than TP)

SITE INFORMATION

GS ID: 4048577983

NAME: FORMER MCEWEN LUMBER CO.

ADDRESS: 3434 MONTREAL INDUSTRIAL WAY
TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

EPD'S RISK SCORES FOR GROUNDWATER: 6.61

EPD'S RISK SCORES FOR ON-SITE SOIL: 12.35

DATE: NOT REPORTED

CONTAMINANTS: TETRACHLOROETHENE

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 20

Distance from Property: 0.395 mi. (2,086 ft.) S
Elevation: 1,039 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 5176
NOTIFICATION ID: 5176
NAME: MCEWEN LUMBER COMPANY (FORMER)
ADDRESS: 3434 MONTREAL INDUSTRIAL WAY
TUCKER, GA
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 4/18/1996
NON HSRA UNIT: NOT REPORTED
NON HSRA CONTACT: NOT REPORTED
HSRA CONTACT: NOT REPORTED
DATE ASSND: NOT REPORTED
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 5/29/1996
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NOT REPORTED

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Brownfield Properties (BF)

MAP ID# 21

Distance from Property: 0.467 mi. (2,466 ft.) WSW

Elevation: 1,046 ft. (Lower than TP)

SITE INFORMATION

GEOSEARCH ID: **824281072**

FACILITY ID: **1463**

NAME: **NORTHLAKE CENTER**

ADDRESS: **3900 LAVISTA RD.**

TUCKER, GA 30084

COUNTY: **DEKALB**

TYPE: **NON-HAZARDOUS SITE INVENTORY**

ACRE: **1.96**

CLEANUP PLAN: **6/20/2013**

CLEANUP COMPLETE: **6/28/2013**

RISK STANDARD: **RESIDENTIAL**

USE RESTRICTED: **NOT RESTRICTED**

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 21

Distance from Property: 0.467 mi. (2,466 ft.) WSW

Elevation: 1,046 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 6090

NOTIFICATION ID: 6090

NAME: NORTHLAKE PLAZA SHOPPING CENTER

ADDRESS: 3900 LAVISTA ROAD

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 5/1/2013

NON HSRA UNIT: METZGER

NON HSRA CONTACT: BEAVERS

HSRA CONTACT: BEAVERS

DATE ASSND: 5/3/2013

DATE BACK: NOT REPORTED

HSI?: NO

HSI#: 0

DATE TO DIRECTOR: NOT REPORTED

DATE LTR: 6/28/2013

PRE-RQSM CLEANUP: FALSE

DEFERRED ON SITE SCORING:FALSE

ADDITIONAL DATA REQUESTED:FALSE

COMMENTS:

MAILED NON-HIS LETTER 7/1/2013

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 22

Distance from Property: 0.565 mi. (2,983 ft.) SSW

Elevation: 1,015 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 5498

NOTIFICATION ID: 5498

NAME: 3289 MONTREAL INDUSTRIAL WAY

ADDRESS: 3289 MONTREAL INDUSTRIAL WAY

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 1/14/2011

NON HSRA UNIT: METZGER

NON HSRA CONTACT: GILMORE

HSRA CONTACT: GILMORE

DATE ASSND: 1/19/2011

DATE BACK: NOT REPORTED

HSI?: NO

HSI#: 0

DATE TO DIRECTOR: NOT REPORTED

DATE LTR: 3/11/2011

PRE-RQSM CLEANUP: FALSE

DEFERRED ON SITE SCORING:FALSE

ADDITIONAL DATA REQUESTED:FALSE

COMMENTS:

TO GG 1/19. TO JM 1/18; MAILED NON HSI LETTER 3/10/2011 BROWNFIELD APPLICATION RECEIVED 4/12/2011

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 23

Distance from Property: 0.784 mi. (4,140 ft.) S
Elevation: 1,034 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 5188
NOTIFICATION ID: 5188
NAME: MONTREAL COURT DRUM SITE
ADDRESS: 1804 MONTREAL COURT
TUCKER, GA
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 4/14/1994
NON HSRA UNIT: NOT REPORTED
NON HSRA CONTACT: NOT REPORTED
HSRA CONTACT: NOT REPORTED
DATE ASSND: NOT REPORTED
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 4/14/1994
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NOT REPORTED

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Historic Non-Hazardous Site Inventory (HISTNONHSI)

[MAP ID# 24](#)

Distance from Property: 0.813 mi. (4,293 ft.) SW
Elevation: 1,014 ft. (Lower than TP)

SITE INFORMATION

GS ID: 4261758012
NAME: DWERSEY CORP.
ADDRESS: 1846 MONTREAL RD.
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

EPD'S RISK SCORES FOR GROUNDWATER: 7.3
EPD'S RISK SCORES FOR ON-SITE SOIL: NOT REPORTED
DATE: NOT REPORTED
CONTAMINANTS: TETRACHLOROETHYLENE

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 24

Distance from Property: 0.813 mi. (4,293 ft.) SW
Elevation: 1,014 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 2509
NOTIFICATION ID: 2509
NAME: DIVERSEY CORP
ADDRESS: 1846 MONTREAL ROAD
TUCKER, GA 30085
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 4/18/1994
NON HSRA UNIT: CLEARY
NON HSRA CONTACT: WAGENSELLER
HSRA CONTACT: NOT REPORTED
DATE ASSND: NOT REPORTED
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 6/29/1994
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
NON HSI LETTER MAILED 6/29/1994

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Non Hazardous Site Inventory (NONHSI)

MAP ID# 24

Distance from Property: 0.813 mi. (4,293 ft.) SW
Elevation: 1,014 ft. (Lower than TP)

SITE INFORMATION

UNIQUEID: 5609
NOTIFICATION ID: 5609
NAME: DIVERSEY CORP.
ADDRESS: 1846 MONTREAL ROAD
TUCKER, GA 30085
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 8/31/1995
NON HSRA UNIT: CLEARY
NON HSRA CONTACT: WAGENSELLER
HSRA CONTACT: NOT REPORTED
DATE ASSND: NOT REPORTED
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 10/18/1995
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:

SUPPLEMENTAL NOTIF TO 2509

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Resource Conservation & Recovery Act - Corrective Action Facilities (RCRAC)

MAP ID# 24

Distance from Property: 0.813 mi. (4,293 ft.) SW
Elevation: 1,014 ft. (Lower than TP)

FACILITY INFORMATION

EPA ID#: GAD057270274

NAME: DIVERSEY CORP

ADDRESS: 1846 MONTREAL RD

TUCKER, GA 30085

CONTACT NAME: JAMES LA PORTE

CONTACT ADDRESS: 1846 MONTREAL RD

TUCKER GA 30085

CONTACT PHONE: 313-458-3989

NON-NOTIFIER:

DATE RECEIVED BY AGENCY: 05/31/2005

OWNER TYPE: PRIVATE

OWNER NAME: DIVERSY CORP

OPERATOR TYPE: PRIVATE

OPERATOR NAME: OPERNAME

CERTIFICATION

CERTIFICATION NAME:

CERTIFICATION TITLE:

CERTIFICATION SIGNED DATE:

PAUL WOJCIK

PLT MGR

02/24/1994

INDUSTRY CLASSIFICATION (NAICS)

325611 - SOAP AND OTHER DETERGENT MANUFACTURING

325612 - POLISH AND OTHER SANITATION GOOD MANUFACTURING

CURRENT ACTIVITY INFORMATION

GENERATOR STATUS: **NON-GENERATOR** LAST UPDATED DATE: 07/29/2005

SUBJECT TO CORRECTIVE ACTION UNIVERSE: **NO**

TDSFs POTENTIALLY SUBJECT TO CORRECTIVE ACTION UNDER 3004 (u)/(v) UNIVERSE: **NO**

TDSFs ONLY SUBJECT TO CORRECTIVE ACTION UNDER DISCRETIONARY AUTHORITIES UNIVERSE: **NO**

NON TDSFs WHERE RCRA CORRECTIVE ACTION HAS BEEN IMPOSED UNIVERSE: **NO**

CORRECTIVE ACTION WORKLOAD UNIVERSE: **NO**

IMPORTER: **NO**

UNDERGROUND INJECTION: **NO**

MIXED WASTE GENERATOR: **NO**

UNIVERSAL WASTE DESTINATION FACILITY: **NO**

RECYCLER: **NO**

TRANSFER FACILITY: **NO**

TRANSPORTER: **NO**

USED OIL FUEL BURNER: **NO**

ONSITE BURNER EXEMPTION: **NO**

USED OIL PROCESSOR: **NO**

FURNACE EXEMPTION: **NO**

USED OIL FUEL MARKETER TO BURNER: **NO**

USED OIL REFINER: **NO**

SPECIFICATION USED OIL MARKETER: **NO**

USED OIL TRANSFER FACILITY: **NO**

USED OIL TRANSPORTER: **NO**

COMPLIANCE, MONITORING AND ENFORCEMENT INFORMATION

EVALUATIONS

02/20/1985	NRR NON-FINANCIAL RECORD REVIEW
02/25/1985	NRR NON-FINANCIAL RECORD REVIEW
04/28/1983	CEI COMPLIANCE EVALUATION INSPECTION ON-SITE
05/04/1988	FCI FOCUSED COMPLIANCE INSPECTION
06/12/1985	NRR NON-FINANCIAL RECORD REVIEW
08/25/1987	FCI FOCUSED COMPLIANCE INSPECTION
10/04/1988	FCI FOCUSED COMPLIANCE INSPECTION
11/27/1984	CSE COMPLIANCE SCHEDULE EVALUATION

Resource Conservation & Recovery Act - Corrective Action Facilities (RCRAC)

VIOLATIONS

02/25/1985	264.G TSD - CLOSURE/POST-CLOSURE
04/28/1983	264.A TSD - GENERAL
04/28/1983	264.G TSD - CLOSURE/POST-CLOSURE
04/28/1983	264.H TSD - FINANCIAL REQUIREMENTS
08/25/1987	264.A TSD - GENERAL
11/27/1984	264.A TSD - GENERAL
11/27/1984	264.G TSD - CLOSURE/POST-CLOSURE

ENFORCEMENTS

03/01/1985	120 WRITTEN INFORMAL
03/16/1984	120 WRITTEN INFORMAL
11/03/1987	120 WRITTEN INFORMAL
12/05/1984	120 WRITTEN INFORMAL

HAZARDOUS WASTE

D000

D001	IGNITABLE WASTE
D002	CORROSIVE WASTE
D003	REACTIVE WASTE
D007	CHROMIUM
U052	CRESOL (CRESYLIC ACID)
U052	PHENOL, METHYL-
U054	
U080	METHANE, DICHLORO-
U080	METHYLENE CHLORIDE
U122	FORMALDEHYDE
U123	FORMIC ACID (C,T)
U154	METHANOL (I)
U154	METHYL ALCOHOL (I)
U219	THIOUREA

UNIVERSAL WASTE - NO UNIVERSAL WASTE REPORTED -

CORRECTIVE ACTION AREA (RELEASE)

AREA NAME: AIR: GROUNDWATER: SOIL: SURFACE WASTE:

ENTIRE FACILITY

CORRECTIVE ACTION EVENT

CA EVENT CODE: **SF100**
EVENT DESCRIPTION: **INVESTIGATION IMPOSITION**
EVENT SEQUENCE NUMBER: **1**
EVENT RESPONSIBLE AGENCY: **STATE**
ACTUAL DATE OF EVENT: **03/08/1995**
ORIGINAL SCHEDULE DATE OF EVENT:
NEW SCHEDULE DATE OF EVENT:

CA EVENT CODE: **CA050**

Resource Conservation & Recovery Act - Corrective Action Facilities (RCRAC)

EVENT DESCRIPTION: **RFA COMPLETED**

EVENT SEQUENCE NUMBER: **1**

EVENT RESPONSIBLE AGENCY: **STATE**

ACTUAL DATE OF EVENT: **01/09/1985**

ORIGINAL SCHEDULE DATE OF EVENT:

NEW SCHEDULE DATE OF EVENT:

[Back to Report Summary](#)

Historic Non-Hazardous Site Inventory (HISTNONHSI)

[MAP ID# 25](#)

Distance from Property: 0.882 mi. (4,657 ft.) ESE

Elevation: 1,072 ft. (Higher than TP)

SITE INFORMATION

GS ID: 1468219186

NAME: VCAR EMULSION SYSTEMS

ADDRESS: 2043 STEEL DR.

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

EPD'S RISK SCORES FOR GROUNDWATER: 1.5

EPD'S RISK SCORES FOR ON-SITE SOIL: NOT REPORTED

DATE: NOT REPORTED

CONTAMINANTS: FORMALDEHYDE

[Back to Report Summary](#)

Non Hazardous Site Inventory (NONHSI)

MAP ID# 25

Distance from Property: 0.882 mi. (4,657 ft.) ESE

Elevation: 1,072 ft. (Higher than TP)

SITE INFORMATION

UNIQUEID: 2523

NOTIFICATION ID: 2523

NAME: UCAR EMULSION SYSTEMS

ADDRESS: 2043 STEEL DRIVE

TUCKER, GA 30084

COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 3/22/1994

NON HSRA UNIT: EASON

NON HSRA CONTACT: GRALL, K.

HSRA CONTACT: NOT REPORTED

DATE ASSND: NOT REPORTED

DATE BACK: NOT REPORTED

HSI?: NO

HSI#: 0

DATE TO DIRECTOR: NOT REPORTED

DATE LTR: 6/29/1994

PRE-RQSM CLEANUP: FALSE

DEFERRED ON SITE SCORING:FALSE

ADDITIONAL DATA REQUESTED:FALSE

COMMENTS:

NOT REPORTED

[Back to Report Summary](#)

Non Hazardous Site Inventory (NONHSI)

MAP ID# 26

Distance from Property: 0.894 mi. (4,720 ft.) SE
Elevation: 1,070 ft. (Equal to TP)

SITE INFORMATION

UNIQUEID: 5911
NOTIFICATION ID: 5911
NAME: MARATHON FOOD MART (FORMER)
ADDRESS: 3356 LAWRENCEVILLE HIGHWAY
TUCKER, GA 30084
COUNTY: DEKALB

SITE DETAILS

DATE RECEIVED: 12/9/2011
NON HSRA UNIT: REULAND
NON HSRA CONTACT: NOT REPORTED
HSRA CONTACT: DANIELS
DATE ASSND: 12/9/2011
DATE BACK: NOT REPORTED
HSI?: NO
HSI#: 0
DATE TO DIRECTOR: NOT REPORTED
DATE LTR: 2/22/2012
PRE-RQSM CLEANUP: FALSE
DEFERRED ON SITE SCORING:FALSE
ADDITIONAL DATA REQUESTED:FALSE
COMMENTS:
MAILED NON-HSI LETTER 2/22/12

[Back to Report Summary](#)

Unlocated Sites Summary

This list contains sites that could not be mapped due to limited or incomplete address information.

No Records Found

Environmental Records Definitions - FEDERAL

AIRSAFS

Aerometric Information Retrieval System / Air Facility Subsystem

VERSION DATE: 10/20/14

The United States Environmental Protection Agency (EPA) modified the Aerometric Information Retrieval System (AIRS) to a database that exclusively tracks the compliance of stationary sources of air pollution with EPA regulations: the Air Facility Subsystem (AFS). Since this change in 2001, the management of the AIRS/AFS database was assigned to EPA's Office of Enforcement and Compliance Assurance. Enforcement and Compliance History Online (ECHO) Clean Air Act data from AFS are frozen and reflect data as of October 17, 2014, the EPA retired this system for Clean Air Act stationary sources.

ALTFUELS

Alternative Fueling Stations

VERSION DATE: 10/28/20

Nationwide list of alternative fueling stations made available by the U.S. Department of Energy's Office of Energy Efficiency & Renewable Energy. Includes Bio-diesel stations, Ethanol (E85) stations, Liquefied Petroleum Gas (Propane) stations, Ethanol (E85) stations, Natural Gas stations, Hydrogen stations, and Electric Vehicle Supply Equipment (EVSE).

BF

Brownfields Management System

VERSION DATE: 01/11/21

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. The United States Environmental Protection Agency maintains this database to track activities in the various brown field grant programs including grantee assessment, site cleanup and site redevelopment. This database includes tribal brownfield sites.

BRS

Biennial Reporting System

VERSION DATE: 12/31/17

The United States Environmental Protection Agency (EPA), in cooperation with the States, biennially collects information regarding the generation, management, and final disposition of hazardous wastes regulated under the Resource Conservation and Recovery Act of 1976 (RCRA), as amended. The Biennial Report captures detailed data on the generation of hazardous waste from large quantity generators and data on waste management practices from treatment, storage and disposal facilities. Currently, the EPA states that data collected between 1991 and 1997 was originally a part of the defunct Biennial Reporting System and is now incorporated into the RCRAInfo data system.

CDL

Clandestine Drug Laboratory Locations

VERSION DATE: 06/17/20

Environmental Records Definitions - FEDERAL

The U.S. Department of Justice ("the Department") provides this information as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments. The Department does not establish, implement, enforce, or certify compliance with clean-up or remediation standards for contaminated sites; the public should contact a state or local health department or environmental protection agency for that information.

DNPL Delisted National Priorities List

VERSION DATE: 04/26/21

This database includes sites from the United States Environmental Protection Agency's Final National Priorities List (NPL) where remedies have proven to be satisfactory or sites where the original analyses were inaccurate, and the site is no longer appropriate for inclusion on the NPL, and final publication in the Federal Register has occurred.

DOCKETS EPA Docket Data

VERSION DATE: 12/22/05

The United States Environmental Protection Agency Docket data lists Civil Case Defendants, filing dates as far back as 1971, laws broken including section, violations that occurred, pollutants involved, penalties assessed and superfund awards by facility and location. Please refer to ICIS database as source of current data.

DOD Department of Defense Sites

VERSION DATE: 12/01/14

This information originates from the National Atlas of the United States Federal Lands data, which includes lands owned or administered by the Federal government. Army DOD, Army Corps of Engineers DOD, Air Force DOD, Navy DOD and Marine DOD areas of 640 acres or more are included.

EC Federal Engineering Institutional Control Sites

VERSION DATE: 04/27/21

This database includes site locations where Engineering and/or Institutional Controls have been identified as part of a selected remedy for the site as defined by United States Environmental Protection Agency official remedy decision documents. The data displays remedy component information for Superfund decision documents issued in fiscal years 1982-2017, and it includes final and deleted NPL sites as well as sites with a Superfund Alternative Approach (SAA) agreement in place. The only sites included that are not on the NPL, proposed for NPL, or removed from proposed NPL, are those with an SAA Agreement in place. A site listing does not indicate that the institutional and engineering controls are currently in place nor will be in place once the remedy is complete; it only indicates that the decision to include either of them in the remedy is documented as of the completed date of the document. Institutional controls are actions, such as legal controls, that help minimize the

Environmental Records Definitions - FEDERAL

potential for human exposure to contamination by ensuring appropriate land or resource use. Engineering controls include caps, barriers, or other device engineering to prevent access, exposure, or continued migration of contamination.

ECHOR04 Enforcement and Compliance History Information

VERSION DATE: 11/28/20

The U.S. Environmental Protection Agency's Enforcement and Compliance History Online (ECHO) database, provides compliance and enforcement information for facilities nationwide. This database includes facilities regulated as Clean Air Act stationary sources, Clean Water Act direct dischargers, Resource Conservation and Recovery Act hazardous waste handlers, Safe Drinking Water Act public water systems along with other data, such as Toxics Release Inventory releases.

ERNSGA Emergency Response Notification System

VERSION DATE: 03/28/21

This National Response Center database contains data on reported releases of oil, chemical, radiological, biological, and/or etiological discharges into the environment anywhere in the United States and its territories. The data comes from spill reports made to the U.S. Environmental Protection Agency, U.S. Coast Guard, the National Response Center and/or the U.S. Department of Transportation.

FEMAUST FEMA Owned Storage Tanks

VERSION DATE: 12/01/16

This is a listing of FEMA owned underground and aboveground storage tank sites. For security reasons, address information is not released to the public according to the U.S. Department of Homeland Security.

FRSGA Facility Registry System

VERSION DATE: 03/02/21

The United States Environmental Protection Agency's Office of Environmental Information (OEI) developed the Facility Registry System (FRS) as the centrally managed database that identifies facilities, sites or places subject to environmental regulations or of environmental interest. The Facility Registry System replaced the Facility Index System or FINDS database.

FUDS Formerly Used Defense Sites

VERSION DATE: 12/31/18

The Formerly Used Defense Sites (FUDS) inventory includes properties previously owned by or leased to the United States and under Secretary of Defense Jurisdiction, as well as Munitions Response Areas (MRAs). The remediation of these properties is the responsibility of the Department of Defense. This data is provided by the U.S. Army Corps of Engineers (USACE), the boundaries/polygon data are based on preliminary findings and not

Environmental Records Definitions - FEDERAL

all properties currently have polygon data available. **DISCLAIMER:** This data represents the results of data collection/processing for a specific USACE activity and is in no way to be considered comprehensive or to be used in any legal or official capacity as presented on this site. While the USACE has made a reasonable effort to insure the accuracy of the maps and associated data, it should be explicitly noted that USACE makes no warranty, representation or guaranty, either expressed or implied, as to the content, sequence, accuracy, timeliness or completeness of any of the data provided herein. For additional information on Formerly Used Defense Sites please contact the USACE Public Affairs Office at (202) 528-4285.

FUSRAP

Formerly Utilized Sites Remedial Action Program

VERSION DATE: 03/04/17

The U.S. Department of Energy (DOE) established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from the Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations. The DOE Office of Legacy Management (LM) established long-term surveillance and maintenance (LTS&M) requirements for remediated FUSRAP sites. DOE evaluates the final site conditions of a remediated site on the basis of risk for different future uses. DOE then confirms that LTS&M requirements will maintain protectiveness.

HISTPST

Historical Gas Stations

VERSION DATE: NR

This historic directory of service stations is provided by the Cities Service Company. The directory includes Cities Service filling stations that were located throughout the United States in 1930.

HMIRS04

Hazardous Materials Incident Reporting System

VERSION DATE: 03/24/21

The HMIRS database contains unintentional hazardous materials release information reported to the U.S. Department of Transportation located in EPA Region 4. This region includes the following states: Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, and Tennessee.

HWCD

Hazardous Waste Compliance Docket Facilities

VERSION DATE: 10/29/20

This list of the Federal Agency Hazardous Waste Compliance Docket Facilities is maintained by the United States Environmental Protection Agency (EPA). According to the EPA, Section 120(c) of CERCLA requires EPA to establish a listing, known as the Federal Facility Hazardous Waste Compliance Docket (Docket), of Federal facilities which are managing or have managed hazardous waste; or have had a release of hazardous waste. Thus, the Docket identifies all Federal facilities that must be evaluated to determine whether they pose a risk to human health and the environment and it makes this information available to the public. In order for the Docket to remain current and accurate it requires periodic updating.

Environmental Records Definitions - FEDERAL

ICIS Integrated Compliance Information System (formerly DOCKETS)

VERSION DATE: 09/19/20

ICIS is a case activity tracking and management system for civil, judicial, and administrative federal Environmental Protection Agency enforcement cases. ICIS contains information on federal administrative and federal judicial cases under the following environmental statutes: the Clean Air Act, the Clean Water Act, the Resource Conservation and Recovery Act, the Emergency Planning and Community Right-to-Know Act - Section 313, the Toxic Substances Control Act, the Federal Insecticide, Fungicide, and Rodenticide Act, the Comprehensive Environmental Response, Compensation, and Liability Act, the Safe Drinking Water Act, and the Marine Protection, Research, and Sanctuaries Act.

ICISCLEANERS Integrated Compliance Information System Drycleaners

VERSION DATE: 09/19/20

This is a listing of drycleaner facilities from the Integrated Compliance Information System (ICIS). The U.S. Environmental Protection Agency (EPA) tracks facilities that possess NAIC and SIC codes that classify businesses as drycleaner establishments. The following Primary SIC Codes are included in this data: 7211, 7212, 7213, 7215, 7216, 7217, 7218, and/or 7219; the following Primary NAICS Codes are included in this data: 812320, 812331, and/or 812332.

ICISNPDES Integrated Compliance Information System National Pollutant Discharge Elimination System

VERSION DATE: 04/26/20

Authorized by the Clean Water Act, the National Pollutant Discharge Elimination System (NPDES) permit program controls water pollution by regulating point sources that discharge pollutants into waters of the United States. This database is provided by the U.S. Environmental Protection Agency.

LUCIS Land Use Control Information System

VERSION DATE: 09/01/06

The LUCIS database is maintained by the U.S. Department of the Navy and contains information for former Base Realignment and Closure (BRAC) properties across the United States.

MLTS Material Licensing Tracking System

VERSION DATE: 06/29/17

MLTS is a list of approximately 8,100 sites which have or use radioactive materials subject to the United States Nuclear Regulatory Commission (NRC) licensing requirements. Disclaimer: Due to agency regulations and policies, this database contains applicant/licensee location information which may or may not be related to the physical location per MLTS site.

Environmental Records Definitions - FEDERAL

MRDS Mineral Resource Data System

VERSION DATE: 03/15/16

MRDS (Mineral Resource Data System) is a collection of reports describing metallic and nonmetallic mineral resources throughout the world. Included are deposit name, location, commodity, deposit description, geologic characteristics, production, reserves, resources, and references. This database contains the records previously provided in the Mineral Resource Data System (MRDS) of USGS and the Mineral Availability System/Mineral Industry Locator System (MAS/MILS) originated in the U.S. Bureau of Mines, which is now part of USGS. The USGS has ceased systematic updates of the MRDS database with their focus more recently on deposits of critical minerals while providing a well-documented baseline of historical mine locations from USGS topographic maps. A few updates last occurred 2015 and early 2016 for select mine site area/s.

MSHA Mine Safety and Health Administration Master Index File

VERSION DATE: 08/07/20

The Mine dataset lists all Coal and Metal/Non-Metal mines under MSHA's jurisdiction since 1/1/1970. It includes such information as the current status of each mine (Active, Abandoned, NonProducing, etc.), the current owner and operating company, commodity codes and physical attributes of the mine. Mine ID is the unique key for this data. This information is provided by the United States Department of Labor - Mine Safety and Health Administration (MSHA).

NLRRCRAC No Longer Regulated RCRA Corrective Action Facilities

VERSION DATE: 03/22/21

This database includes RCRA Corrective Action facilities that are no longer regulated by the United States Environmental Protection Agency or do not meet other RCRA reporting requirements.

NLRRCRAT No Longer Regulated RCRA Non-CORRACTS TSD Facilities

VERSION DATE: 03/22/21

This database includes RCRA Non-Corrective Action TSD facilities that are no longer regulated by the United States Environmental Protection Agency or do not meet other RCRA reporting requirements. This listing includes facilities that formerly treated, stored or disposed of hazardous waste.

NMS Former Military Nike Missile Sites

VERSION DATE: 12/01/84

This information was taken from report DRXTH-AS-IA-83A016 (Historical Overview of the Nike Missile System, 12/1984) which was performed by Environmental Science and Engineering, Inc. for the U.S. Army Toxic and Hazardous Materials Agency Assessment Division. The Nike system was deployed between 1954 and the mid-1970's. Among the substances used or stored on Nike sites were liquid missile fuel (JP-4); starter fluids (UDKH, aniline, and furfuryl alcohol); oxidizer (IRFNA); hydrocarbons (motor oil, hydraulic fluid, diesel fuel, gasoline,

Environmental Records Definitions - FEDERAL

heating oil); solvents (carbon tetrachloride, trichloroethylene, trichloroethane, stoddard solvent); and battery electrolyte. The quantities of material a disposed of and procedures for disposal are not documented in published reports. Virtually all information concerning the potential for contamination at Nike sites is confined to personnel who were assigned to Nike sites. During deactivation most hardware was shipped to depot-level supply points. There were reportedly instances where excess materials were disposed of on or near the site itself at closure. There was reportedly no routine site decontamination.

NPDES04 National Pollutant Discharge Elimination System

VERSION DATE: 04/01/07

Authorized by the Clean Water Act, the National Pollutant Discharge Elimination System (NPDES) permit program controls water pollution by regulating point sources that discharge pollutants into waters of the United States. The NPDES database was collected from the U.S. Environmental Protection Agency (EPA) from December 2002 through April 2007. Refer to the ICIS and/or ICIS-NPDES database as source of current data. This database includes permitted facilities located in EPA Region 4. This region includes the following states: Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, and Tennessee.

NPL National Priorities List

VERSION DATE: 04/26/21

This database includes United States Environmental Protection Agency (EPA) National Priorities List sites that fall under the EPA's Superfund program, established to fund the cleanup of the most serious uncontrolled or abandoned hazardous waste sites identified for possible long-term remedial action.

ODI Open Dump Inventory

VERSION DATE: 06/01/85

The open dump inventory was published by the United States Environmental Protection Agency. An "open dump" is defined as a facility or site where solid waste is disposed of which is not a sanitary landfill which meets the criteria promulgated under section 4004 of the Solid Waste Disposal Act (42 U.S.C. 6944) and which is not a facility for disposal of hazardous waste. This inventory has not been updated since June 1985.

PADS PCB Activity Database System

VERSION DATE: 11/19/20

PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of Polychlorinated Biphenyls (PCB) who are required to notify the U.S. Environmental Protection Agency of such activities.

PCSR04 Permit Compliance System

VERSION DATE: 08/01/12

The historic Permit Compliance System tracked enforcement status and permit compliance of facilities controlled

Environmental Records Definitions - FEDERAL

by the National Pollutant Discharge Elimination System (NPDES) under the Clean Water Act. This database includes permitted facilities located in EPA Region 4 states: Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, and Tennessee. This system has since been modernized by United States Environmental Protection Agency and is now integrated into the Integrated Compliance Information System (ICIS). Please refer to the ICIS database as the current source for this data.

PNPL Proposed National Priorities List

VERSION DATE: 04/26/21

This database contains sites proposed to be included on the National Priorities List (NPL) in the Federal Register. The United States Environmental Protection Agency investigates these sites to determine if they may present long-term threats to public health or the environment.

RCRAC Resource Conservation & Recovery Act - Corrective Action Facilities

VERSION DATE: 03/22/21

The Resource Conservation and Recovery Act (RCRA) gives the U.S. Environmental Protection Agency (EPA) the authority to control hazardous waste from the "cradle-to-grave." This includes the generation, transportation, treatment, storage, and disposal of hazardous waste. RCRA also set forth a framework for the management of non-hazardous solid wastes. The 1986 amendments to RCRA enabled EPA to address environmental problems that could result from underground tanks storing petroleum and other hazardous substances. This listing refers to facilities with corrective action activity.

RCRAGR04 Resource Conservation & Recovery Act - Generator

VERSION DATE: 03/22/21

The Resource Conservation and Recovery Act (RCRA) gives the U.S. Environmental Protection Agency (EPA) the authority to control hazardous waste from the "cradle-to-grave." This includes the generation, transportation, treatment, storage, and disposal of hazardous waste. RCRA also set forth a framework for the management of non-hazardous solid wastes. The 1986 amendments to RCRA enabled EPA to address environmental problems that could result from underground tanks storing petroleum and other hazardous substances. This listing refers to facilities currently generating hazardous waste. EPA Region 4 includes the following states: Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, and Tennessee.

RCRANGR04 Resource Conservation & Recovery Act - Non-Generator

VERSION DATE: 03/22/21

The Resource Conservation and Recovery Act (RCRA) gives the U.S. Environmental Protection Agency (EPA) the authority to control hazardous waste from the "cradle-to-grave." This includes the generation, transportation, treatment, storage, and disposal of hazardous waste. RCRA also set forth a framework for the management of non-hazardous solid wastes. The 1986 amendments to RCRA enabled EPA to address environmental problems that could result from underground tanks storing petroleum and other hazardous substances. This listing refers to facilities classified as non-generators. Non-Generators do not presently generate hazardous waste. EPA

Environmental Records Definitions - FEDERAL

Region 4 includes the following states: Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, and Tennessee.

RCRASC RCRA Sites with Controls

VERSION DATE: 05/16/21

The Resource Conservation and Recovery Act (RCRA) gives the U.S. Environmental Protection Agency (EPA) the authority to control hazardous waste from the "cradle-to-grave." This includes the generation, transportation, treatment, storage, and disposal of hazardous waste. RCRA also set forth a framework for the management of non-hazardous solid wastes. The 1986 amendments to RCRA enabled EPA to address environmental problems that could result from underground tanks storing petroleum and other hazardous substances. This listing refers to facilities with institutional controls in place.

RCRASUBC Resource Conservation & Recovery Act - Subject to Corrective Action Facilities

VERSION DATE: 03/22/21

The Resource Conservation and Recovery Act (RCRA) gives the U.S. Environmental Protection Agency (EPA) the authority to control hazardous waste from the "cradle-to-grave." This includes the generation, transportation, treatment, storage, and disposal of hazardous waste. RCRA also set forth a framework for the management of non-hazardous solid wastes. The 1986 amendments to RCRA enabled EPA to address environmental problems that could result from underground tanks storing petroleum and other hazardous substances. This listing refers to facilities subject to corrective actions.

RCRAT Resource Conservation & Recovery Act - Non-CORRACTS Treatment, Storage & Disposal Facilities

VERSION DATE: 03/22/21

The Resource Conservation and Recovery Act (RCRA) gives the U.S. Environmental Protection Agency (EPA) the authority to control hazardous waste from the "cradle-to-grave." This includes the generation, transportation, treatment, storage, and disposal of hazardous waste. RCRA also set forth a framework for the management of non-hazardous solid wastes. The 1986 amendments to RCRA enabled EPA to address environmental problems that could result from underground tanks storing petroleum and other hazardous substances. This listing refers to facilities recognized as hazardous waste treatment, storage, and disposal sites (TSD).

RODS Record of Decision System

VERSION DATE: 09/21/20

These decision documents maintained by the United States Environmental Protection Agency describe the chosen remedy for NPL (Superfund) site remediation. They also include site history, site description, site characteristics, community participation, enforcement activities, past and present activities, contaminated media, the contaminants present, and scope and role of response action.

Environmental Records Definitions - FEDERAL

SEMS Superfund Enterprise Management System

VERSION DATE: 04/26/21

The U.S. Environmental Protection Agency's (EPA) Office of Solid Waste and Emergency Response, Office of Superfund Remediation and Technology Innovation (OSRTI), has implemented The Superfund Enterprise Management System (SEMS), formerly known as CERCLIS (Comprehensive Environmental Response, Compensation and Liability Information System) to track and report on clean-up and enforcement activities taking place at Superfund sites. SEMS represents a joint development and ongoing collaboration between Superfund's Remedial, Removal, Federal Facilities, Enforcement and Emergency Response programs.

SEMSARCH Superfund Enterprise Management System Archived Site Inventory

VERSION DATE: 04/26/21

The U.S. Environmental Protection Agency's (EPA) Superfund Enterprise Management System Archived Site Inventory (List 8R Archived) replaced the CERCLIS NFRAP reporting system in 2015. This listing reflects sites at which the EPA has determined that assessment has been completed and no further remedial action is planned under the Superfund program.

SEMSLIENS SEMS Lien on Property

VERSION DATE: 06/22/20

The U.S. Environmental Protection Agency's (EPA) Office of Solid Waste and Emergency Response, Office of Superfund Remediation and Technology Innovation (OSRTI), has implemented The Superfund Enterprise Management System (SEMS), formerly known as CERCLIS (Comprehensive Environmental Response, Compensation and Liability Information System) to track and report on clean-up and enforcement activities taking place at Superfund sites. SEMS represents a joint development and ongoing collaboration between Superfund's Remedial, Removal, Federal Facilities, Enforcement and Emergency Response programs. This is a listing of SEMS sites with a lien on the property.

SFLIENS CERCLIS Liens

VERSION DATE: 06/08/12

A Federal CERCLA ("Superfund") lien can exist by operation of law at any site or property at which United States Environmental Protection Agency has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties. This database contains those CERCLIS sites where the Lien on Property action is complete. Please refer to the SEMSLIENS database as source of current data.

SMCRA Surface Mining Control and Reclamation Act Sites

VERSION DATE: 12/18/20

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by the Office of

Environmental Records Definitions - FEDERAL

Surface Mining Reclamation and Enforcement (OSMRE) to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

SSEHRIPFAS

SSEHRI PFAS Contamination Sites

VERSION DATE: 12/12/19

This PFAS Contamination Site Tracker database is compiled by the Social Science Environmental Health Research Institute (SSEHRI) at Northeastern University. According to the SSEHRI, the database records qualitative and quantitative data from each known site of PFAS contamination, including timeline of discovery, sources, levels, health impacts, community response, and government response. The goal of this database is to compile information and support public understanding of the rapidly unfolding issue of PFAS contamination. All data presented was extracted from government websites, news articles, or publicly available documents, and this is cited in the tracker. Disclaimer: The source conveys this database undergoes regular updates as new information becomes available, some sites may be missing and/or contain information that is incorrect or outdated, as well as their information represents all contamination sites SSEHRI is aware of, not all possible contamination sites. This data is not intended to be used for legal purposes. Limited location details are available with this data. Please access the following source link for the most current information: <https://pfasproject.com/pfas-contamination-site-tracker/>

SSTS

Section Seven Tracking System

VERSION DATE: 08/04/20

The United States Environmental Protection Agency tracks information on pesticide establishments through the Section Seven Tracking System (SSTS). SSTS records the registration of new establishments and records pesticide production at each establishment. The Federal Insecticide, Fungicide and Rodenticide Act (FIFRA) requires that production of pesticides or devices be conducted in a registered pesticide-producing or device-producing establishment. "Production" includes formulation, packaging, repackaging, and relabeling. For this database, the Product Information is only available for establishments up through 2014 or prior years, product details are no longer released by the EPA within the current SSTS non-Confidential Business Information data.

TRI

Toxics Release Inventory

VERSION DATE: 12/31/18

The Toxics Release Inventory, provided by the United States Environmental Protection Agency, includes data on toxic chemical releases and waste management activities from certain industries as well as federal and tribal facilities. This inventory contains information about the types and amounts of toxic chemicals that are released each year to the air, water, and land as well as information on the quantities of toxic chemicals sent to other facilities for further waste management.

Environmental Records Definitions - FEDERAL

TSCA Toxic Substance Control Act Inventory

VERSION DATE: 12/31/16

The Toxic Substances Control Act (TSCA) was enacted in 1976 to ensure that chemicals manufactured, imported, processed, or distributed in commerce, or used or disposed of in the United States do not pose any unreasonable risks to human health or the environment. TSCA section 8(b) provides the United States Environmental Protection Agency (EPA) authority to "compile, keep current, and publish a list of each chemical substance that is manufactured or processed in the United States." This TSCA Chemical Substance Inventory contains non-confidential information on the production amount of toxic chemicals from each manufacturer and importer site. The EPA has collected Chemical Data Reporting (CDR) data since in 1986 (as Inventory Update Reporting). Collections occur approximately every four years and reporting requirements changed from collection to collection.

USUMTRCA Uranium Mill Tailings Radiation Control Act Sites

VERSION DATE: 03/04/17

The Legacy Management Office of the Department of Energy (DOE) manages radioactive and chemical waste, environmental contamination, and hazardous material at over 100 sites across the U.S. The L.M. Office manages this database of sites registered under the Uranium Mill Tailings Control Act (UMTRCA).

Environmental Records Definitions - STATE (GA)

BF Brownfield Properties

VERSION DATE: 04/30/21

The Brownfield Properties list is provided by the Georgia Department of Natural Resources Environmental Protection Division. This list provides information on properties that have cleanup actions planned, in progress or completed under Georgia's Brownfields law, the Hazardous Site Reuse and Redevelopment Act. Both Hazardous Site Inventory (State Superfund List or HSI) properties and non-HSI properties are presented.

CLF Closed Landfills

VERSION DATE: 10/02/18

The Solid Waste Management Program of the Georgia Department of Natural Resources maintains this list of closed landfills.

Disclaimer: Information in this database is current as of Oct. 2018. The Solid Waste Management Program has had issues migrating data to their new online database (GEOS) that prevents a reliable update to the information. Please reach out directly to the agency to inquire about any recently closed landfills.

DHSI Delisted Hazardous Site Inventory Sites

VERSION DATE: 07/10/20

This list of sites that have been delisted from the Hazardous Site Inventory (HSI) is provided by the Environmental Protection Division of the Georgia Department of Natural Resources.

HISTNONHSI Historic Non-Hazardous Site Inventory

VERSION DATE: 09/30/10

This Non-Hazardous Site Inventory database was compiled by Rindt-McDuff Associates, Inc (RMA). The sites included on the Inventory were designated from 1994 through September of 2010 by the Environmental Protection Division (EPD) of the Georgia Department of Natural Resources as properties where the EPD had no reason to believe a release of a regulated substance exceeding a reportable quantity had occurred. RMA disclaimer: The database information has been obtained from publicly available sources produced by other entities. RMA does not guarantee the accuracy of the data and no claim is made for the actual existence of pollution at any site.

HISTSWF Historic Solid Waste Facilities

VERSION DATE: 12/31/99

This landfill database is provided by the Environmental Protection Division (EPD) of the Georgia Department of Natural Resources. According to the EPD, some of the landfills in this database are permitted, regulated landfills; others are older landfills which elected to close when it became a regulatory requirement of the state of Georgia to obtain a solid waste disposal permit. The database was created by combining two existing GIS

Environmental Records Definitions - STATE (GA)

databases (DR00-02 and DR00-20) previously created by the Geologic Survey Branch (GSB). The DR00-02 database contains Landfill Location and Inspection Log data from 1973 to 1992, and the DR00-20 database contains Solid Waste Landfills within the State of Georgia Permitted Through December 1999.

HSI Hazardous Site Inventory

VERSION DATE: 07/01/20

The Hazardous Site Inventory (HSI) is a list of sites where there has been a known or suspected release of a regulated substance above a reportable quantity and which have yet to show they meet state clean-up standards found in the Rules for Hazardous Site Response. This listing is maintained by the Environmental Protection Division of the Georgia Department of Natural Resources.

LUST Leaking Underground Storage Tanks

VERSION DATE: 01/20/21

This listing of leaking underground storage tanks is maintained by the Environmental Protection Division of the Georgia Department of Natural Resources.

NONHSI Non Hazardous Site Inventory

VERSION DATE: 07/10/20

This Non-Hazardous Site Inventory data is provided by the Response & Remediation Program (RRP) of the Environmental Protection Division (EPD) of the Georgia Department of Natural Resources. The RRP evaluates notices of releases of regulated substances to determine if the release should be listed on the Hazardous Site Inventory (HSI) for further investigation and cleanup, if necessary. Using the information provided and site visits, the RRP issues a "Non-HSI letter" or an "HSI Listing Letter." Non-HSI letters are sent to those properties where the EPD has no reason to believe a release of a regulated substance exceeding a reportable quantity has occurred.

NPDES National Pollutant Discharge Elimination System Permits

VERSION DATE: 09/24/20

The Environmental Protection Division of the Georgia Department of Natural Resources provides this list of facilities with National Pollutant Discharge Elimination System (NPDES) Permits. Authorized by the Clean Water Act, the National Pollutant Discharge Elimination System (NPDES) permit program controls water pollution by regulating point sources that discharge pollutants into waters of the United States.

SPILLS Spills Listing

VERSION DATE: 11/19/20

This listing of reported spills and/or chemical releases is provided by the Environmental Protection Division of the Georgia Department of Natural Resources. The data only includes spills reported since late 2009.

Environmental Records Definitions - STATE (GA)

SWF Solid Waste Facilities

VERSION DATE: 10/01/18

The Solid Waste Management Program of the Georgia Department of Natural Resources maintains this list of facilities with solid waste permits. Disclaimer: Information in this database is current as of Sept. 2018. The Solid Waste Management Program has had issues migrating data to their new online database (GEOS) that prevents a reliable update to the information. Please reach out directly to the agency to inquire about any new Solid Waste Facilities.

TIERII Tier II Chemical Reporting Program Facilities

VERSION DATE: 12/10/19

The Environmental Protection Division of the Georgia Department of Natural Resources maintains this listing of Tier II facilities which store hazardous chemicals or materials on-site. Tier II reports are forms that organizations and businesses in the United States with hazardous chemicals above certain quantities are required to fill out by the EPA. Known officially as Emergency and Hazardous Chemical Inventory Forms, Tier II Reports are submitted annually to local fire departments, Local Emergency Planning Committees (LEPC) and State Emergency Response Commissions (SERCs) to help those agencies plan for and respond to chemical emergencies.

UEC Uniform Environmental Covenant Properties

VERSION DATE: 04/01/20

Certain properties within Georgia have been designated as needing corrective action due to the presence of hazardous wastes, hazardous constituents, or hazardous substances regulated under state law. In some instances, Uniform Environmental Covenants (UEC) are implemented to protect public and environmental receptors from exposure to those substances that remain in soil and/or groundwater. This is accomplished through permanent controls and restrictions on property usage, and Georgia law requires compliance with the UEC. The Environmental Protection Division of the Georgia Department of Natural Resources maintains this list of properties subject to UECs.

UST Underground Storage Tanks

VERSION DATE: 12/21/20

This listing of underground storage tanks is maintained by the Environmental Protection Division of the Georgia Department of Natural Resources (DNR). According to the DNR, registration for existing tanks began in 1986, and then annual registration for tanks became effective on July 1, 1988. Disclaimer: Information in this listing regarding Current Facility Owner Information is not available. The source agency noted that at this time the UST Program's database is unable to produce a list of current tank owners. The information in this database regarding UST Facilities comes from a list of individuals who have identified themselves as responsible officials of their respective UST facilities. In most cases, these individuals are current or former UST owners or operators.

Environmental Records Definitions - STATE (GA)

VRP

Voluntary Remediation Program Sites

VERSION DATE: 02/01/21

According to the Georgia Voluntary Remediation Program Act, it is declared to be the public policy of the State of Georgia to encourage the voluntary and timely investigation and remediation of properties where there have been releases of regulated substances into the environment for the purpose of reducing human and environmental exposure to safe levels, to protect current and likely future use of groundwater, and to ensure the cost-effective allocation of limited resources that fully accomplish the provisions, purposes, standards, and policies of this part. This list of Voluntary Remediation Program Applications is provided by the Environmental Protection Division (EPD) of the Georgia Department of Natural Resources. Since July of 2019, all relevant VRP documents have been transferred to the EPD's new Georgia EPD Online System (GEOS). Due to this ongoing transition, discrepancies may exist within the data. For further verification on specific VRP sites, please contact the agency directly at (404) 657-8600.

Environmental Records Definitions - TRIBAL

INDIANRES

Indian Reservations

VERSION DATE: 09/27/17

This database is extracted from select geographic and cartographic information from the U.S. Census Bureau. The Bureau of Indian Affairs (BIA) within the U.S. Department of the Interior (DOI) provides the list of federally recognized tribes. The American Indian/Alaska Native/Native Hawaiian (AIANNH) Areas includes the following legal entities: federally recognized American Indian reservations and off-reservation trust land areas, state-recognized American Indian reservations, and Hawaiian home lands (HHLs). The boundaries for federally recognized American Indian reservations and off-reservation trust lands are as of January 2017. The boundaries for state-recognized American Indian reservations and for state designated tribal statistical areas were delineated by state governor-appointed liaisons for the 2010 Census through the State American Indian Reservation Program and Tribal Statistical Areas Program respectively.

LUSTR04

Leaking Underground Storage Tanks On Tribal Lands

VERSION DATE: 10/02/20

This database, provided by the United States Environmental Protection Agency (EPA), contains leaking underground storage tanks on Tribal lands located in EPA Region 4. Region 4 includes the following states: Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, and Tennessee.

ODINDIAN

Open Dump Inventory on Tribal Lands

VERSION DATE: 11/08/06

This Indian Health Service database contains information about facilities and sites on tribal lands where solid waste is disposed of, which are not sanitary landfills or hazardous waste disposal facilities, and which meet the criteria promulgated under section 4004 of the Solid Waste Disposal Act (42 U.S.C. 6944).

USTR04

Underground Storage Tanks On Tribal Lands

VERSION DATE: 10/02/20

This database, provided by the United States Environmental Protection Agency (EPA), contains underground storage tanks on Tribal lands located in EPA Region 4. Region 4 includes the following states: Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, and Tennessee.

APPENDIX 5

TERMS AND ACRONYMS

LOGIC has made every effort to present the information in the preceding report using clear, direct language. Still, this report may incorporate certain terms and acronyms which have been widely adopted throughout the environmental industry because they are uniquely descriptive or have specific meanings defined by environmental regulations. For your reference, the following is a brief explanation of selected terms and acronyms which may appear in this report:

ACM	Asbestos Containing Material. Asbestos is a fibrous mineral which was common in building material until about 1980. When airborne, asbestos fibers may cause certain pulmonary diseases, including asbestosis. ACM is defined by most OSHA and EPA regulations as any material which contains more than 1 percent asbestos fibers.
AAI	All Appropriate Inquiries. The standards established by the US Environmental Protection Agency for the performance of Environmental Site Assessment and codified in 40 CFR §312. The standards became effective in November 2006.
AST	Aboveground Storage Tank.
ASTM	American Society of Testing and Materials, a standard-setting organization. The ASTM has established, among other things, a widely-used procedure for Environmental Site Assessments (Standard ASTM E 1527).
BTEX	Benzene, Toluene, Ethyl benzene and Xylenes. Common fractions of petroleum, particularly gasoline.
Down-gradient	Gradient refers to the topographic elevation of one location in relation to another. Like surface water, groundwater in the upper aquifer tends to flow downhill and contaminated groundwater is more likely to impact nearby downgradient property or groundwater rather than upgradient areas.
Engineering Controls	Physical technologies implemented to minimize the potential for human exposure to contamination by means of control or remediation.
EPA	The United States Environmental Protection Agency.
EPD	The Georgia Environmental Protection Division, a division of the Georgia Department of Natural Resources.
Groundwater	This term includes any water which has saturated soil below the surface of the ground. The gradual movement of groundwater may provide a mechanism for the migration of contamination.

Hazardous Waste	Hazardous waste is strictly defined by the federal Resource Conservation and Recovery Act (RCRA). Waste products may be deemed hazardous based upon their characteristics (e.g., ignitability, toxicity), based upon the process by which they were generated, or upon other criteria specified in 40 CFR § 261.
Hazardous Substance	A Substance which has been designated as health or environmental hazard pursuant to the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA or Superfund) or SARA .
Manifest	The paperwork which must accompany a shipment of hazardous waste . Copies of manifests are maintained by the hazardous waste generator, the shipper, and the disposal facility.
PCB	Polychlorinated Biphenyl. A family of industrial chemicals commonly used in electrical equipment, such as transformers.
Storm Water	Storm water includes surface runoff from rain or snow melt. The federal Clean Water Act's National Pollutant Discharge Elimination System program has established requirements for permitting certain private and government facilities with the potential to adversely impact storm water runoff.
TCLP	Toxicity Characteristic Leaching Procedure. A laboratory procedure used to determine whether a waste material is hazardous waste based upon its content of certain toxic constituents.
Up gradient	See " Down gradient "
UST	Underground Storage Tank. Underground storage tanks most commonly contain petroleum and may be regulated if more than 10 percent of their capacity is below ground.

**AN ORDINANCE FOR SPECIAL LAND USE PERMIT 21-0008 IN
LAND LOT 210 OF THE 18th DISTRICT TO ALLOW FUEL PUMPS.**

WHEREAS: Notice to the public regarding said special land use permit have been duly published in The Champion, the Official News Organ of Tucker; and

WHEREAS: A Public Hearing was held by the Mayor and City Council of Tucker on December 13, 2021 and January 11, 2022;

WHEREAS: The Mayor and City Council is the governing authority for the City of Tucker;

WHEREAS: The Mayor and City Council has reviewed the special land use request based on the criteria found in Section 46-1594 of the Zoning Ordinance of the City of Tucker;

NOW THEREFORE, the Mayor and City Council of the City of Tucker while in Regular Session on January 11, 2022 hereby ordains and approves Special Land Use Permit 21-0008 to allow for fuel pumps, subject to the following conditions. Note that the special land use permit shall expire automatically if a building permit or other required approval(s) is not applied for within twelve (12) months and construction pursuant to such permit(s) does not promptly begin and is not diligently pursued (Section 46-1599).

1. The property shall be developed in general conformance with the site plan submitted on October 18, 2021, to the Community Development Department, with revisions to meet these conditions or the modified canopy location shown in the November 23, 2021 Site Plan.
2. The use of the property shall be limited to a 5,000 square-foot convenience store with alcohol sales and fuel pumps and an oil change establishment.
3. Lighting shall be energy efficient LED lighting with downward facing cut-off light fixtures to reduce glare.
4. The exterior building materials shall comply with the NL-1 (Northlake High Intensity Commercial) architectural regulations.
5. The dumpster enclosure shall be constructed out of the same materials and design as the convenience store.

6. There shall be no overnight truck or car parking.
7. There shall be no collection bins or outdoor display of merchandise, with the exception of propane tanks.
8. Vape and CBD sales shall be limited per the definitions in Chapter 46, Article 9.
9. A sign permit shall be submitted to the City of Tucker Community Development Department and must be in compliance with the sign code. All non-conforming signs on the property are required to be removed during the land development stage.
10. Owner/Developer shall comply with Section 22-34 of the City of Tucker Code of Ordinances concerning tree protection and replacement. A minimum tree density of 30 units/acre shall be required. Any specimen trees removed during the redevelopment shall require additional tree replacement units as required in the ordinance. If the required tree density cannot be obtained on site, compensation to the City's tree bank will be considered.
11. Owner/Developer shall provide stormwater management in compliance with Tucker's Post Construction Stormwater Management Ordinance.
12. Owner/Developer shall design the release of stormwater runoff from the site such that concentrated flow is not released onto Parklake Drive. Plans shall be approved by the City Engineer.
13. The development of this project is contingent upon the approval of the DeKalb County Department of Watershed Management.

SO EFFECTIVE this 11th day of January 2022.

Approved by:

Frank Auman, Mayor

Attest:

Bonnie Warne, City Clerk

SEAL

**AN ORDINANCE FOR SPECIAL LAND USE PERMIT 21-0009 IN
LAND LOT 210 OF THE 18th DISTRICT TO ALLOW ALCOHOL SALES.**

WHEREAS: Notice to the public regarding said special land use permit have been duly published in The Champion, the Official News Organ of Tucker; and

WHEREAS: A Public Hearing was held by the Mayor and City Council of Tucker on December 13, 2021 and January 11, 2022;

WHEREAS: The Mayor and City Council is the governing authority for the City of Tucker;

WHEREAS: The Mayor and City Council has reviewed the special land use request based on the criteria found in Section 46-1594 of the Zoning Ordinance of the City of Tucker;

NOW THEREFORE, the Mayor and City Council of the City of Tucker while in Regular Session on January 11, 2022 hereby ordains and approves Special Land Use Permit 21-0009 to allow for alcohol sales, subject to the following conditions. Note that the special land use permit shall expire automatically if a building permit or other required approval(s) is not applied for within twelve (12) months and construction pursuant to such permit(s) does not promptly begin and is not diligently pursued (Section 46-1599).

1. The property shall be developed in general conformance with the site plan submitted on October 18, 2021, to the Community Development Department, with revisions to meet these conditions or the modified canopy location shown in the November 23, 2021 Site Plan.
2. The use of the property shall be limited to a 5,000 square-foot convenience store with alcohol sales and fuel pumps and an oil change establishment.
3. The hours of alcohol sales shall cease daily at 12:30am Monday through Sunday.
4. Alcohol shall be limited to beer and wine. Alcohol sale display area shall not exceed twenty percent (20%) of the gross floor area.
5. Lighting shall be energy efficient LED lighting with downward facing cut-off light fixtures to reduce glare.

6. The exterior building materials shall comply with the NL-1 (Northlake High Intensity Commercial) architectural regulations.
7. The dumpster enclosure shall be constructed out of the same materials and design as the convenience store.
8. There shall be no overnight truck or car parking.
9. There shall be no collection bins or outdoor display of merchandise, with the exception of propane tanks.
10. Vape and CBD sales shall be limited per the definitions in Chapter 46, Article 9.
11. A sign permit shall be submitted to the City of Tucker Community Development Department and must be in compliance with the sign code. All non-conforming signs on the property are required to be removed during the land development stage.
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13. Owner/Developer shall provide stormwater management in compliance with Tucker's Post Construction Stormwater Management Ordinance.
14. Owner/Developer shall design the release of stormwater runoff from the site such that concentrated flow is not released onto Parklake Drive. Plans shall be approved by the City Engineer.
15. The development of this project is contingent upon the approval of the DeKalb County Department of Watershed Management.

SO EFFECTIVE this 11th day of January 2022.

Approved by:

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SEAL